



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

February 12, 2003

John Quinn Pate, Registered Architect
2701 Miles Rd, SE
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for
David Montoya Construction, [C-16 / D4]
N. Edith & Alameda
Architect's Stamp Dated 02/10/03

Dear Mr. Pate:

The TCL / Letter of Certification submitted on February 7, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

C-16/D4

PROJECT TITLE: David Montoya Construction ZONE MAP/DRG. FILE #: C-16
 DRB #: Z-95-96/AX-95-15/50-83-2231 WORK ORDER#: 580982

LEGAL DESCRIPTION: Portion of Tract A Lands of Springer Corporation
 CITY ADDRESS: Edith & Alameda NW

ENGINEERING FIRM: Molzen-Corbin & Associates
 ADDRESS: 2701 Miles Road SE
 CITY, STATE: Albuquerque, NM 87106

CONTACT: Kent Freier
 PHONE: 242-5700
 ZIP CODE: 87106

OWNER: David & Pam Montoya
 ADDRESS: 8831 4th NW
 CITY, STATE: Albuquerque NM

CONTACT: David Montoya
 PHONE: 898-6330
 ZIP CODE: 87114

ARCHITECT: Molzen-Corbin & Associates
 ADDRESS: 2701 Miles Road SE
 CITY, STATE: Albuquerque NM

CONTACT: Christopher Carian
 PHONE: 242-5700
 ZIP CODE: 87106

SURVEYOR: Bohannon-Huston
 ADDRESS: Courtyard I 7500 Jefferson NE
 CITY, STATE: Albuquerque, NM

CONTACT: Tom Klingenhagen
 PHONE: 823-1000
 ZIP CODE: 87109

CONTRACTOR: S&J Construction
 ADDRESS: 3535 Princeton NE
 CITY STATE: Albuquerque NM

CONTACT: Marvin Valverde
 PHONE: 864-6234
 ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

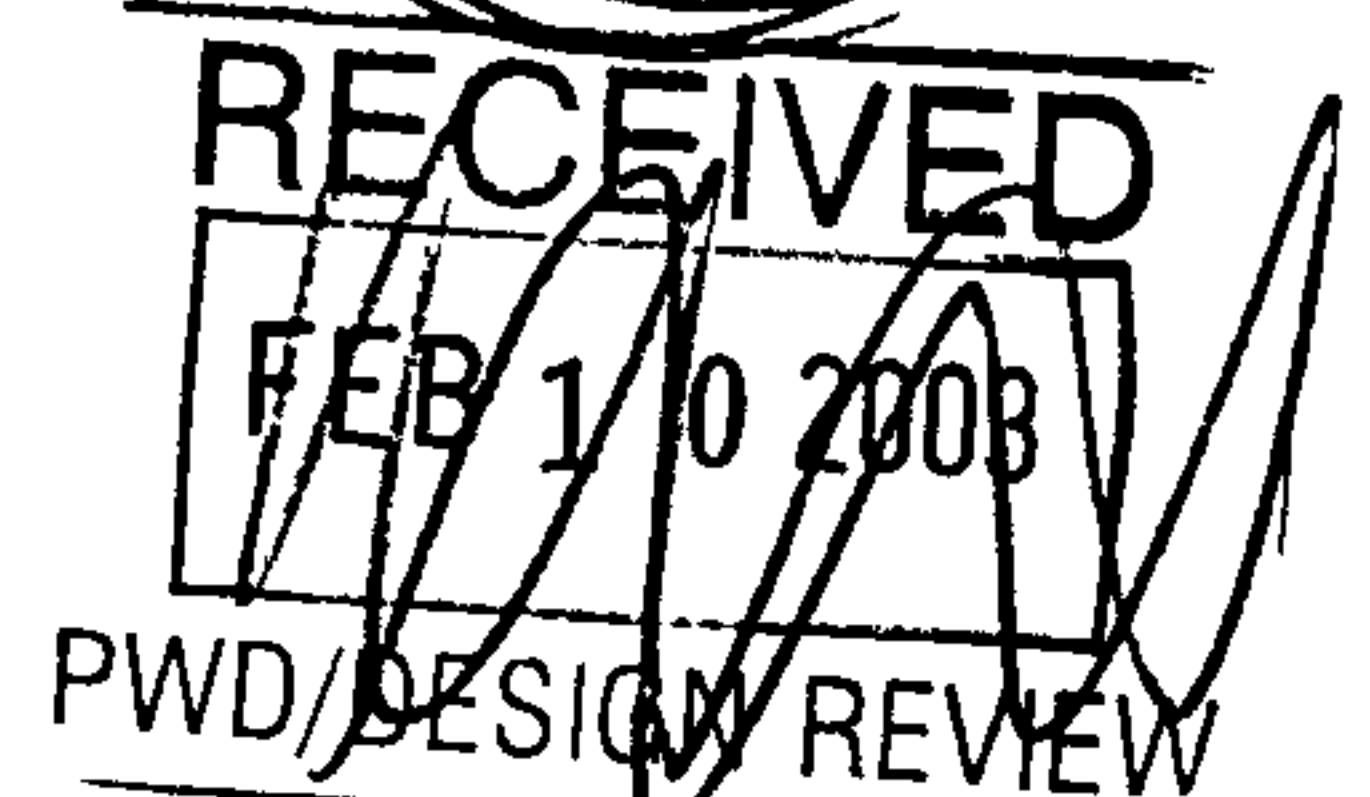
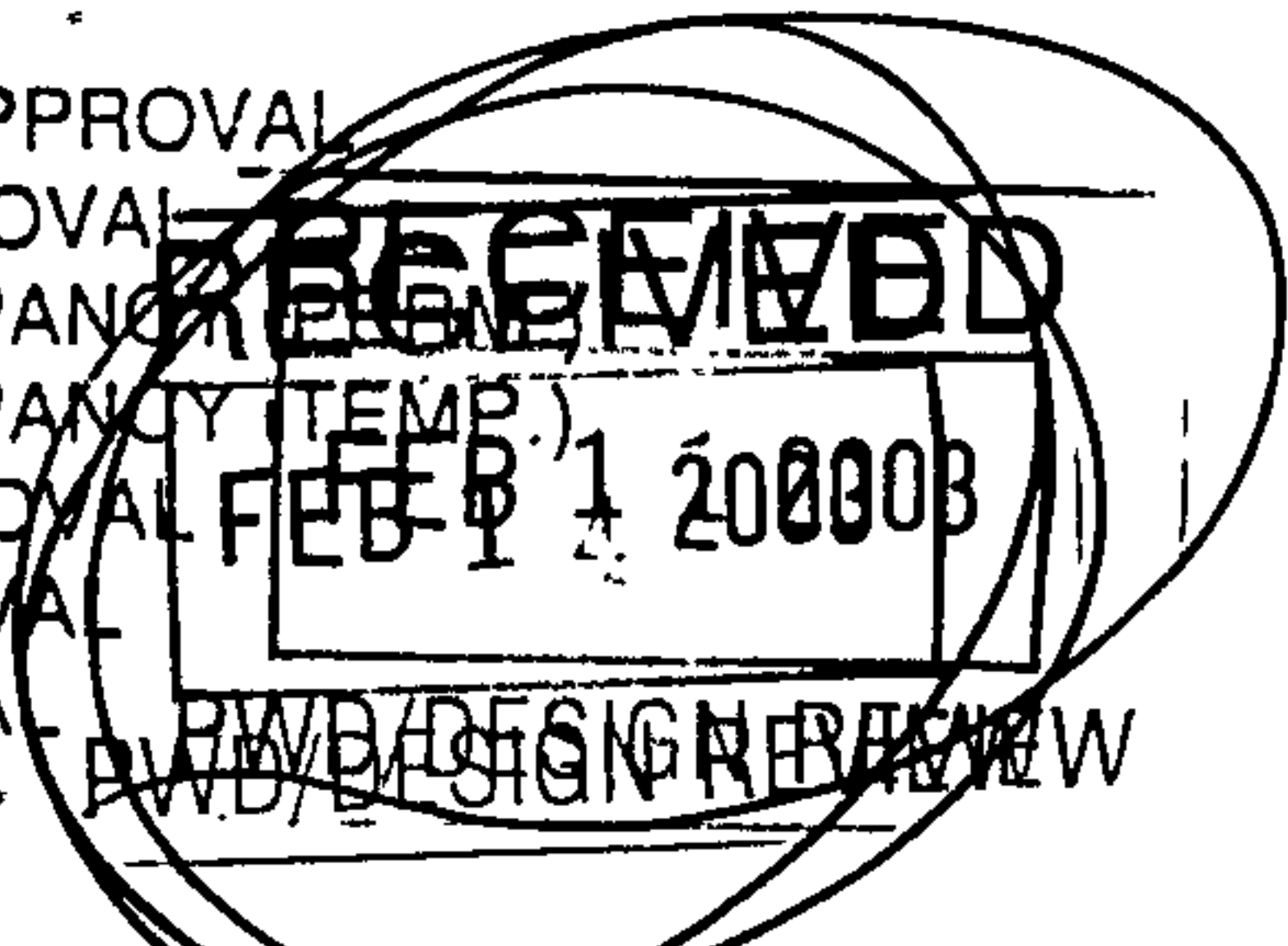
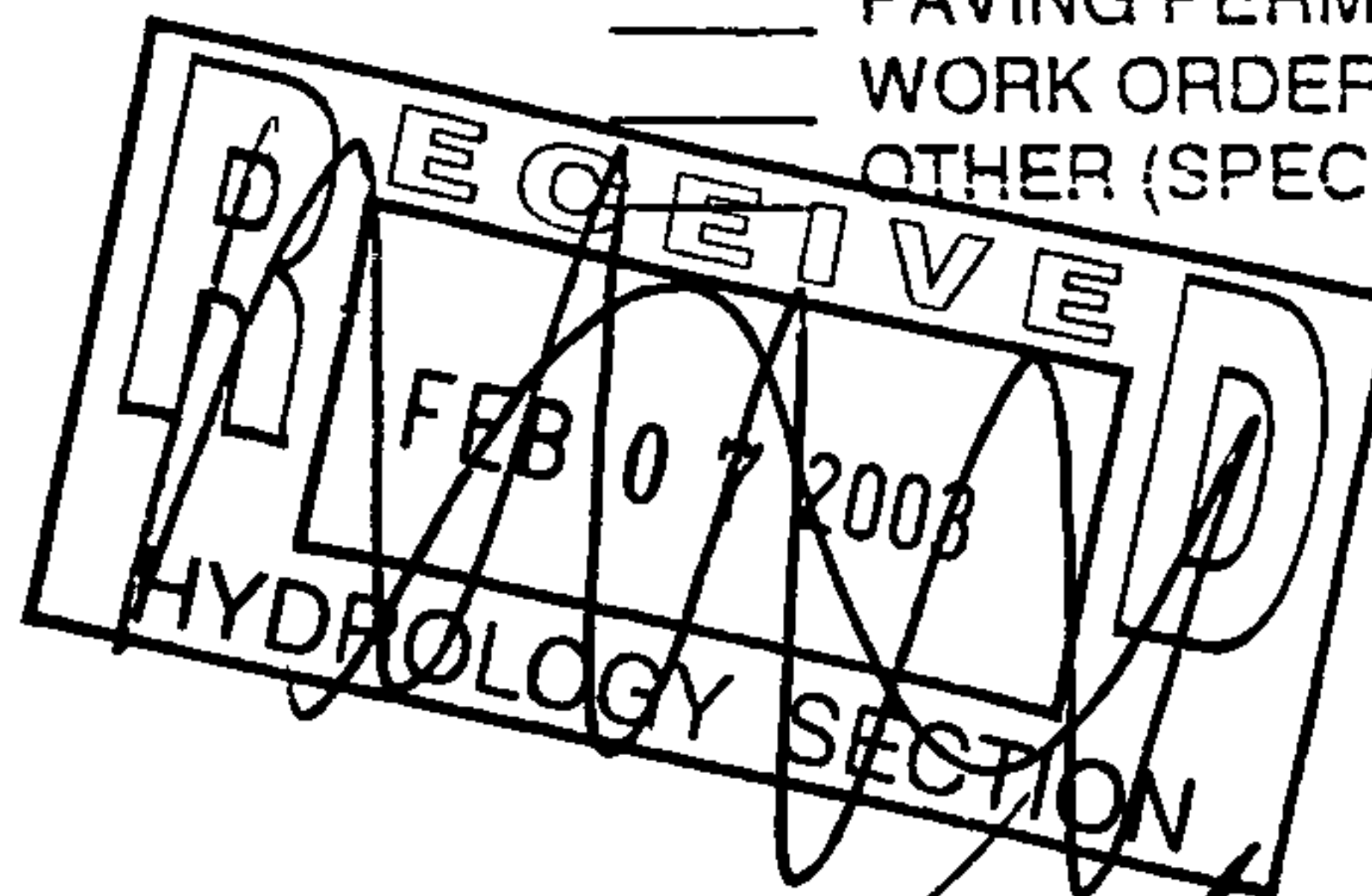
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

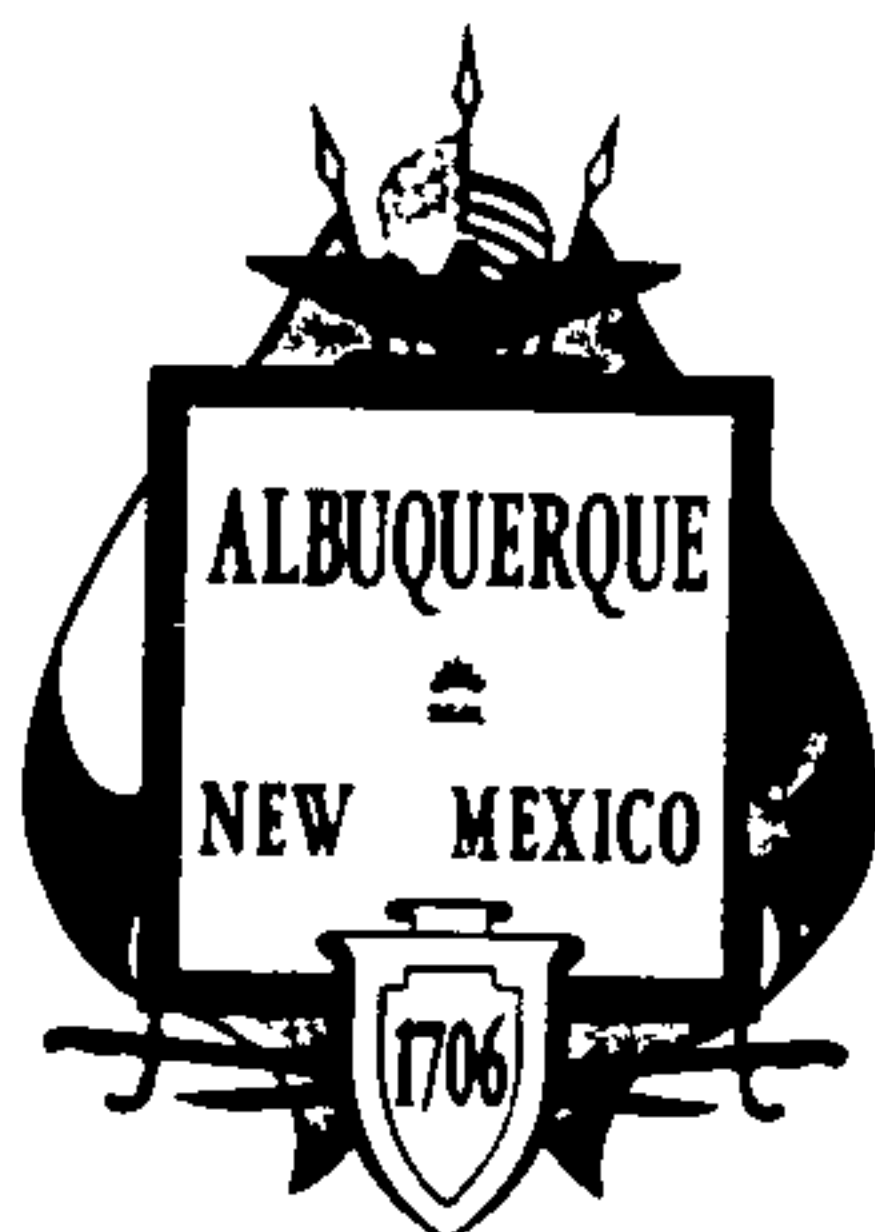
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 2/7/03 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department
Transportation Development Services Section

March 12, 2002

Christopher Carian for John Quinn Pate, Registered Architect
Molzen/Corbin & Associates
2701 Miles Road S.E.
Albuquerque, NM 87106

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Montoya Office and Barn Buildings, [C16 / D004]
315 Alameda Blvd. N.E.
Architect's Stamp Dated 03/11/02

Dear Mr. Pate:

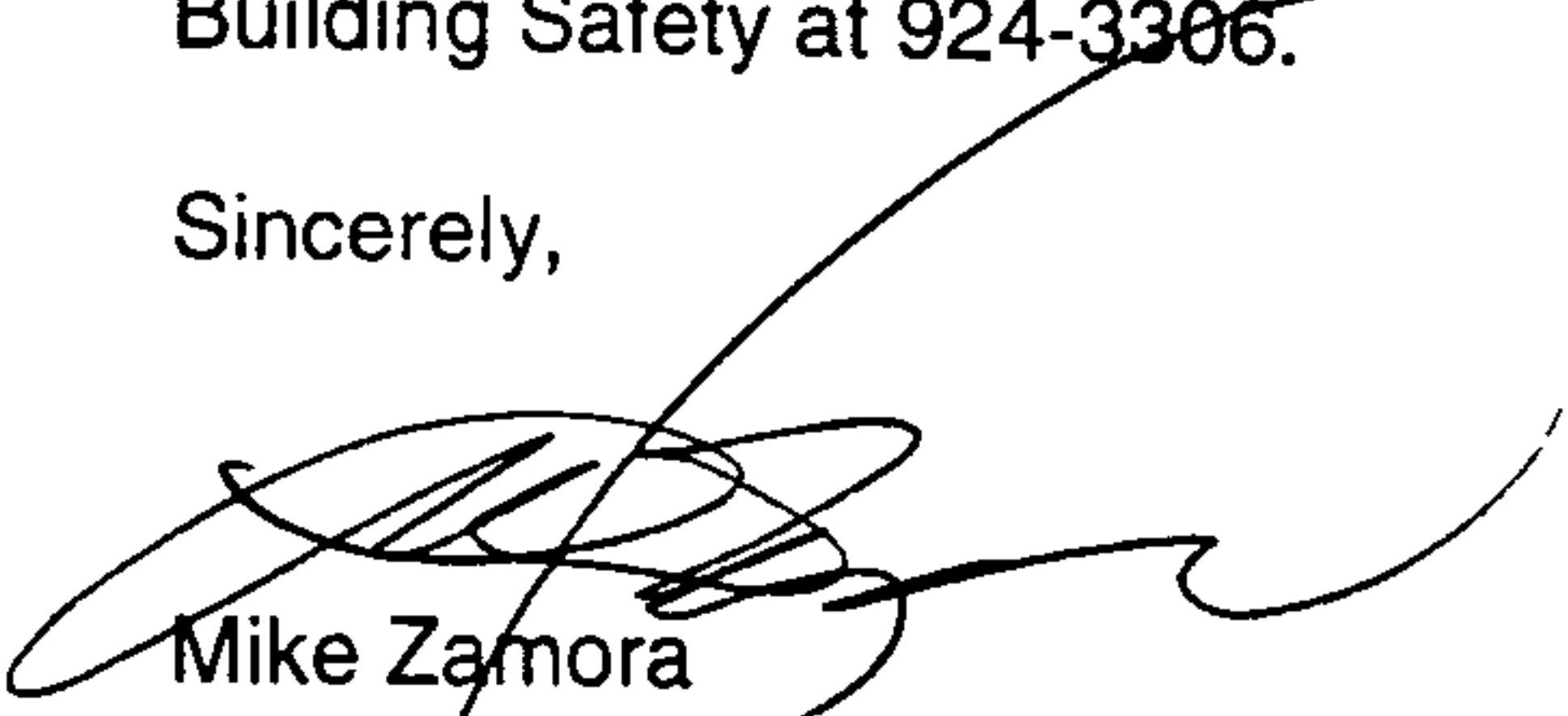
The TCL submittal, dated Feb. 27, 2002, is sufficient for acceptance by this office and is stamped and signed as such. Four copies were made as required: two were attached to the building permit plans, one for this office and one kept by the architect, to be used for certification of the site for final C.O.

When the superintendent of this project calls for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O. If this project is one of multiple phases for this building permit, Barricading Plan is needed clearly illustrating how vehicles and pedestrians using this site will be separated from coming phases, not completed or yet begun. Any time project is phased phasing will need to be clearly shown and labelled on all Site Plans and TCL's.

When site is complete and a Final C.O. is needed, a Letter of Certification (specifically stating "Certification"), stating that the site was built in substantial compliance with the approved plan, needs to be included with your copy of the TCL. A second option would be to place a typed or stamped Statement of Certification on the approved TCL copy. Letter and/or TCL package must be stamped with the designer's seal, signed and dated for that certification. All documentation must be submitted with a completed Drainage and Transportation Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that the Final C.O. has been issued for this address call Building Safety at 924-3306.

Sincerely,


Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

C-16/D4

PROJECT TITLE: DAVID MONTA CIRCLE & PARK BUILDINGS ZONE MAP/DRG. FILE #: C-16-2
DRB #: 2-95-96/AR-95-15/SD 83-2-31 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A - LANDS OF SPRINGFIELD
CITY ADDRESS: 315 ALUMINIA BLVD. N.E.

ENGINEERING FIRM: MOL ZEN - CURBIN & ASSOCIATES
ADDRESS: 2701 MILLS RD SE
CITY, STATE: ALBU. NM 87106

CONTACT: KENT FRISER
PHONE: 242-5700
ZIP CODE: 87106

OWNER: DAVID MONTA CONSTRUCTION
ADDRESS: 8831 4TH STREET NW
CITY, STATE: ALBU. NM 87184

CONTACT: DAVID MONTA
PHONE: 898-4331
ZIP CODE: 87184

ARCHITECT: MOL ZEN - CURBIN & ASSOCIATES
ADDRESS: 2701 MILLS RD SE
CITY, STATE: ALBU. NM 87106

CONTACT: JOHN PATE / CHRYSTIAN CITY
PHONE: 242-5700
ZIP CODE: 87106

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

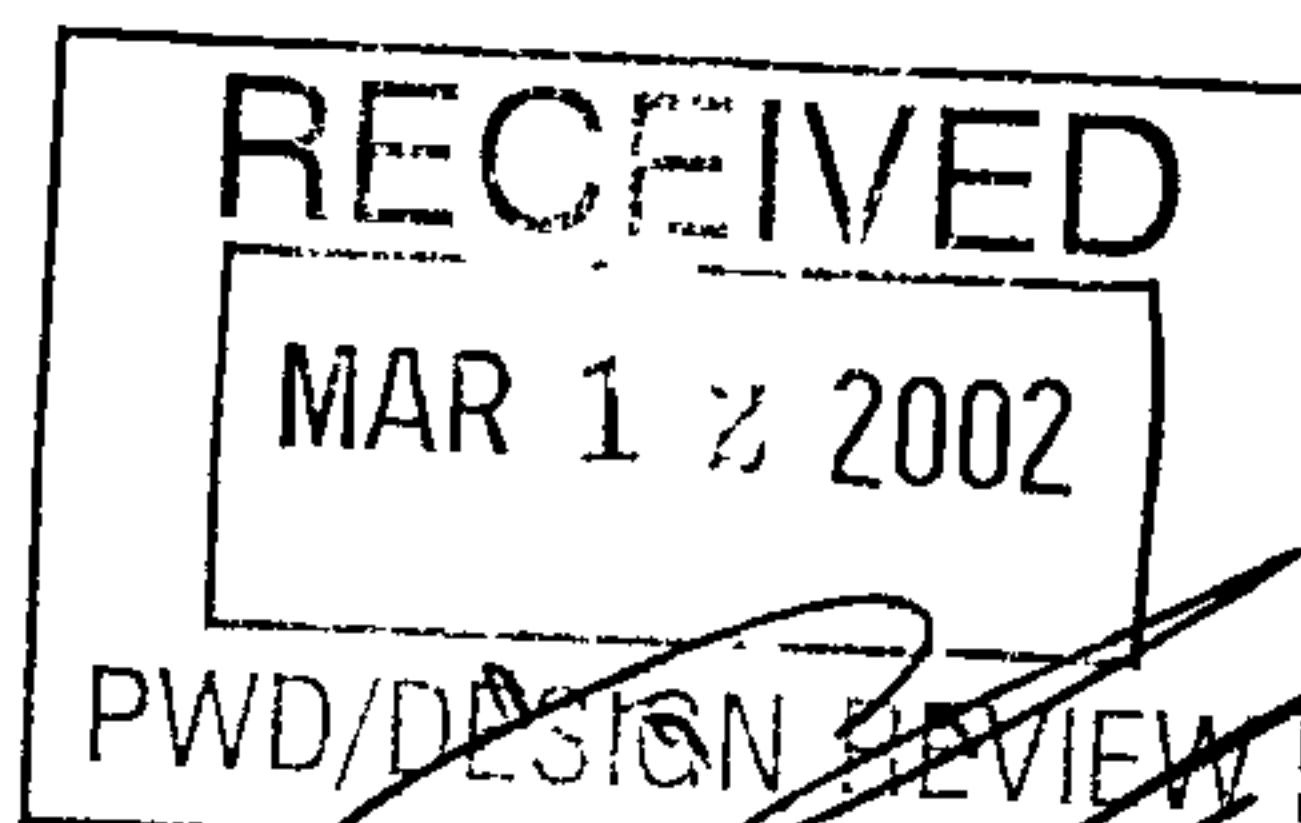
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 3-12-02

BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

3/12/02 - T.C.L. App'd Arch has 3 copies; ~~3/12/02~~ 3/12 - logged in;
3/26/02 - Sent T.C.L. App'l. letter (dated 3/12).

TRAFFIC CONTROL UNIT
APPROVED

Signed

Date



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 12, 2003

Kent Freier, P.E.
Molzen-Corbin & Assoc.
2701 Miles Rd SE
Albuquerque, New Mexico 87106

RE: DAVID MONTOYA OFFICE & BARN BUILDINGS (C-16/D4)
(315 Alameda Blvd NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 1/3/2002 Rev. 2/9/2003
ENGINEERS CERTIFICATION DATED 2/9/2003

Dear Mr. Freier:

Based upon the information provided in your Engineers Certification resubmittal dated 2/11/2003, and based upon the approval letter by AMAFCA, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin

CDM Hydrology Plan Checker
Development & Bldg. Services Division

C: Certificate of Occupancy Clerk, COA
✓ drainage file
approval file

TIM EICHENBERG, CHAIR
DANIEL HERNANDEZ, VICE-CHAIR
RONALD D. BROWN, SECRETARY-TREASURER
LINDA STOVER, ASST SECRETARY-TREASURER
DANIEL LYON, DIRECTOR

JOHN P. KELLY, P.E.
EXECUTIVE ENGINEER



**Albuquerque
Metropolitan
Arroyo
Flood
Control
Authority**

2600 PROSPECT N E, • ALBUQUERQUE, NM 87107
TELEPHONE (505) 884-2215 FAX (505) 884-0214

February 5, 2003

Ms. Teresa A. Martin
City of Albuquerque
Development & Building Services Division
600 2nd Street NW
Albuquerque, NM 87102

Re: David Montoya Office and Barn Building, ZAP C-16
Engineer's Certification for Certificate of Occupancy
Engineer: Kent Freier, Molzen-Corbin, Certification Stamp Dated 1/3/03

C-16/D4

Dear Terri:

The contractor coordinated with AMAFCA prior to construction adjacent to the North Diversion Channel right-of-way. I visited the referenced site and found the retaining wall and grading along the east property line to be acceptable. Therefore, I do not object to ~~issuance of a Certificate of Occupancy.~~ If you have any questions, please call me at 884-2215.

Sincerely,
AMAFCA

Lynn M. Mazur, P.E.
Development Review Engineer

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

C-16/D4

PROJECT TITLE: David Montoya Construction ZONE MAP/DRG FILE #: C-16
 DRB #: Z-95-96/AX-95-15/50-83-2-31 WORK ORDER#: 580982

LEGAL DESCRIPTION: Portion of Tract A Lands of Springer Corporation
 CITY ADDRESS: Edith & Alameda NW

ENGINEERING FIRM: Molzen-Corbin & Associates
 ADDRESS: 2701 Miles Road SE
 CITY, STATE: Albuquerque, NM 87106

CONTACT: Kent Freier
 PHONE: 242-5700
 ZIP CODE: 87106

OWNER: David & Pam Montoya
 ADDRESS: 8831 4th NW
 CITY, STATE: Albuquerque NM

CONTACT: David Montoya
 PHONE: 898-6330
 ZIP CODE: 87114

ARCHITECT: Molzen-Corbin & Associates
 ADDRESS: 2701 Miles Road SE
 CITY, STATE: Albuquerque NM

CONTACT: Christopher Carian
 PHONE: 242-5700
 ZIP CODE: 87106

SURVEYOR: Bohannon-Huston
 ADDRESS: Courtyard I 7500 Jefferson NE
 CITY, STATE: Albuquerque, NM

CONTACT: Tom Klingenhagen
 PHONE: 823-1000
 ZIP CODE: 87109

CONTRACTOR: S&J Construction
 ADDRESS: 3535 Princeton NE
 CITY, STATE: Albuquerque NM

CONTACT: Marvin Valverde
 PHONE: 864-6234
 ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL

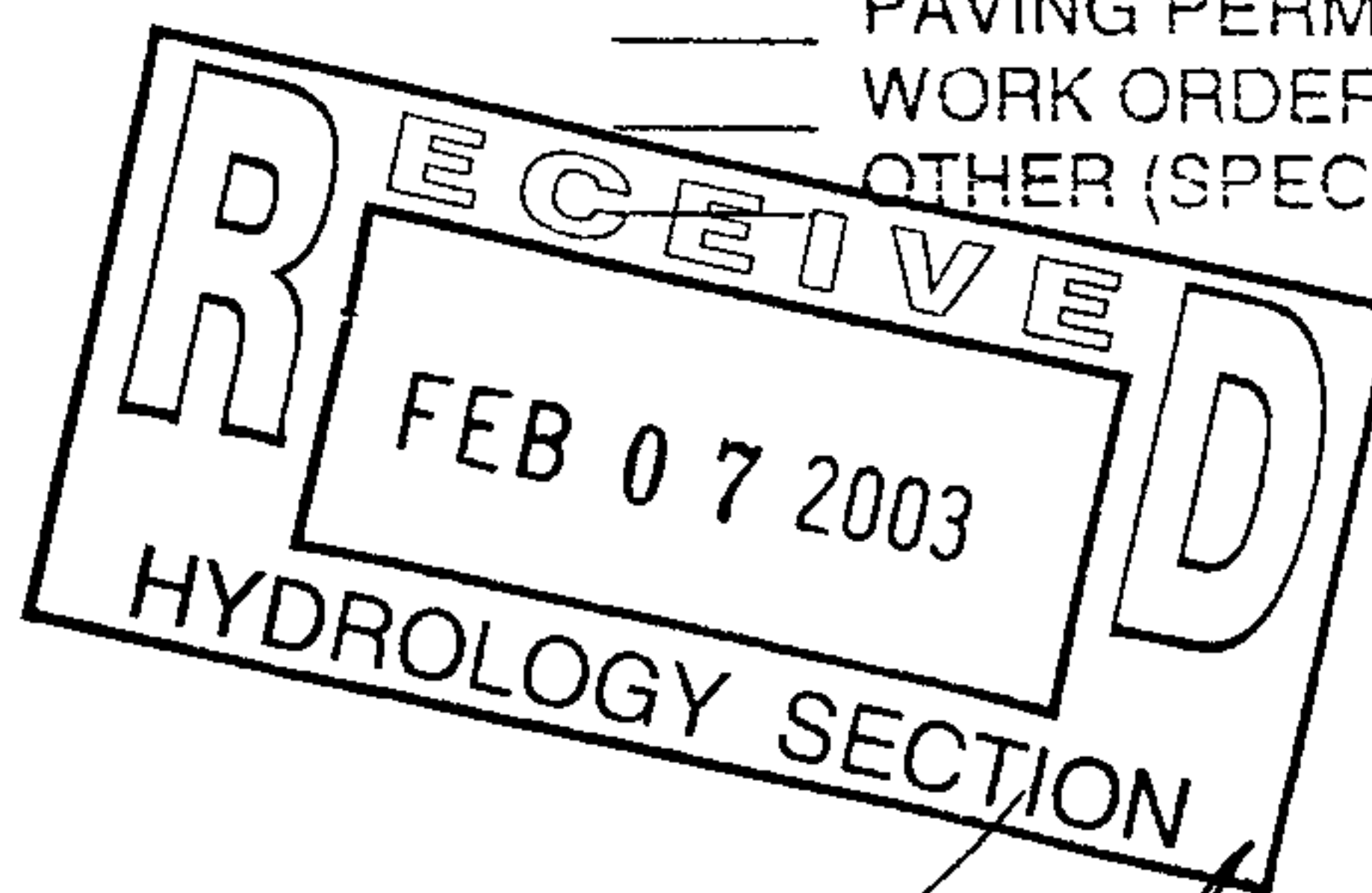
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 2/7/03 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 7, 2001

Kent S. Freier, P.E.
Molzen-Corbin & Associates
2701 Miles Road SE
Albuquerque, NM 87106

***RE: DAVID MONTOYA CONSTRUCTION (C16-D4). GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
OCTOBER 31, 2001.***

Dear Mr. Freier:

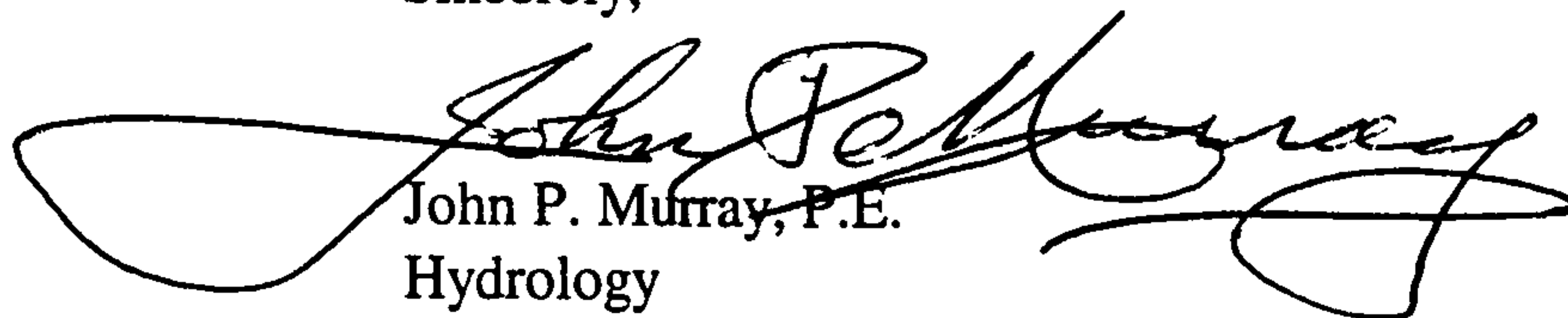
Based on the information provided on your October 31, 2001 resubmittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

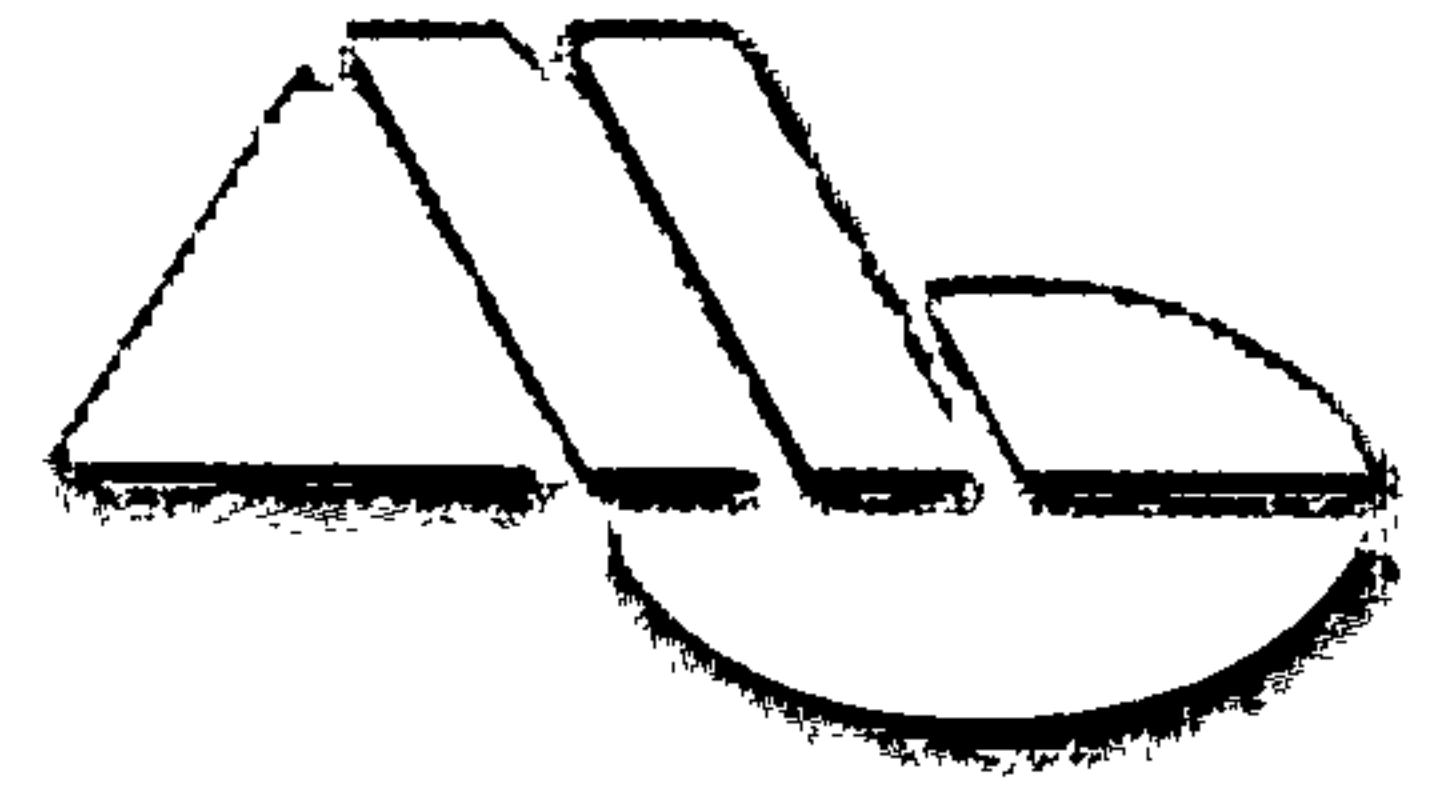
If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
File

2701 MILES RD SE
ALBUQUERQUE, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673



MOLZEN-CORBIN
& Associates

ENGINEERS/ARCHITECTS/PLANNERS

October 31, 2001

Mr. John Murray, P.E.
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

**RE: David Montoya Construction (C16-D4) Grading and Drainage Plan
Building Permit Approval**

DMC91-11.D20

Dear Mr. Murray:

In response to your comments dated September 7, 2001, we offer the following:

G&D Plans not stamped. This submittal now includes engineer's stamp and date.

Current FEMA Maps are now referenced including the correct date of September 20, 1996.

References to future and/or proposed storm drainage improvements. This information was included on a previously approved grading and drainage plan for Montoya. City Hydrology approval date was 6/27/96.

The drainage information reflects all that we have been able to retrieve on the status of Edith Boulevard. Edith is classified as a minor arterial on the Long Range Major Street Plan. It is currently a two-lane rural section. As Edith is improved to comply with City street design standards, it will include storm drainage to allow for curb and gutter. When Edith is to be improved, the retention pond is to be converted to detention, utilizing the future Edith system as an outfall. For now, the site cannot discharge to Edith as the existing street has no drainage conveyance structures.

The timing of future improvements on Edith is not known at this time. Therefore, a temporary retention facility is needed to allow for this development. We have added a note to the drawing to reflect the future connection to Edith.

High permeability of the retention pond. We did not try and take any infiltration credits for the design storm. The permeability of the pond soils was simply noted. Due to the high permeability of the soils, we have recommended to the Montoya's that they line the pond so as to discourage any seepage or piping of the retention pond areas.

I believe that this answers the comments from our previous submittal. Therefore, we are re-submitting for grading and drainage approval.

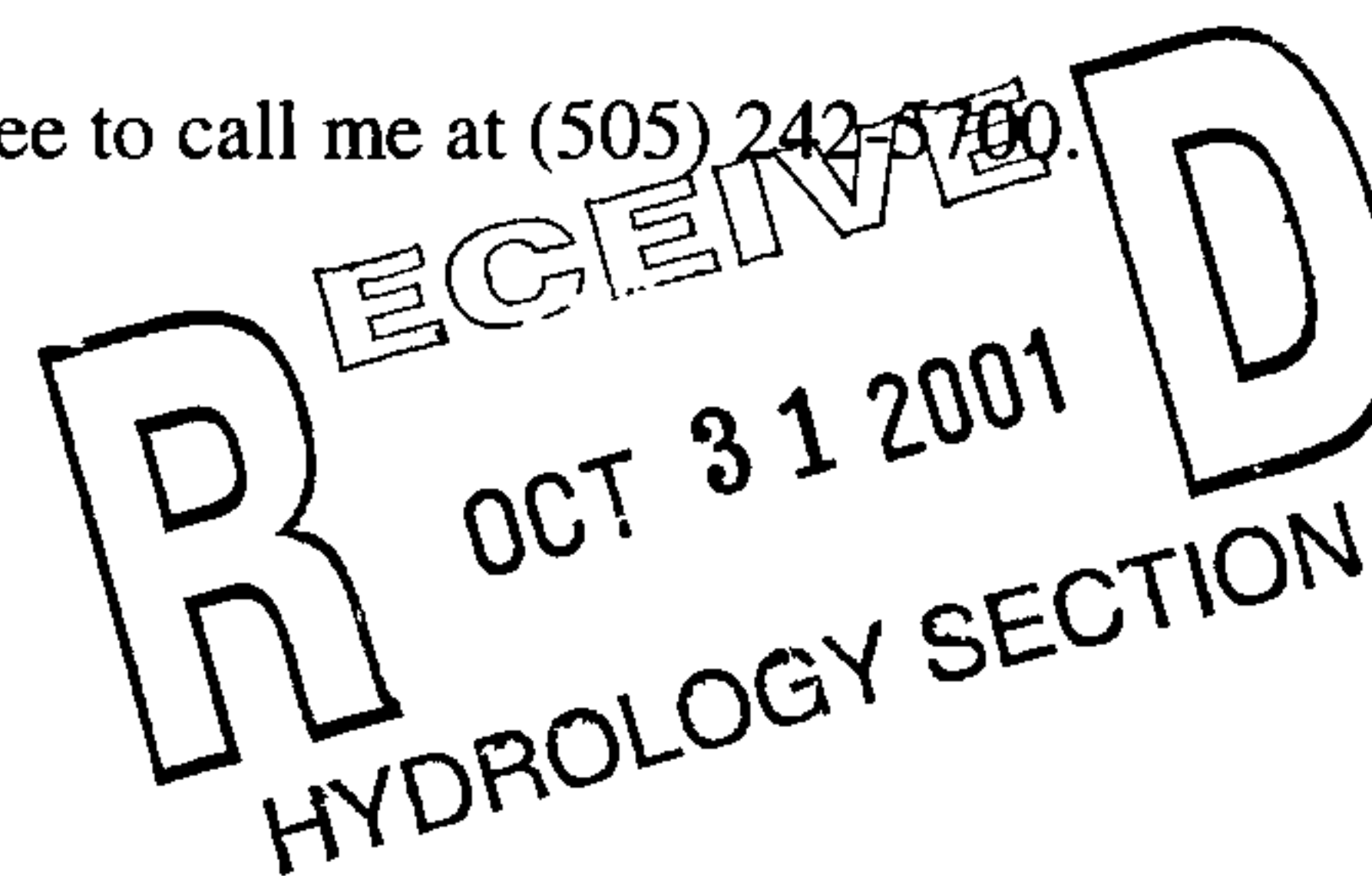
If you have any questions regarding this matter, please feel free to call me at (505) 242-5700.

Sincerely,

MOLZEN-CORBIN & ASSOCIATES

Kent S. Freier, P.E.

KSF:jgo
Enclosures



DRAINAGE INFORMATION SHEET

C-16/04

PROJECT TITLE: David Montoya Construction ZONE ATLAS/DRNG. FILE NO.: C-16

DRB NO.: Z-95-96/AX-95-15/50-83-2-31 EPC NO.: _____ WORK ORDER NO.: _____

LEGAL DESCRIPTION: Portion of Tract "A" Lands of Springer Corporation

CITY ADDRESS: Edith & Alameda, NW

ENGINEERING FIRM: Molzen-Corbin & Associates CONTACT: Kent Freier

ADDRESS: 2701 Miles Road, SE, Albuquerque, NM 87106 PHONE: (505) 242-5700

OWNER: David Montoya Construction CONTACT: Pam Montoya

ADDRESS: 8831 4th Street, NW, Albuquerque, NM 87114 PHONE: (505) 898-6330

ARCHITECT: Molzen-Corbin & Associates CONTACT: Christopher Carian

ADDRESS: 2701 Miles Road, SE, Albuquerque, NM 87106 PHONE: (505) 242-5700

SURVEYOR: Bohannon-Huston, Inc. CONTACT: Tom Klingenhagen

ADDRESS: Courtyard I, 7500 Jefferson, NE, Albuquerque, NM 87109 PHONE: (505) 823-1000

CONTRACTOR: TBD CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
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☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER Kent Freier (SPECIFY)

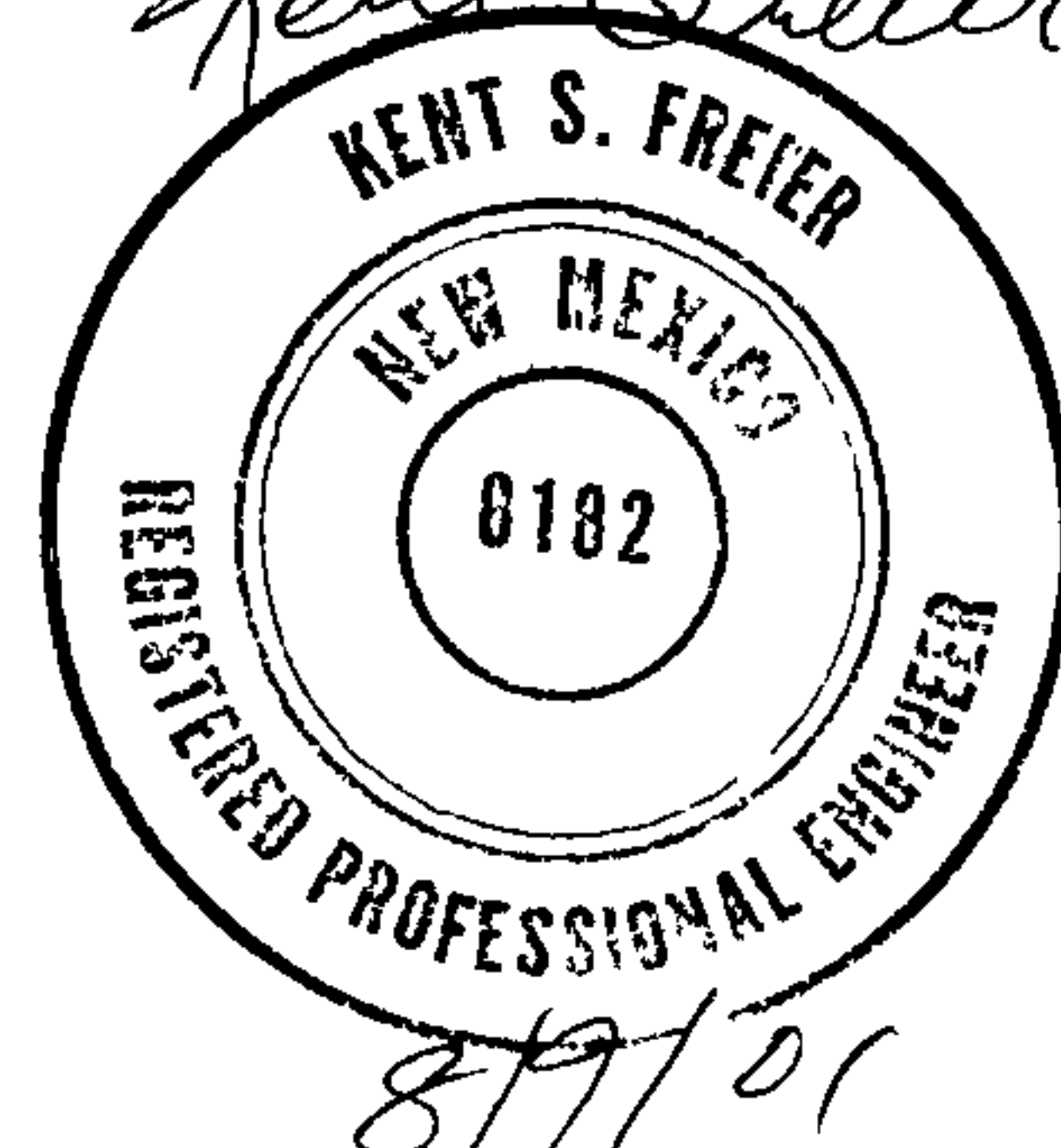
PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

RECEIVED
OCT 31 2001
HYDROLOGY SECTION

DATE SUBMITTED: 75F 8/9/01 10/31/01

BY: _____





Martin J. Chávez, Mayor

Graeme Means
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: DAVID MONTOYA CONSTRUCTION (C16-D4) GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
5-30-96.**

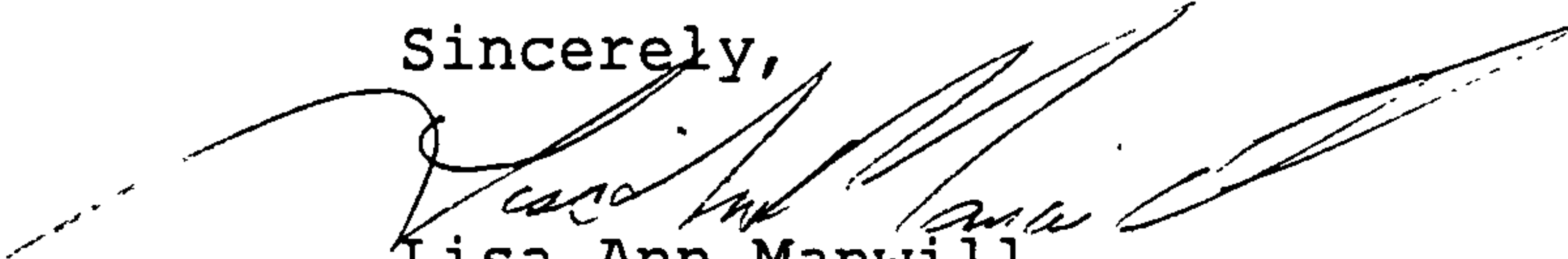
Dear Mr. Means:

Based on the information provided on your May 31, 1996 submittal,
the above referenced project is approved for Building Permit.

The owner of this property will be responsible for making the
proper connection to the Edith Storm Drain, once it is available.

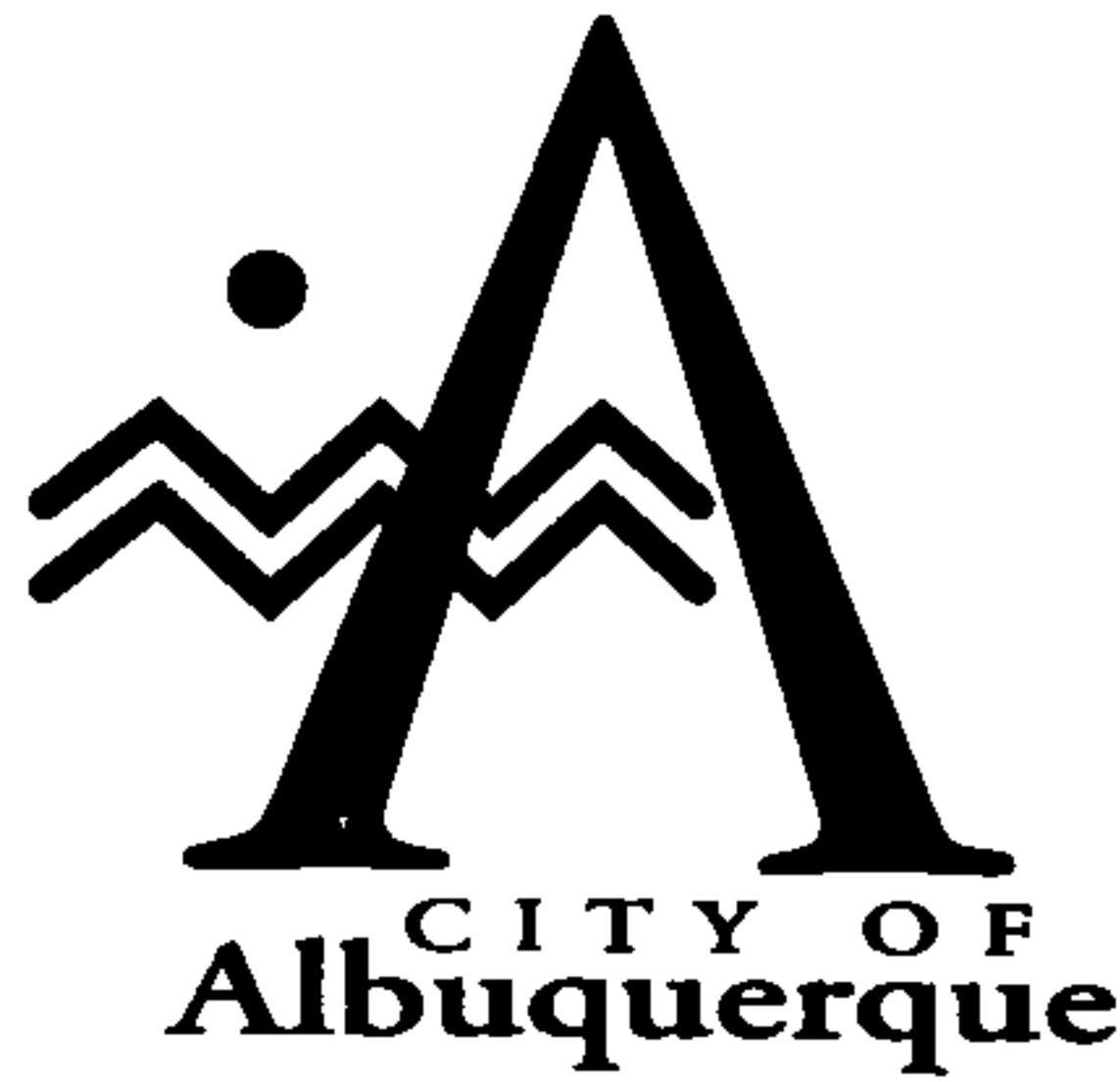
If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File





May 14, 1996

Martin J. Chávez, Mayor

Graeme Means
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: DAVID MONTOYA CONSTRUCTION (C16-D4) GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
4-25-96.**

Dear Mr. Means:

Based on the information provided on your April 26, 1996
submittal, the above referenced project is not approved for
Building Permit. Retention ponding is not allowed. It is
required that the pond drain in a maximum of 24 hours.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,

Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



DRAINAGE INFORMATION SHEET

960261

PROJECT TITLE: DAVID MONTAÑA CONSTRUCTION ZONE ATLAS/DRNG. FILE #: C-16/D4
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: A PORTION OF TRACT "A", LANDS OF SPRINGER
CITY ADDRESS: ALAMEDA BLVD AND EDITH BLVD NE
ENGINEERING FIRM: JMA CONTACT: GRAEME MEANS
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
OWNER: DAVID MONTAÑA CONSTRUCTION CONTACT: DAVID MONTAÑA
ADDRESS: 8831 4th St. N.W. PHONE: 898-6330
ARCHITECT: BILL PERKINS / DWI CONTACT: BILL PERKINS
ADDRESS: 9621 4th St. N.W. PHONE: 890-1815
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

XC: DAVID MONTAÑA
BILL PERKINS
JOHN KELLY @ AMAFCA

DATE SUBMITTED:

5/31/96

BY:

J. GRAEME MEANS

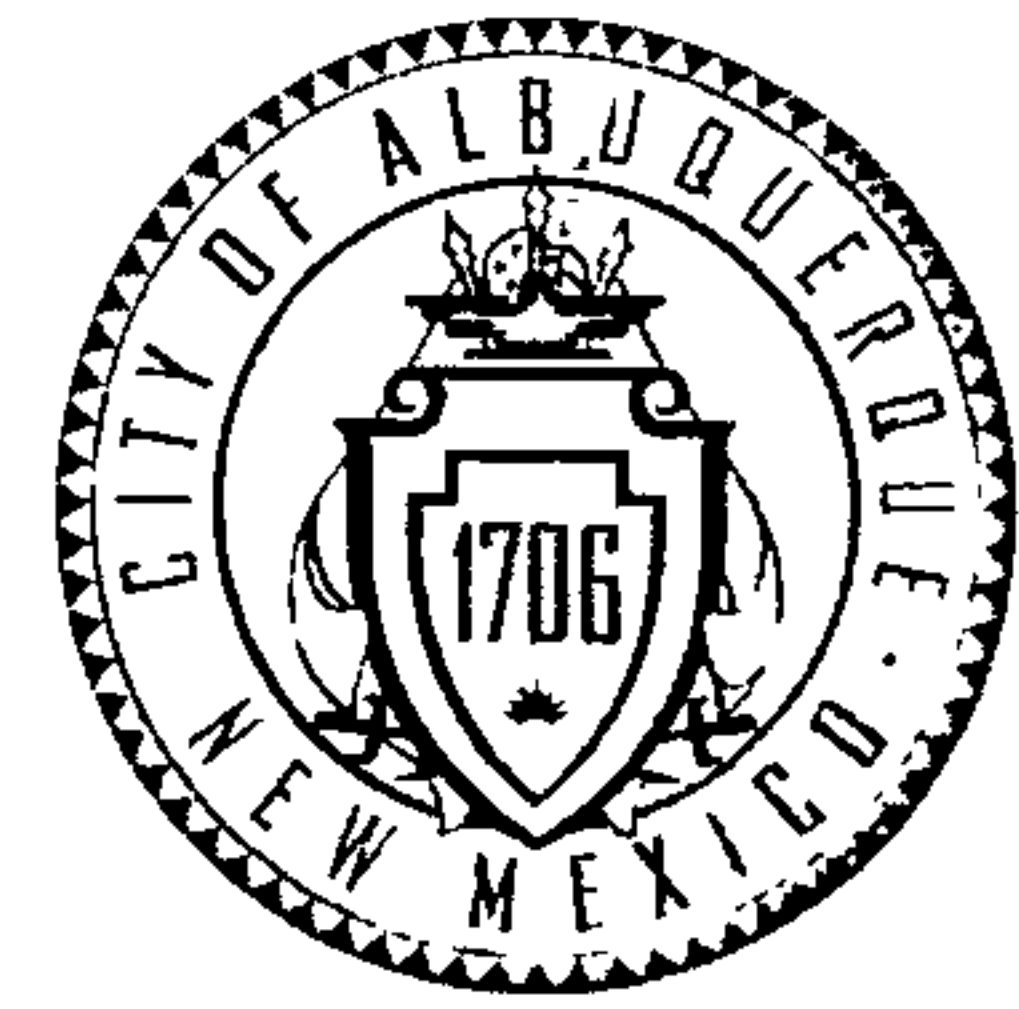
CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER, _____ (SPECIFY)

MAY 31 1996

CY DIVISION

CITY OF ALBUQUERQUE



David Montoya Construction
C/O David Montoya
315 Alameda Blvd NE
Albuquerque NM 87113

Re: Drainage Deficiency/Recommendation Notice Letter

Dear Mr. Montoya;

As you are aware and per our discussion on 11/15/2013 your property has been discharging sediment onto the adjacent street via your staging site and underground tank.

It is our recommendation that a large swale, if you will, be placed in the middle of the staging area from the north end to the south end and reduce the 12" outlet pipe from the tank to a 4" opening with an orifice plate. At the opening of the outlet pipe, a swale with cobble stones should be placed, to prevent erosion near the opening. Also, this swale should continue to the bottom of the access road, which would also help to prevent erosion of the access road. Along the west side of your property line, place a silt fence. This would reduce the windblown sand and would allow water to flow through but prevent sediment from leaving your site and entering the adjacent road.

As you can see, these are minor modifications and may help in the short term. After crunching a few numbers and coming up with an amount of water from your site, the holding tank is not sized properly. The ponding area should hold the 100 year 10 day storm with an emergency overflow, over topping the ridge of the pond. The overflow should be 6 feet wide so that a concentrated flow is not leaving the ponding area, as is currently the case with the holding tank. I would highly recommend that you hire a Professional Engineer, such as Jeff Mortensen, to engineer your entire site so that all flows are accounted for. He may also be able to persuade AMAFCA to allow drainage into their channel.

If you have any questions please feel free to contact me at 924-3977 or via email at rrael@cabq.gov. We are hoping that you will rectify the situation and be a good neighbor to the residence just to the west of you. Thank You in advance for your cooperation with this matter.

Respectfully;

Rudy E. Rael, CE
Engineer Assistant
Hydrology Department