

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 14, 2025

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
7632 William Moyers Avenue, NE
Albuquerque, NM 87114

**RE: Anytime Fitness
9368 Valley View Drive NW – Phase 1
Temporary Certificate of Occupancy
Engineer's Certification Date: 1/29/2025
Engineer's Stamp Date: 8/1/22
Hydrology File: C13D036**

Dear Mr. Biazar:

Based on the Engineer's Grading and Drainage Certification for Phase 1 received 2/14/2025 and site visit on 2/14/2025, this letter serves as a conditional approval from the Hydrology Section for a 30-day Temporary Certificate of Occupancy for (Phase 1 only) the Anytime Fitness located at 9368 Valley View NW to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Hydrology. The Drainage Covenant and Exhibit will also be required to be uploaded to the ABQ-PLAN system.

Please resubmit for a request for permanent release of Certificate of Occupancy once the above items are complete.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY **Phase I**
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

DRAINAGE PLAN:

LEGAL DESCRIPTION: TRACT 3F-1-A, BLACK RANCH

SITE AREA: 0.8834 ACRES

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED SEPTEMBER 26, 2008 (PANEL NO. 35001C0116G) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

EXISTING DRAINAGE CONDITIONS:

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH CHAPTER 6, ARTICLE 6-2, SECTION 6-2(A), ENTITLED "PROCEDURE FOR 40-ACRE AND SMALLER BASINS." THE DESIGN STORM USED FOR BOTH UNDEVELOPED AND DEVELOPED CONDITIONS IS THE 100-YEAR, 6-HOUR STORM EVENT FOR RUNOFF. THE SITE IS LOCATED IN ZONE 1 SO THE 100-YEAR, 6-HOUR STORM EVENT IS 2.17 INCHES. UNDER EXISTING CONDITIONS, THE PROPERTY IS PARTIALLY DEVELOPED WITH SOME PAVING AND BASE COURSE.

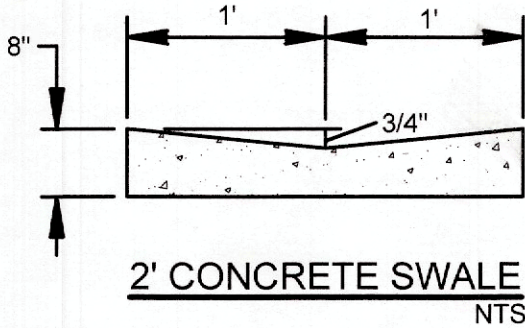
THE PROPERTY IS LOCATED ON VALLEY VIEW DRIVE NW EAST OF COORS BOULEVARD AND NORTH OF PASEO DEL NORTE. THIS TRACT IS CURRENTLY VACANT. THE SITE MOSTLY DRAINS FROM EAST TO WEST TO VALLEY VIEW DRIVE AND IS COLLECTED IN A STORM DRAIN THAT DISCHARGES TO A REGIONAL POND SOUTH OF THE STREET. A SMALL PORTION OF THE SITE DRAINS FROM WEST TO EAST TO THE CORRALES MAIN CANAL. THE PEAK RUNOFF UNDER EXISTING CONDITIONS IS 1.36 CFS DURING A 100-YEAR, 6-HOUR STORM. THERE ARE NO OFF-SITE FLOWS THAT REACH THE PROPERTY.

DEVELOPED DRAINAGE CONDITIONS:

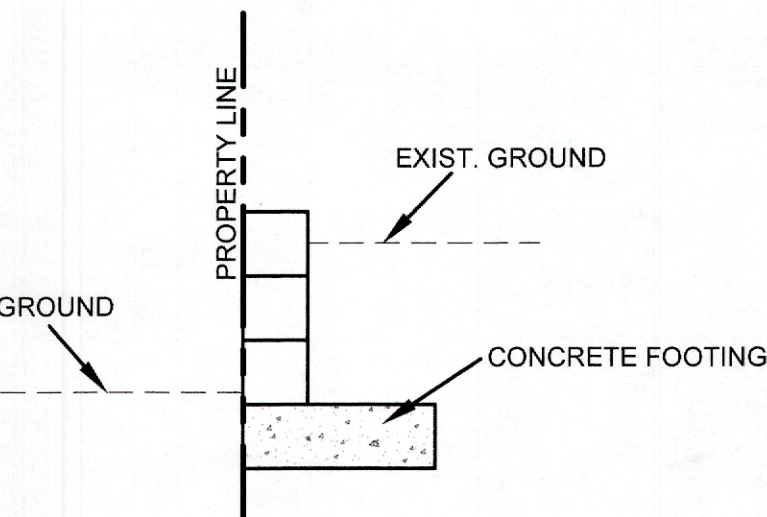
THIS TRACT IS INCLUDED IN THE APPROVED DRAINAGE MASTER PLAN FOR BLACK RANCH, TRACTS 2 & 3, DATED DECEMBER 23, 2002, BY WILSON & COMPANY. THE DRAINAGE MASTER PLAN ALLOWS FREE DISCHARGE TO VALLEY VIEW DRIVE. ALL RUNOFF THAT REACHES VALLEY VIEW DRIVE IS COLLECTED IN A STORM DRAIN SYSTEM AND DISCHARGES TO THE REGIONAL POND TO THE SOUTH OF THE SUBDIVISION. THE MAJORITY OF THE SITE WILL DRAIN FROM EAST TO WEST TO VALLEY VIEW DRIVE THROUGH THE TWO PROPOSED DRIVEWAYS. THE ROOF OF THE TOWNHOMES WILL DRAIN TO THE WEST AND THE ROOF OF THE GYM WILL DRAIN TO THE WEST. THERE ARE THREE WATER QUALITY PONDS IN LANDSCAPED AREAS WITH A TOTAL VOLUME OF 510 CUBIC FEET. TWO OF THE WATER QUALITY PONDS WILL DRAIN TO VALLEY VIEW DRIVE THROUGH 12-INCH SIDEWALK CULVERTS. THESE PONDS WILL COLLECT SOME OF THE WATER QUALITY VOLUME FROM THE SITE (PLEASE SEE THE WATER QUALITY CALCULATION BELOW). THE PEAK RUNOFF FROM THE SITE DISCHARGING TO VALLEY VIEW UNDER DEVELOPED CONDITIONS IS 3.43 CFS DURING A 100-YEAR, 6-HOUR STORM. THERE IS A STEM WALL ALONG THE BACK OF THE TOWNHOMES AND A RETAINING WALL ALONG THE SOUTH PROPERTY LINE. EAST OF THE BUILDING, THE PROPERTY CONTINUES TO SLOPE TO THE CORRALES MAIN CANAL.

WATER QUALITY VOLUME = $(0.42 \text{ IN}/12 \text{ IN}/\text{FT}) \times (0.852 \times .8834) \times 43,560 \text{ SF}/\text{AC} = 1,148 \text{ CF}$ REQUIRED. WATER QUALITY VOLUME PROVIDED = 1,150 CF

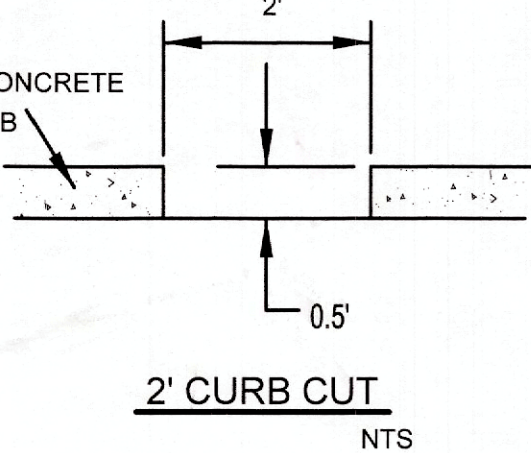
SIDEWALK CULVERT CAPACITY, WEIR EQUATION = $(2.7) \times (1 \text{ FT}) \times (7 \text{ IN}/12 \text{ IN}/\text{FT})^{1.5} = 1.2 \text{ CFS}$



2' CONCRETE SWALE
NTS



RETAINING WALL SECTION
NTS



2' CURB CUT
NTS

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	100-YEAR PRECIPITATION					Q (cfs)
		A (%)	B (%)	C (%)	D (%)		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (24-hr) (acre-ft)	V (24-hr) (cu-ft)		
EXISTING CONDITIONS												
SITE	0.8834	100.00	0.00	0.00	0.00	0.55	0.04	1,764	0.04	1,764	1.36	
TOTAL RUNOFF	0.8834						0.04	1,764	0.04	1,764	1.36	
FULL DEVELOPMENT CONDITIONS												
SITE	0.8834	0.00	7.40	7.40	85.20	2.03	0.15	6,519	0.17	7,393	3.43	
TOTAL RUNOFF	0.8834						0.15	6,519	0.17	7,393	3.43	
EXCESS PRECIP.		0.55	0.73	0.95	2.24	E (in)						
PEAK DISCHARGE		1.54	2.16	2.87	4.12	Q _m (cfs)						

WEIGHTED E (in) = (E_A)(%A) + (E_B)(%B) + (E_C)(%C) + (E_D)(%D)
V_{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12
V_{24hr} (acre-ft) = V_{6hr} + (A₀)(P_{10DAY} - P_{6hr})/12
Q (cfs) = (Q_{24hr})(A_A) + (Q_{24hr})(A_B) + (Q_{24hr})(A_C) + (Q_{24hr})(A_D)

ZONE = 1
P_{6hr} (in.) = 2.17
P_{24hr} (in.) = 2.49
P_{10DAY} (in.) = 3.90

WATER QUALITY POND DATA						
POND	WATER QUALITY VOLUME (CF)	BOTTOM ELEVATION	TOP ELEVATION	INLET ELEVATION	OUTLET ELEVATION	WSEL
A	390	5016.50	5018.20	5018.20	5017.90	5018.00
B	650	5016.50	5018.50	5018.50	5017.30	5018.00
C	110	5015.50	5017.20	5017.20	5016.50	5017.00

City of Albuquerque
Survey Monument 12_C13
N=1523300.71
E=1517053.06
Elev=5034.56'
Datum NAVD 1988

NOTE:
1. ALL ELEVATIONS ARE AT FLOW LINE OTHERWISE NOTED.
2. THIS SITE IS ALLOWED FREE DISCHARGE TO VALLEY VIEW DRIVE. VALLEY VIEW DRIVE DRAINS TO THE DOWN STREAM POND.

DRAINAGE CERTIFICATION

I, REZA AFAGHPUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-1-2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 8801 LEONARD MARTINEZ OF SBS CONSTRUCTION AND ENGINEERING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF O.C. PHASE I.

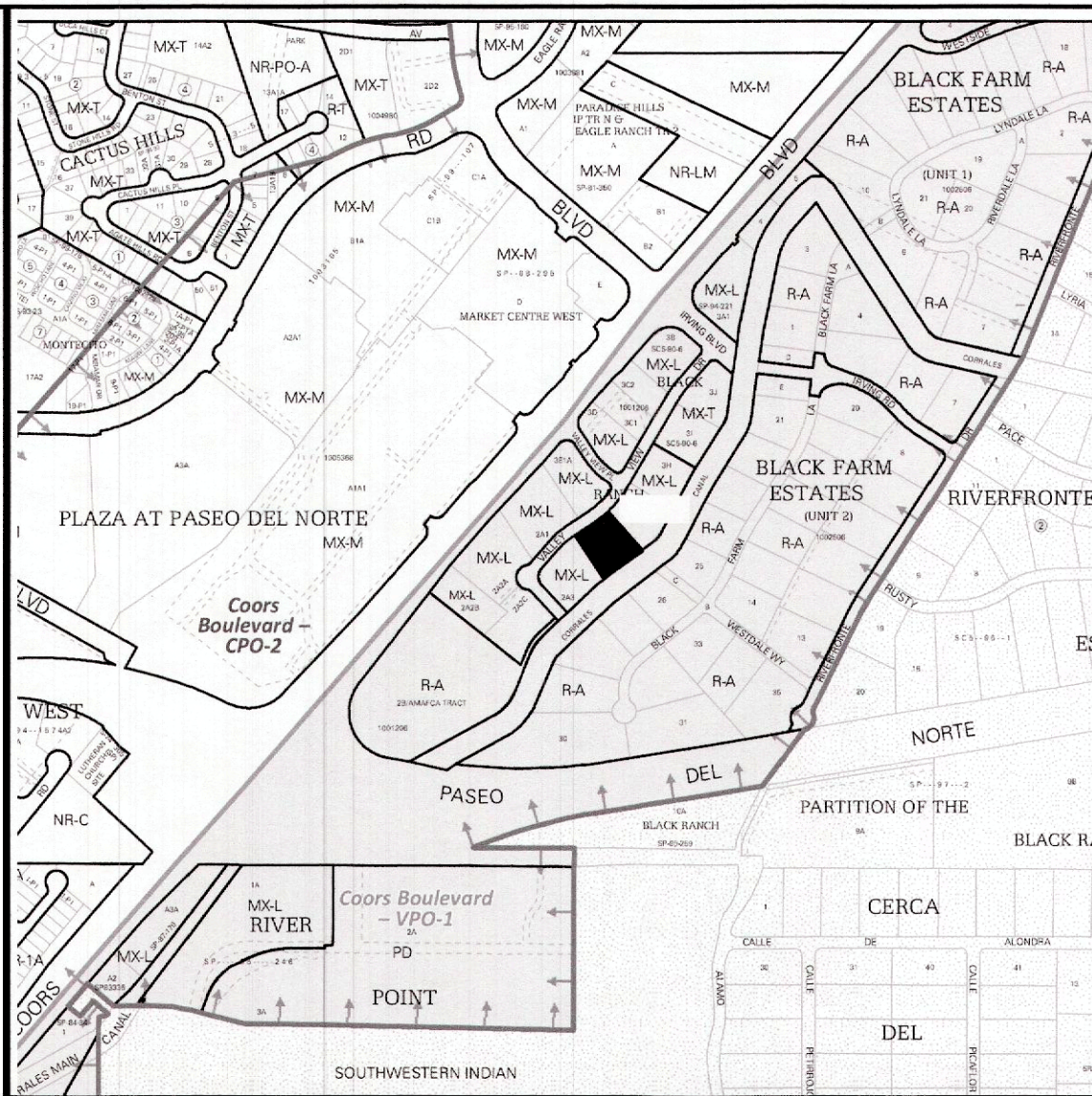
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPUR, NMPE 11814



1/29/2025

DATE



ZONE ATLAS C-13-Z

KEYED NOTES:

- REMOVE AND REPLACE EXISTING TYPE "C" STORM INLET WITH A TYPE "D" STORM INLET
- WATER QUALITY POND A
- WATER QUALITY POND B
- WATER QUALITY POND C
- INSTALL 12" SIDEWALK CULVERT
INV. W= 17.10
INV. E= 17.30
PER COA STD DWG 2236
- 2' CONCRETE SWALE
- 2' CURB AND GUTTER
- 2' CURB CUT
- 9 LF OF 6" PIPE
- INSTALL 12" SIDEWALK CULVERT
INV. W= 18.30
INV. E= 16.50
PER COA STD DWG 2236

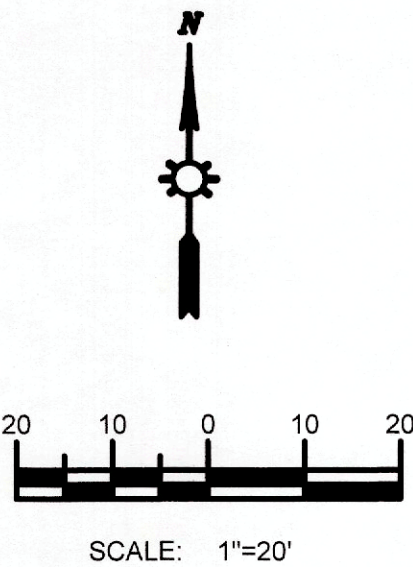
LEGEND

- EXISTING SPOT ELEVATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING CURB AND GUTTER
- EXISTING WATER
- EXISTING SEWER
- EXISTING STORM DRAIN
- BOUNDARY
- UTILITY EASEMENT
- PROPOSED SPOT ELEVATION
- PROPOSED 2' CURB CUT
- PROPOSED RETAINING WALL
- PROPOSED STEM WALL
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- FLOW ARROW

REV. 01/22/21

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

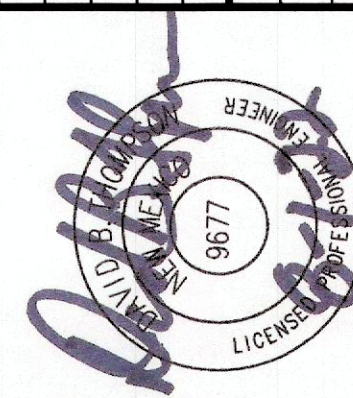
- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be 95%.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- For excavation and barricading inspections, contact DMD Construction Services Division.



Tompson Engineering Consultants, Inc.
tccm@yahoo.com
PHONE: (505) 271-2199
FAX: (505) 650-9246
P.O. BOX 65760
ALBUQUERQUE, NM 87193

NO.	REVISION	BY	DATE

PROJECT: TRACT 3F-1-A
DRAWN BY: DEM
CHECKED BY: [Signature]
DATE: 1/29/2025
HORIZ. SCALE: [Blank]
VERT. SCALE: [Blank]



TRACT 3F-1-A
9368 VALLEY VIEW

GRADING AND DRAINAGE PLAN

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

SHEET No.

1 OF 1