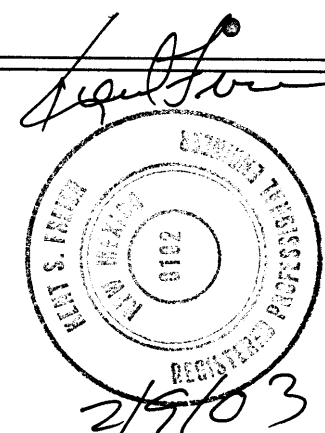


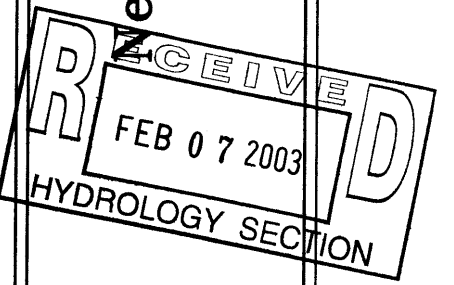
Molzen-Corbin & Associates
2701 Miles Road S.E.
Albuquerque, New Mexico 87106
voice (505) 242-5700
fax (505) 242-0873



REV NO	REV DATE	SUB. COMPLIANCE
1	DEC. 2002	HYD. SUB. COMPLIANCE
PROJECT NUMBER: DM931-11.D10		
DESIGNED BY: J. LOVATO		
DRAWN BY: E. ARMUO		
CHECKED BY: K. FREIER		
ARCHITECT: C. CARIAN		
PROJECT DATE: APRIL 2001		

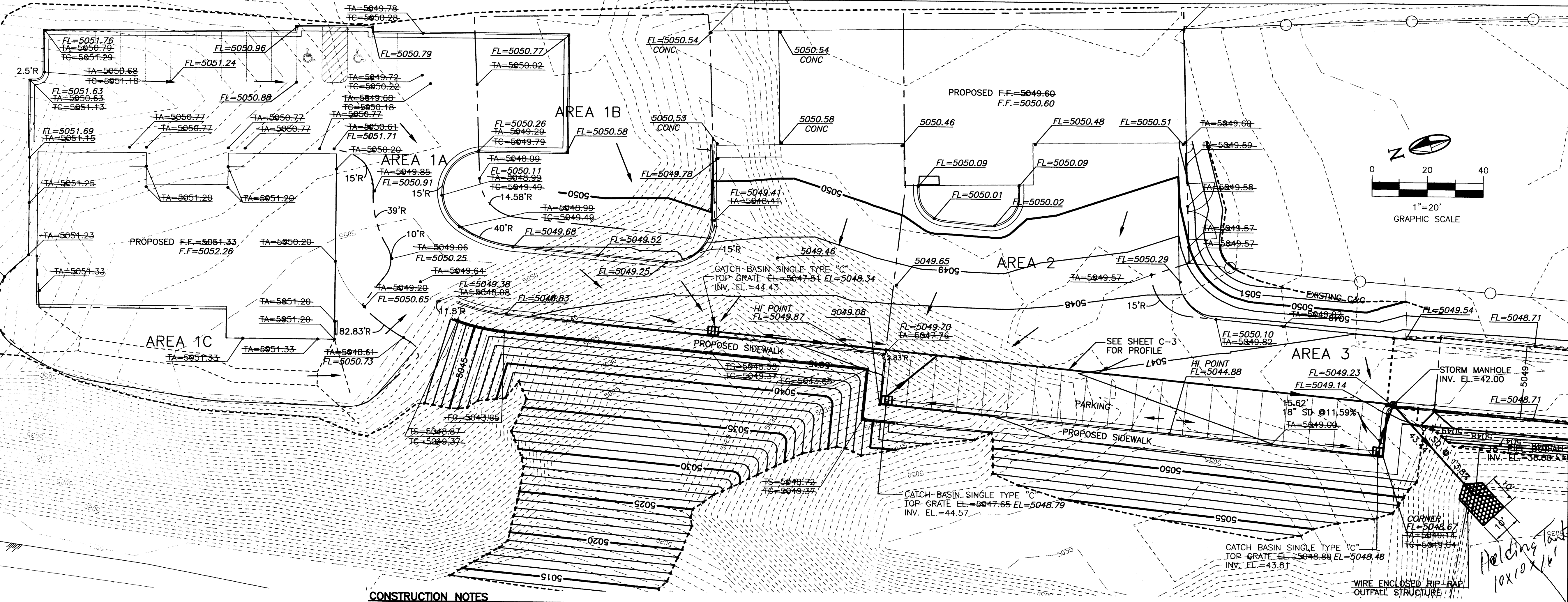
GRADING & DRAINAGE PLAN

David Montoya Construction
New Office Building and New Barn Building
Alameda and North Edith Boulevard
Albuquerque, New Mexico



C-1

SHEET



CONSTRUCTION NOTES

- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
 - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES IN PLANNING AND CONDUCTING EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 - THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
- EROSION CONTROL MEASURES**
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 - THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
 - ANY AREAS OF EXCESS DISTURBING (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

DRAINAGE CERTIFICATE W/SURVEY WORK BY OTHERS
12/28/01

I, KENT FREIER, NMPE 8182, OF THE FIRM MOLZEN - CORBIN & ASSOCIATES HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/31/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOAQUIN ARGUELLES, JR., NMPS 7472, OF THE FIRM ARGUELLES SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 01/03/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR

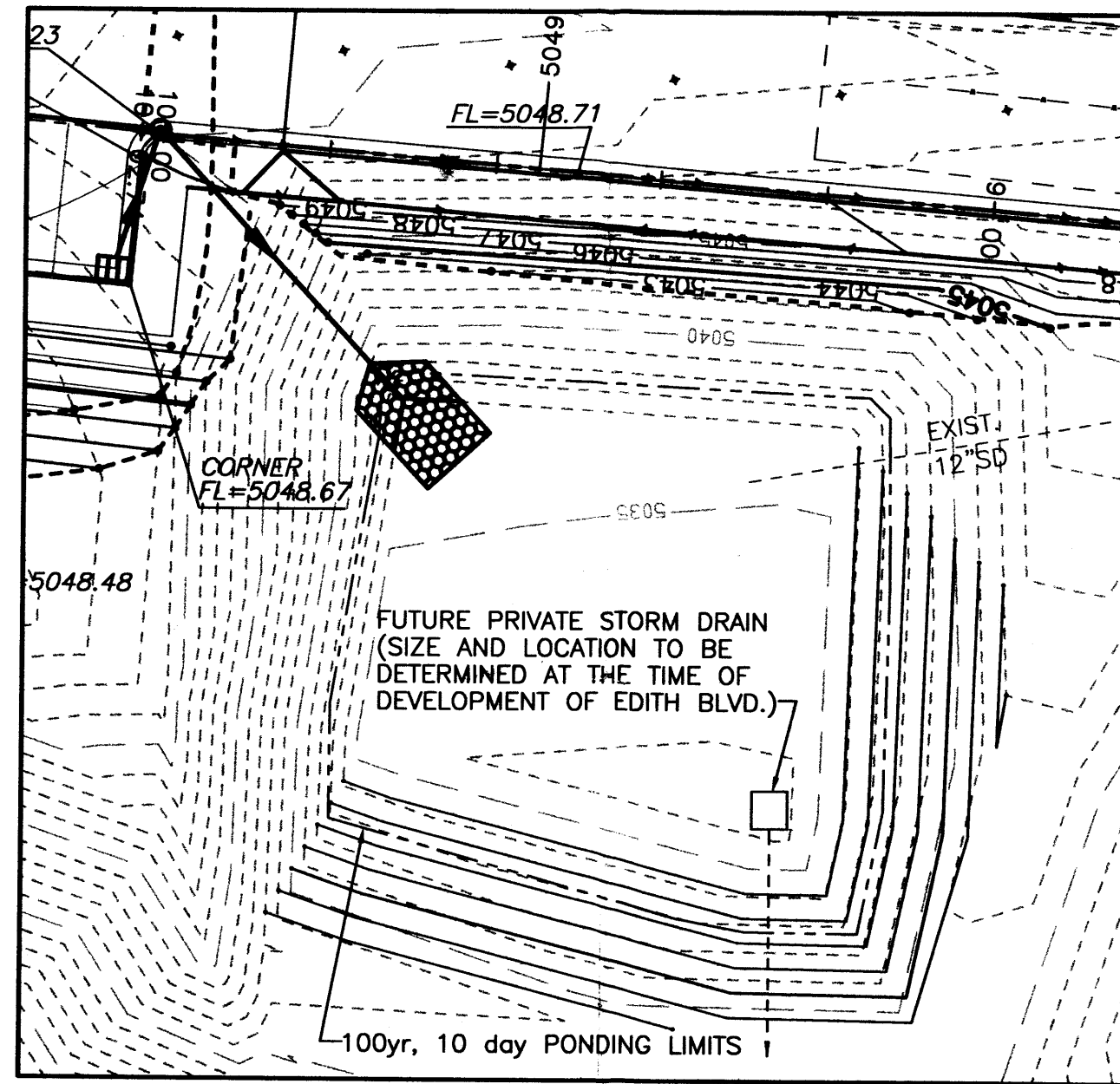
CERTIFICATE OF OCCUPANCY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE

Kent Freier
KENT FREIER PE, NMPE 8182
DATE 2/9/03

LEGEND
HYDROLOGY SUBSTANTIAL COMPLIANCE

DEC. 2002, SPOT ELEVATION	FL=5051.76
DESIGN, SPOT ELEVATION	TA=5050.68 TG=5050.18



NOTE:
THREE FEET OF SOIL IS TO BE REMOVED FROM SURFACE OF POND AND REPLACED. REGRADE TO INSURE A MINIMUM 3:1 SLOPE ON ALL SIDES.

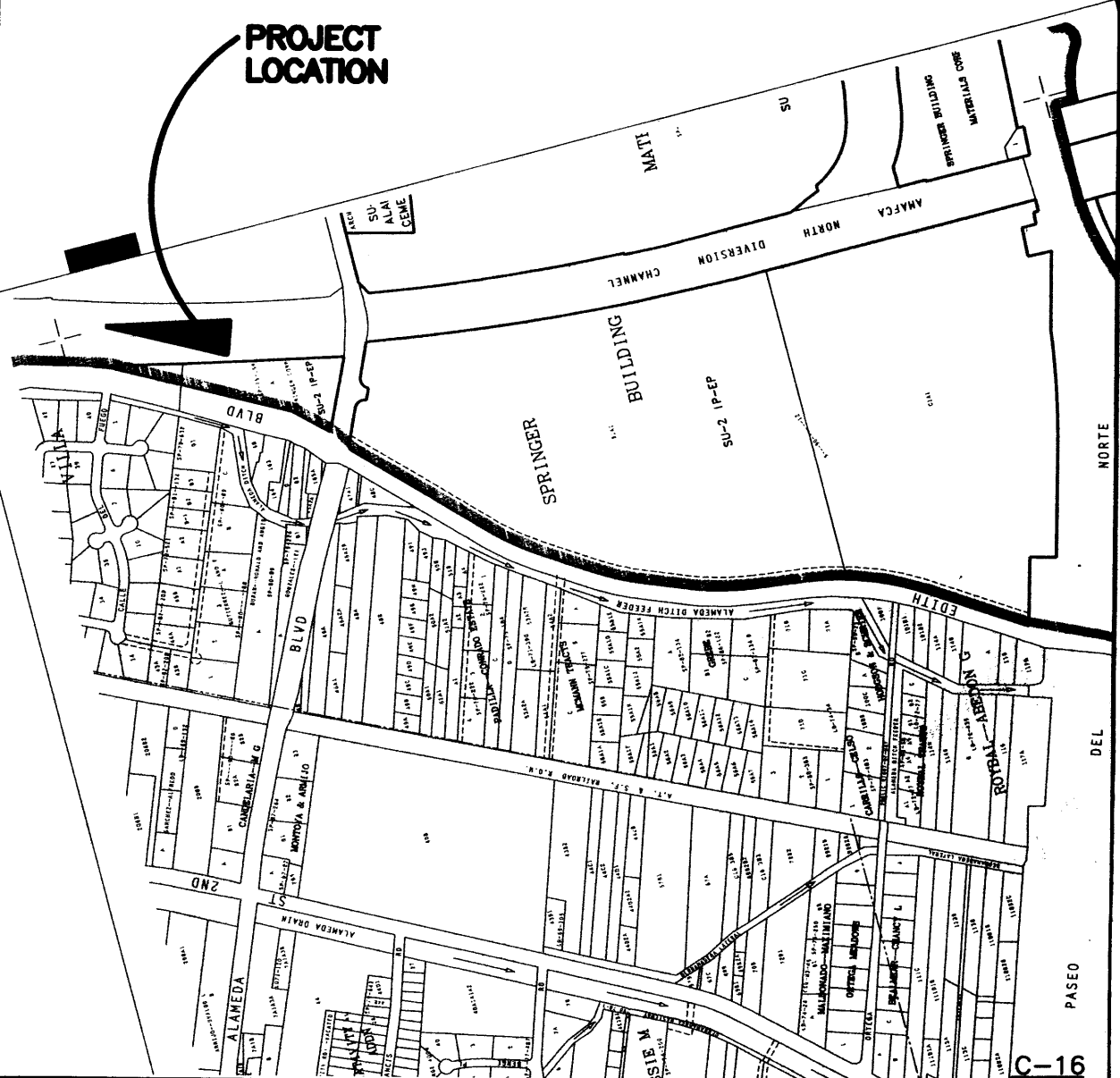
PONDING AREA

APPROVED FOR
ROUGH GRADING

CITY HYDROLOGY DATE

APPROVED FOR
ROUGH GRADING

A.M.A.F.C.A. DATE



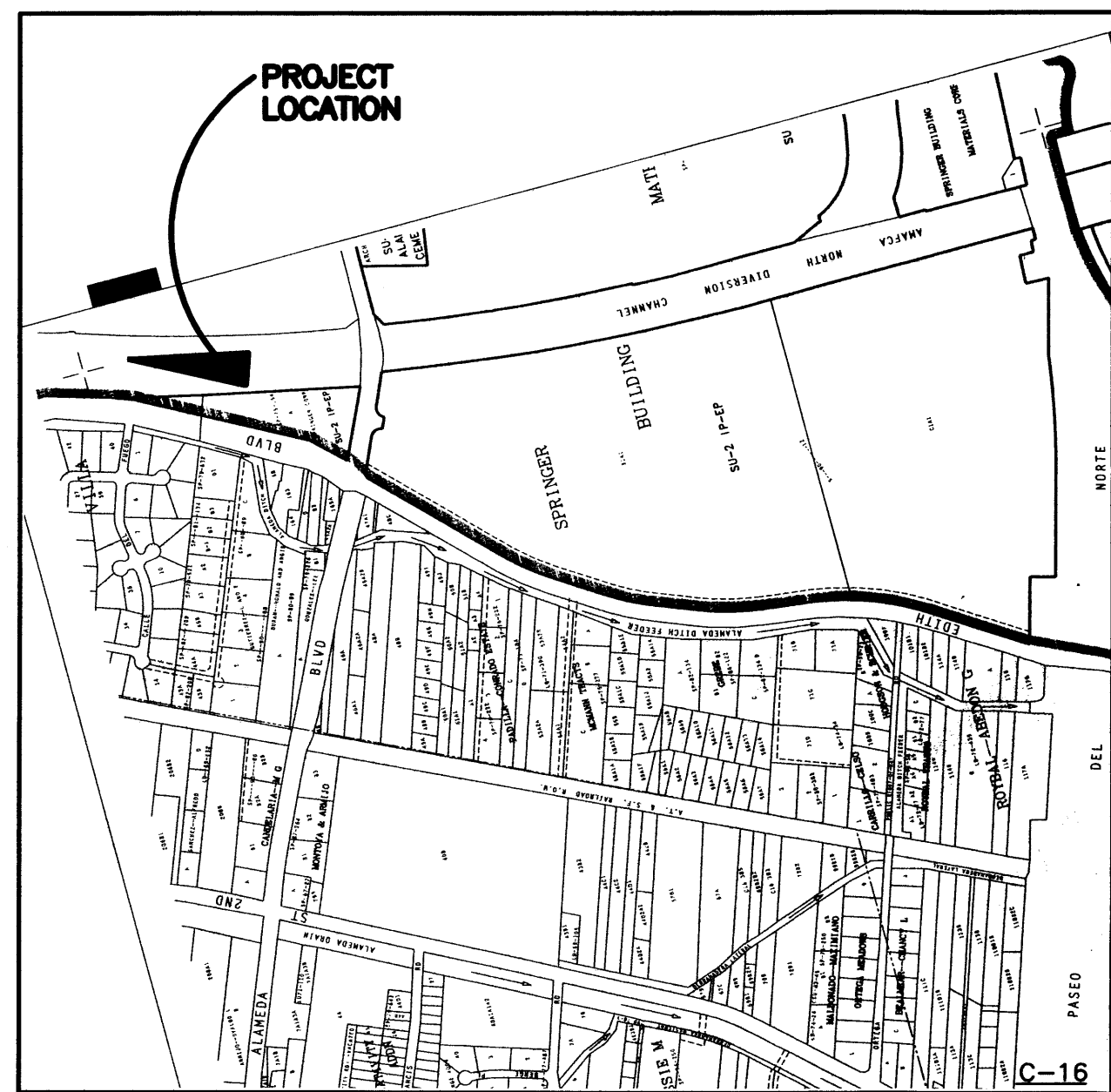
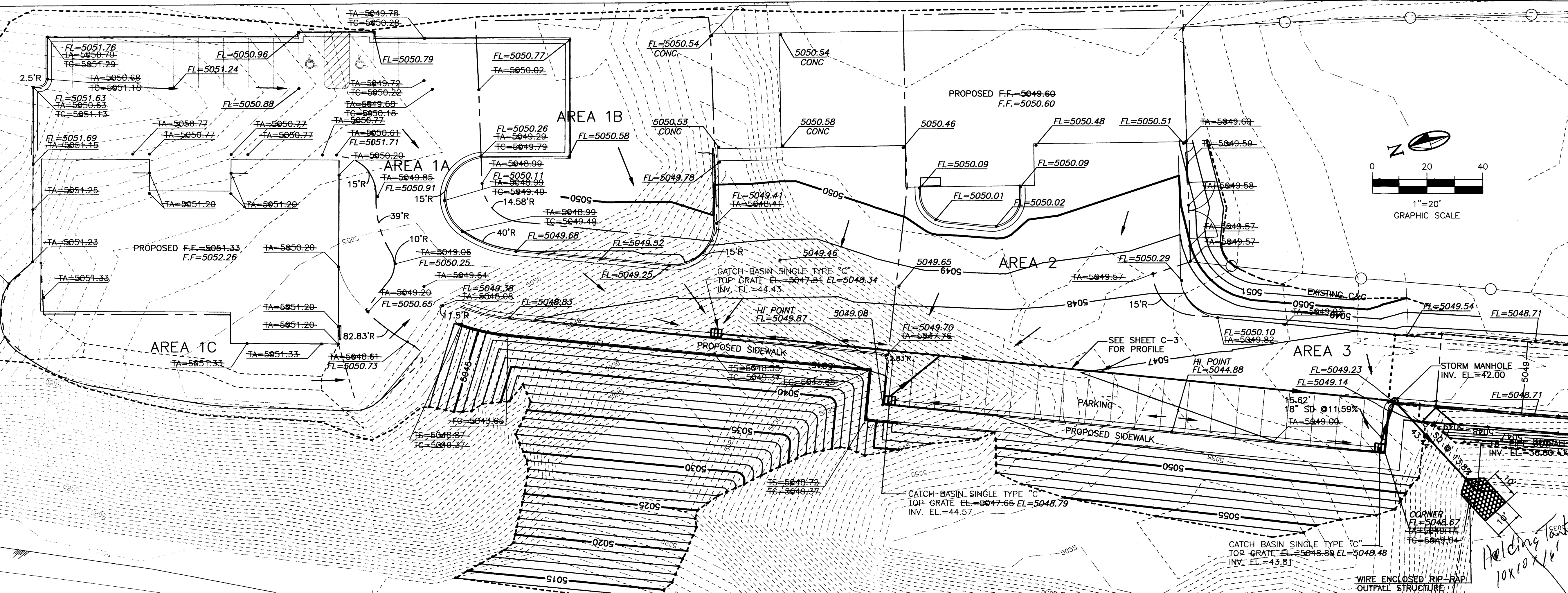
VICINITY MAP

LEGAL DESCRIPTION

PORTION OF TRACT "A"
LANDS OF SPRINGER CORPORATION
ALBUQUERQUE, N.M.

PROJECT BENCHMARK = T.B.M.

AMAFCA BRASS TABLET STAMPED "NDC 7" SET ON A CONCRETE POST PROJECTING 0.3 FEET ABOVE GROUND LOCATED AT THE RICHFIELD (ALAMEDA) ROAD BRIDGE OVER THE AMAFCA NORTH DIVERSION CHANNEL. ELEVATION = 5062.6 (M.S.L.D.)



VICINITY MAP

LEGAL DESCRIPTION

PORTION OF TRACT 'A'
LANDS OF SPRINGER CORPORATION
ALBUQUERQUE, N.M.

PROJECT BENCHMARK = T.B.M.

AMAFCA BRASS TABLET STAMPED "NDC 7" SET ON A
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LOCATED AT THE RICHFIELD (ALAMEDA) ROAD BRIDGE OVER
THE AMAFCA NORTH DIVERSION CHANNEL.
ELEVATION = 5062.6 (M.S.L.D.)

CONSTRUCTION NOTES

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DRAINAGE CERTIFICATE W/SURVEY WORK BY OTHERS
12/28/01

I, KENT FREIER, NMPE 8182, OF THE FIRM MOLZEN - CORBIN & ASSOCIATES HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/31/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOAQUIN ARGUELLES, JR., NMPS 7472, OF THE FIRM ARGUELLES SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 01/03/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR

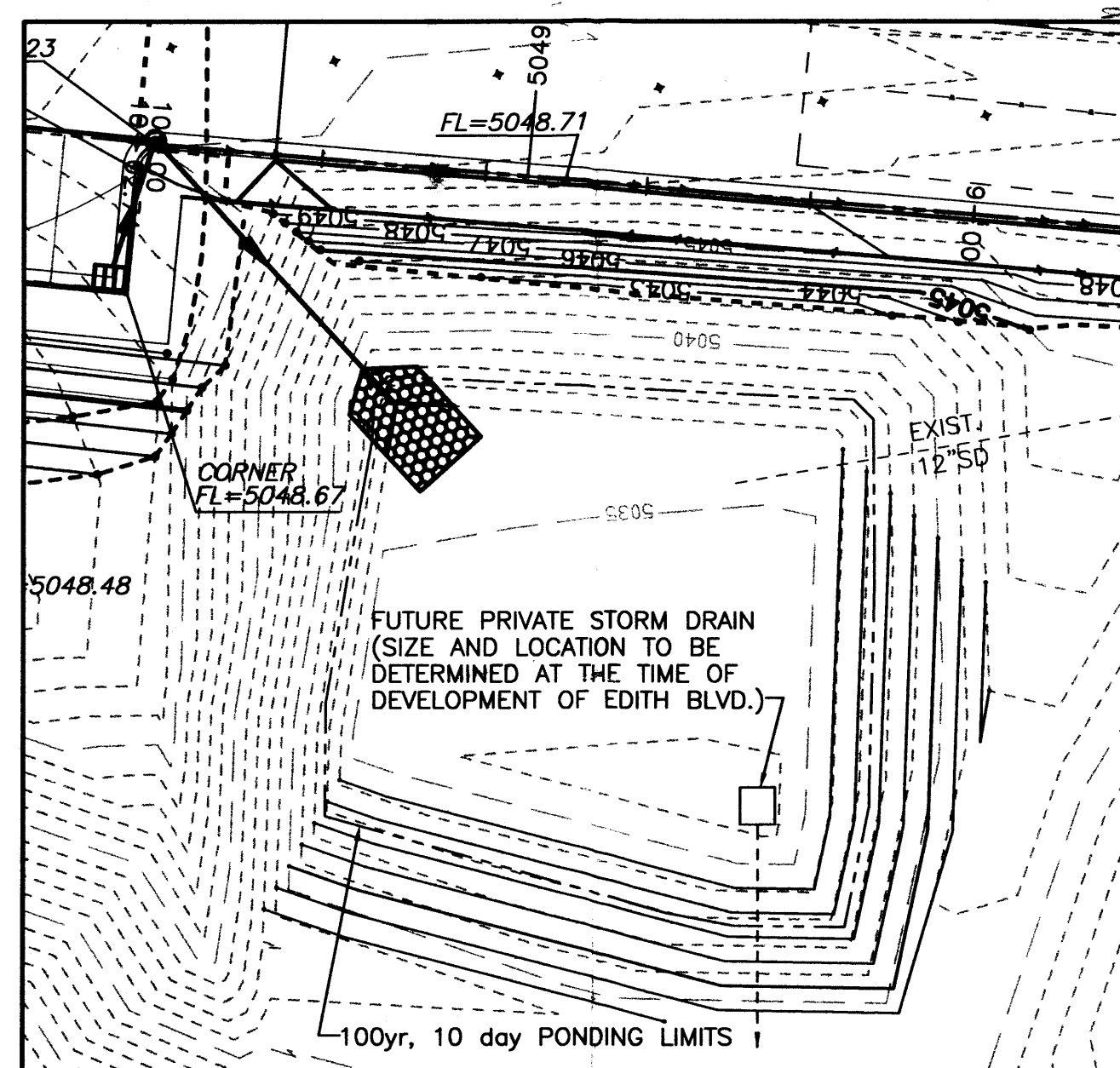
CERTIFICATE OF OCCUPANCY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Kent Freier
KENT FREIER PE, NMPE 8182
DATE 2/9/03

LEGEND
HYDROLOGY SUBSTANTIAL COMPLIANCE

DEC. 2002, SPOT ELEVATION FL=5051.76
DESIGN, SPOT ELEVATION TA=5050.68
TC=5050.18



NOTE:
THREE FEET OF SOIL IS TO BE REMOVED FROM
SURFACE OF POND AND REPLACED. REGRADE TO
INSURE A MINIMUM 3:1 SLOPE ON ALL SIDES.

PONDING AREA

APPROVED FOR
ROUGH GRADING

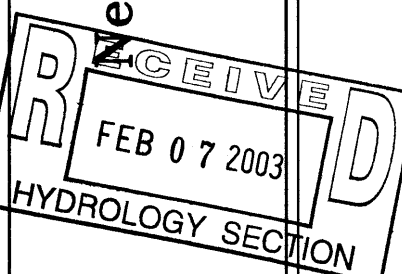
CITY HYDROLOGY DATE

APPROVED FOR
ROUGH GRADING

A.M.A.F.C.A. DATE

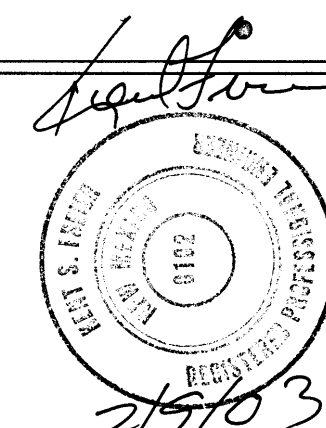
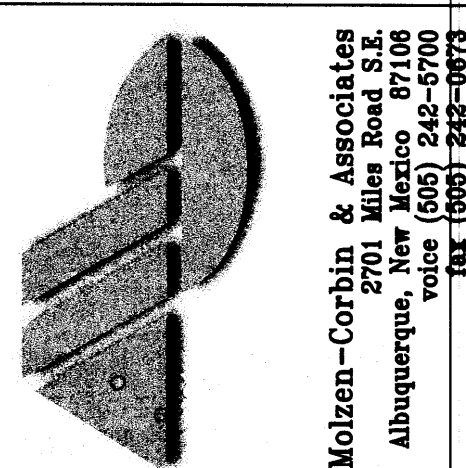
GRADING & DRAINAGE PLAN

David Montoya Construction
New Office Building and New Barn Building
Alameda and North Edith Boulevard
Albuquerque, New Mexico



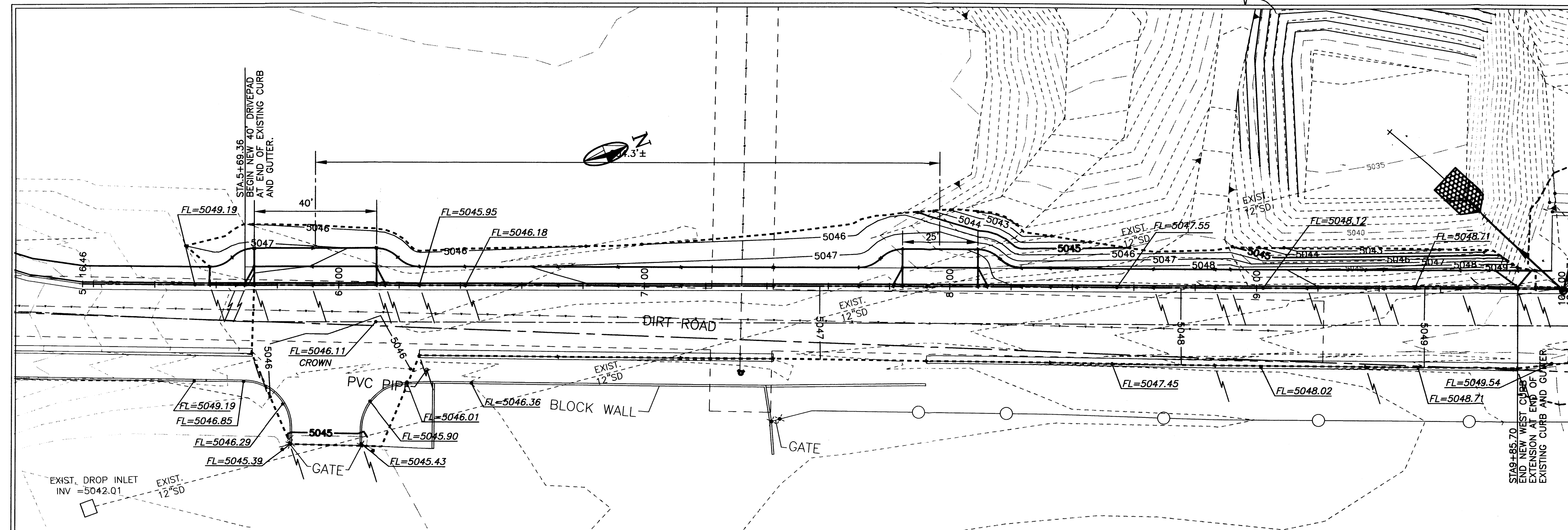
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SHEET



REV NO	REV DATE	DESCRIPTION
1	DEC. 2002	HYD. SUB. COMPLIANCE

PROJECT NUMBER:	DMC91-11-D10
DESIGNED BY:	J. LOVATO
DRAWN BY:	E. ARMUJO
CHECKED BY:	K. FREIER
ARCHITECT:	C. CARBAN
PROJECT DATE:	APRIL 2001



LEGEND
HYDROLOGY SUBSTANTIAL COMPLIANCE

DEC. 2002, SPOT ELEVATION FL=5051.76

DESIGN, SPOT ELEVATION -5050.68

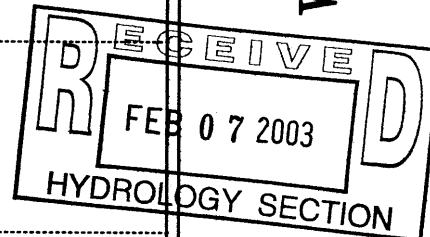
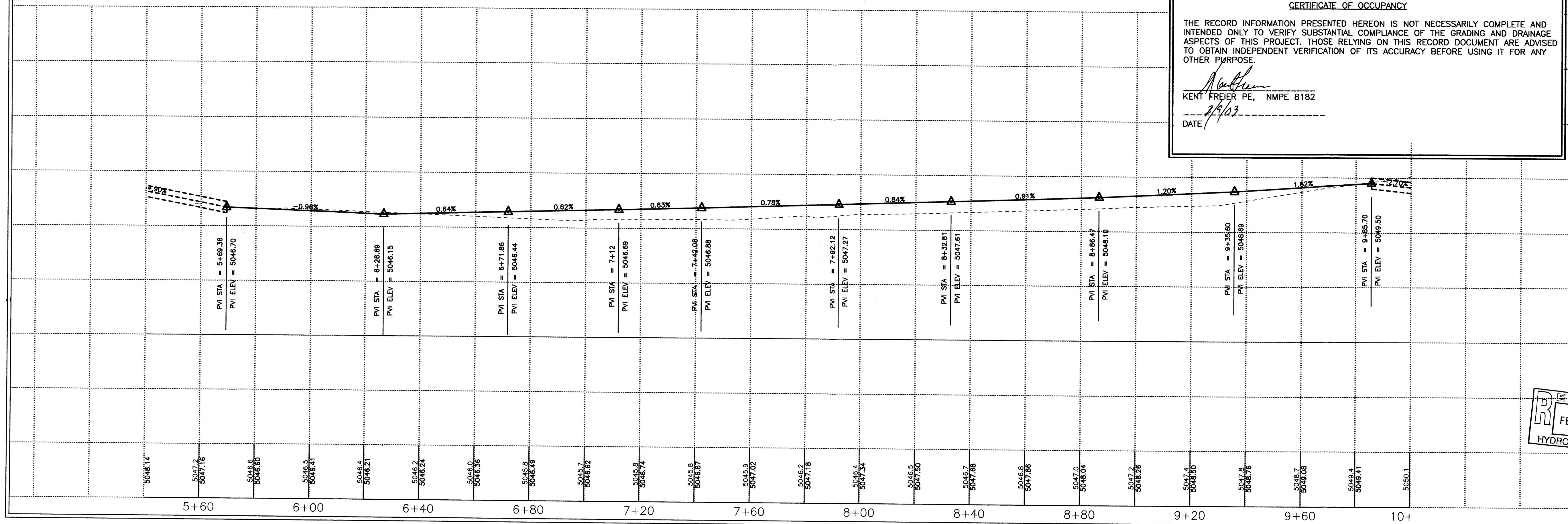
DRAINAGE CERTIFICATE W/SURVEY WORK BY OTHERS
12/28/01

I, KENT FREIER, NMPE 8182, OF THE FIRM MOLZEN - CORBIN & ASSOCIATES HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/31/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOAQUIN ARGUELLES, JR., NMPS 7472, OF THE FIRM ARQUELLES SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 01/03/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR

CERTIFICATE OF OCCUPANCY

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KENT FREIER PE, NMPE 8182
DATE 2/4/03



Molzen-Corbin & Associates
2701 Alameda Road, N.E.
Albuquerque, NM 87110
voice (505) 242-5700
fax (505) 242-0673

1	DEC. 2002	HYD.	SUB. COMPLIANCE
REV. NO.	REV. DATE	DESCRIPTION	
PROJECT NUMBER:	DMCS1-11.D10	DESIGNED BY:	J. LOVATO
DRAWN BY:	J. LOVATO	CHECKED BY:	K. FREIER
ARCHITECT:	C. CARIAN	PROJECT DATE:	APRIL 2001

WEST CURB AND GUTTER PLAN AND PROFILE

David Montoya Construction
New Office Building and New Barn Building
Alameda and North Edith Boulevard
Albuquerque, New Mexico

C-001A

SHEET

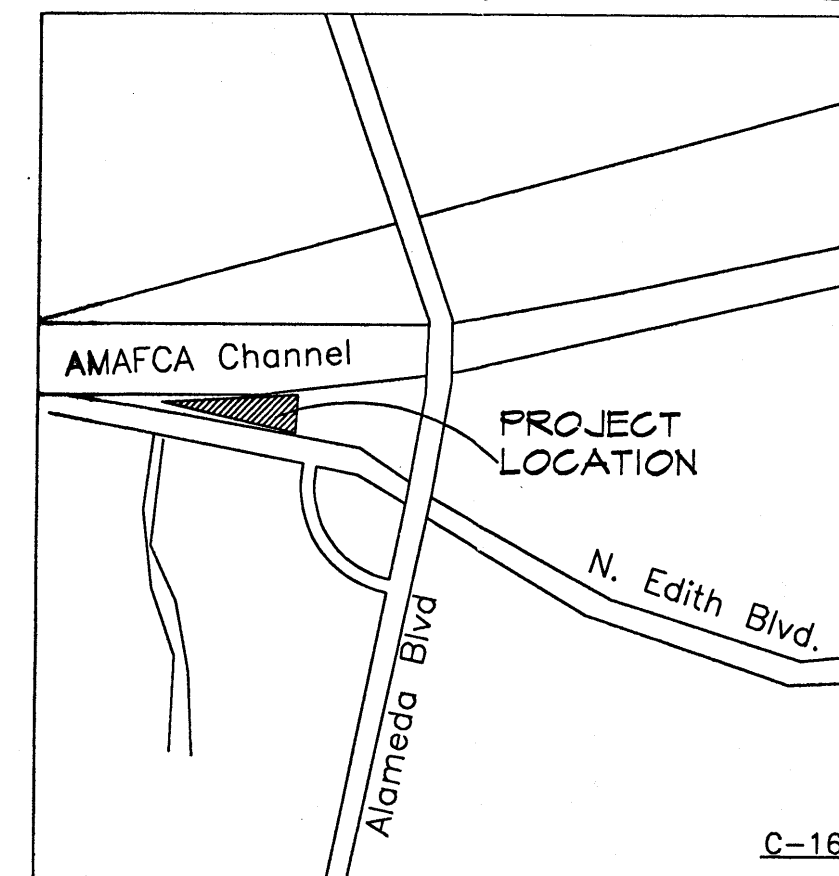
TRAFFIC CONTROL LAYOUT WITH SURVEY WORK PERFORMED BY OTHERS 02/10/03

I, JOHN QUINN PATE, NMRA 1784, OF THE FIRM MOLZEN - CORBIN & ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/11/02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM THE CONTRACTOR, S&J CONSTRUCTION, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 02/10/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR

CERTIFICATE OF OCCUPANCY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC CONTROL LAYOUT ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JOHN QUINN PATE, NMRA 1784
DATE 2/10/03



VICINITY MAP

LEGAL DESCRIPTION

PORTION OF TRACT 'A'
LANDS OF SPRINGER CORPORATION
ALBUQUERQUE, N.M.

PROJECT BENCHMARK = T.B.M.

AMAFCA BRASS TABLET STAMPED "NDC 7" SET ON A CONCRETE POST PROJECTING 0.3 FEET ABOVE GROUND LOCATED AT THE RICHFIELD (ALAMEDA) ROAD BRIDGE OVER THE AMAFCA NORTH DIVERSION CHANNEL.
ELEVATION = 5062.6 (M.S.L.D.)

REQUESTED CLARIFICATIONS FOR THE C.O.A. PUBLIC WORKS DEPT.

- The two buildings shown on this plan will be built concurrently.
- On occasion the large overhead doors on the barn building may be used for tractor or large vehicle access but will primarily be used for pick-up size access.
- Future site development may require the main access road to be widened from 24'-0"

RECEIVED

FEB 11 2003

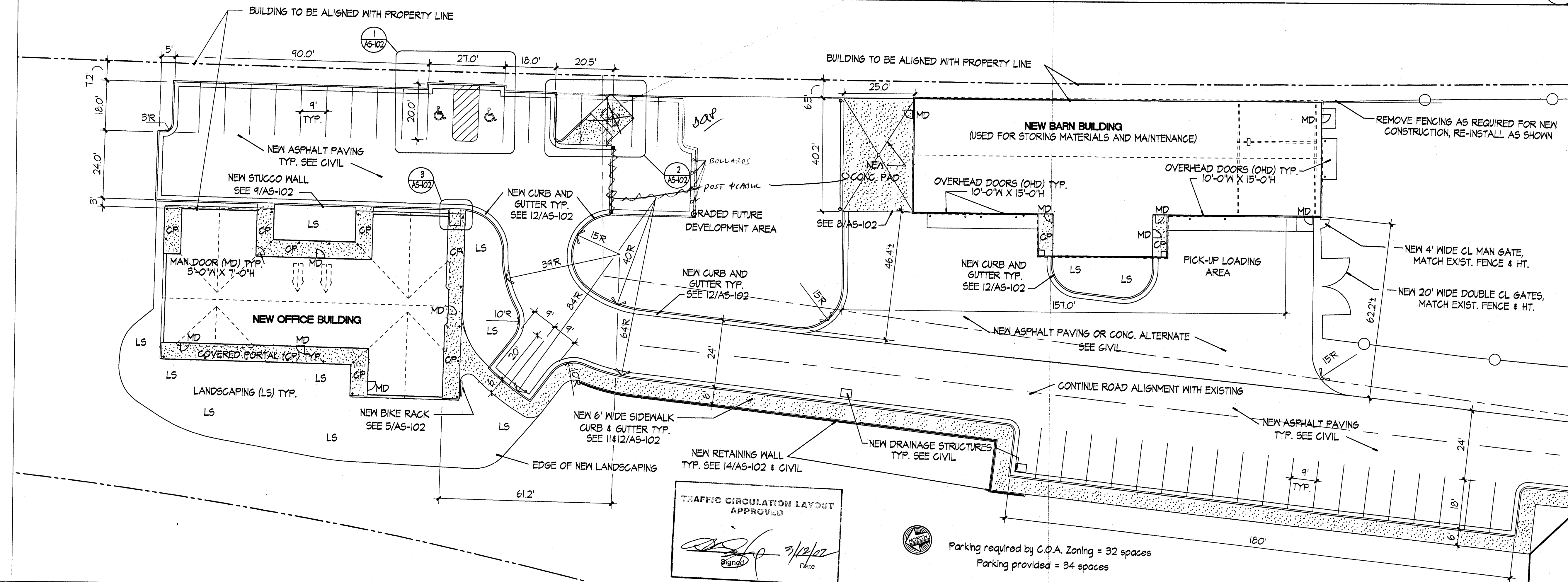
PWD/DESIGN REVIEW

REV NO	REV DATE	DESCRIPTION
1		PROJECT NUMBER: DMC91-11.D10
2		DESIGNED BY: CHRISTOPHER CARIAN
3		DRAWN BY: CHRISTOPHER CARIAN
4		CHECKED BY: JOHN QUINN PATE
5		ARCHITECT: JOHN QUINN PATE
6		PROJECT DATE: APRIL 2001

FULL SITE PLAN

SCALE: 1" = 80'-0"

1



TRAFFIC CIRCULATION LAYOUT APPROVED
7/12/02
Signature: [Signature]
Date: 7/12/02

Parking required by C.O.A. Zoning = 32 spaces
Parking provided = 34 spaces

SCALE: 1" = 20'-0"

2

FULL SITE PLAN, ENLARGED SITE PLAN AND DETAILS

David Montoya Construction
New Office Building and New Barn Building
Alameda and North Edith Boulevard
Albuquerque, New Mexico

AS-101
SHEET