

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 14, 2025

Shawn Biazar, P.E.  
SBS Construction and Engineering, LLC  
7632 William Moyers Avenue, NE  
Albuquerque, NM 87114

**RE: Valley View Townhomes**  
**9368 Valley View Drive NW – Phase 2**  
**Temporary Certificate of Occupancy**  
**Engineer's Certification Date: 07/5/2025**  
**Engineer's Stamp Date: 05/2/2025**  
**Hydrology File: C13D036**  
**Case # HYDR-2025-00245**

Dear Mr. Biazar:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based on the Engineer's Grading and Drainage Certification for Phase 2 received 7/10/2025 and site visit on 7/14/2025, this letter serves as a conditional approval from the Hydrology Section for a 30-day Temporary Certificate of Occupancy for (Phase 2 only) the Valley View Townhomes located at 9368 Valley View NW to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Hydrology. The Drainage Covenant and Exhibit will also be required to be uploaded to the ABQ-PLAN system.

Please resubmit for a request for permanent release of Certificate of Occupancy once the above items are complete.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



Location

This project is located at 9368 Valley View Dr., NW and contains 0.8834 acre.  
See attached portion of Vicinity Map C-10-Z for exact location.

Purpose and Existing Condition

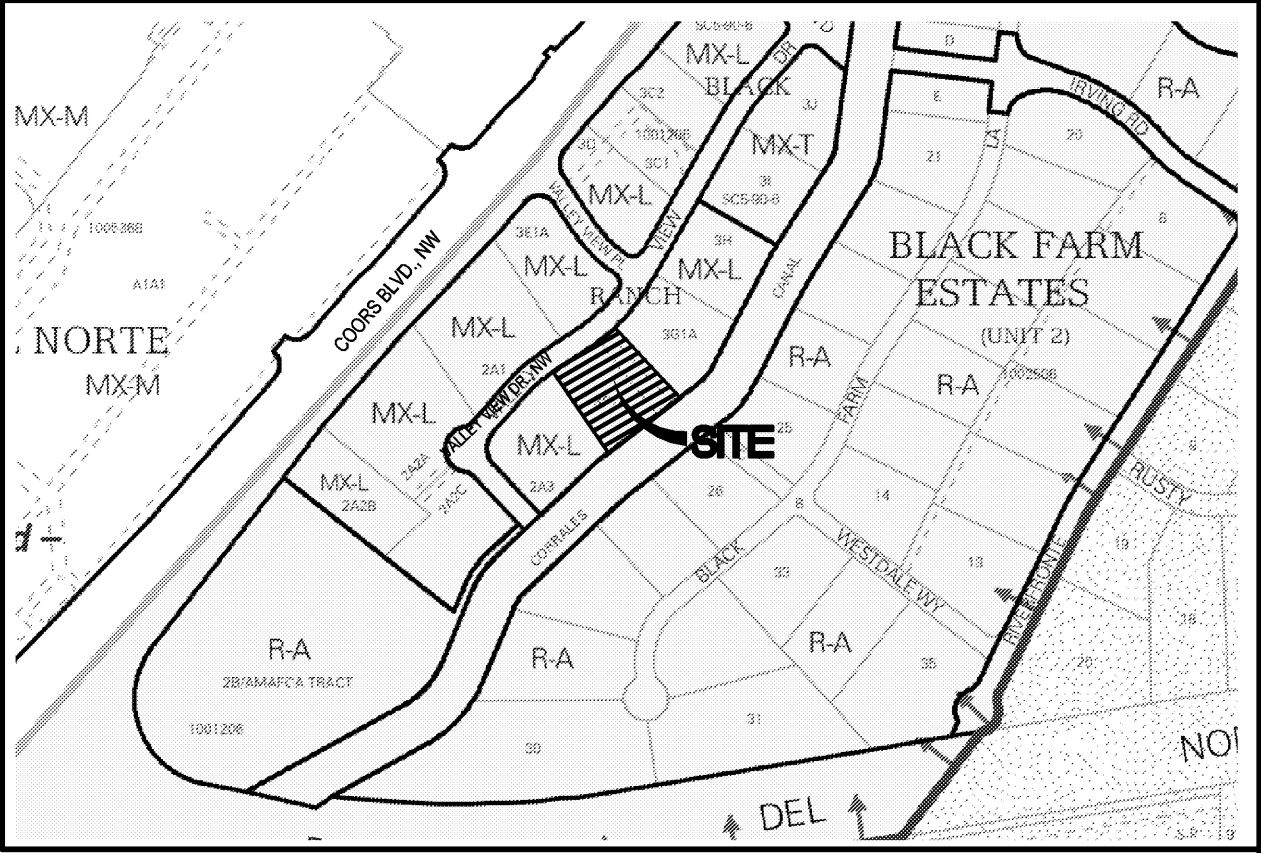
The purpose of this grading plan is to resolve the drainage issues for the townhouses in the back of property. These buildings have a bedroom window below the finish floor elevation. the windows are about 14" below finish floor of the building.

Proposed Conditions and On-Site Drainage Management Plan

To manage the drainage issue for the windows that are below grade, we propose to provide ponding with riprap by the windows. The bottom of the ponds will be minimum of 10" below the windows with a 4" pipe draining into the proposed pond on site. In addition, we are proposing to install rain gutters in all the buildings that are open and have storm drain pipe installed. For the windows that do not have possibility to install storm drain pipe, we propose to install a roof cover for these buildingS. Please see the notes on each building.

LEGEND

— 5030 —	EXISTING CONTOUR (MAJOR)
— 5029 —	EXISTING CONTOUR (MINOR)
—	BOUNDARY LINE
X 28.50	PROPOSED SPOT ELEVATION
X 5029.16	EXISTING GRADE
X 5075.65 FL	EXISTING FLOWLINE ELEVATION
█	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TF=28.50	TOP OF FOOTING
TRW=28.00	TOP OF RETAINING WALL
HP	HIGH POINT
88.65 <del>85.47</del>	AS-BUILT GRADES
X 5325.64 <del>FF=5326.60</del> FP=5325.90	AS-BUILT SPOT ELEVATIONS



VICINITY MAP:

C-10-Z

LEGAL DESCRIPTION:

TRACT 3F-1-A, BLACK RANCH  
ADDRESS: 9836 VALLEY VIEW DR., NW

BENCHMARK

CITY BNCHMARK 10\_D10, ELEVATION OF 5322.212 FEET ABOVE SEA LEVEL.

EROSION CONTROL PLAN  
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

KEYED NOTES:

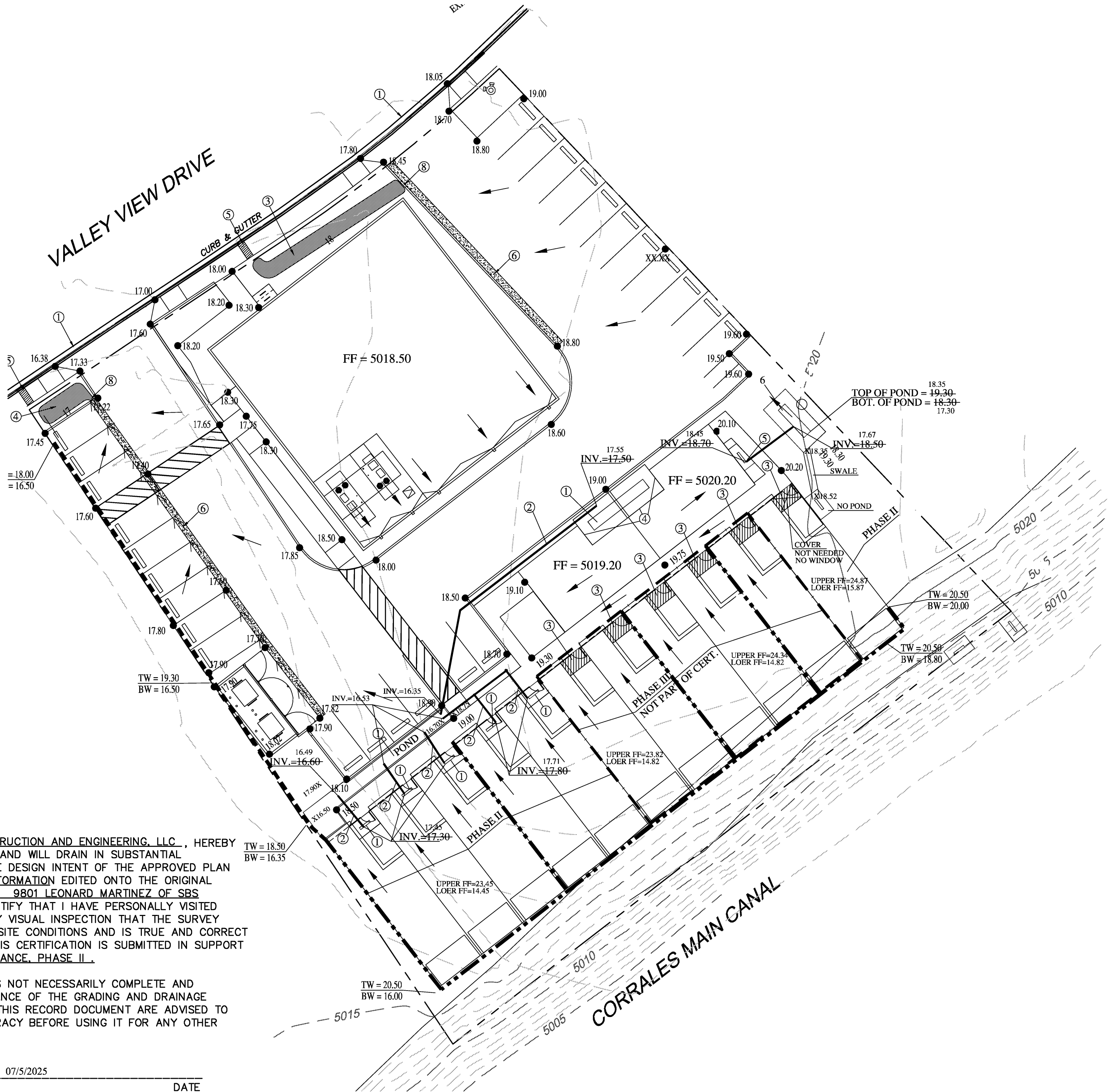
1. PROVIDE PONDING WITH RIPRAP. BOTTOM OF POND TO BE MIN. 10" BELOW THE WINDOW. PROVIDE RAIN GUTTERS AT EDGE OF BUILDING.
2. INSTALL 4" PVC STORM DRAIN PIPE.
3. INSTALL ROOF COVER IN THIS AREA.
4. INSTALL RAIN GUTTER AT THE EDGE.
5. INSTALL RAIN GUTTER AT THE EDGE. OF POND TO BE MIN. 10" BELOW THE WINDOW.
6. INSTALL A NEW POND.

DRAINAGE CERTIFICATION

I, REZA AFAGHPOUR, NMPE11814 OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05-2-2025. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801 LEONARD MARTINEZ OF SBS CONSTRUCTION AND ENGINEERING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCE, PHASE II.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPOUR, NMPE 11814 07/5/2025 DATE



REZA AFAGHPOUR  
P.E. #11814

SBS CONSTRUCTION  
AND ENGINEERING, LLC

7632 WILLIAM MOYERS AVE., NE  
ALBUQUERQUE, NEW MEXICO 87122  
(505)804-5013

GRAPHIC SCALE



9368 VALLEY VIEW DR, N.W.  
GRADING PLAN

DRAWING: 202402-GD.DWG	DRAWN BY: SH-B	DATE: 2-28-2024	SHEET # 1
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