



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

June 18, 2004

James W. Miller, Registered Architect  
5220 2nd Street NW, Ste A  
Albuquerque, NM 87107

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Office Warehouse Lot#53, [C-16 / D6AA]  
3409 Vista Alameda NE  
Architect's Stamp Dated 06/17/04

Dear Mr. Miller:

The TCL / Letter of Certification submitted on June 17, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

Lot #53

D006AA

PROJECT TITLE: Office/Warehouse ZONE MAP/DRG. FILE #: C-16/D006AA  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: lot #53, Alameda Business Park  
 CITY ADDRESS: 3409 Vista Alameda NE

ENGINEERING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: Miller & Assoc  
 ADDRESS: 5220 2nd St NW  
 CITY, STATE: Albany, New Mexico

CONTACT: \_\_\_\_\_  
 PHONE: 345-1312  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

- CHECK TYPE OF SUBMITTAL:
- \_\_\_\_\_ DRAINAGE REPORT
  - \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
  - \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
  - \_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN
  - \_\_\_\_\_ GRADING PLAN
  - \_\_\_\_\_ EROSION CONTROL PLAN
  - \_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)
  - \_\_\_\_\_ CLOMR/LOMR
  - \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
  - ENGINEERS CERTIFICATION (TCL)
  - \_\_\_\_\_ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
  - \_\_\_\_\_ OTHER

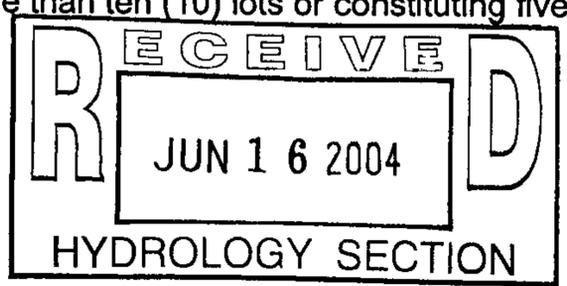
- CHECK TYPE OF APPROVAL SOUGHT:
- \_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE
  - \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
  - \_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL
  - \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
  - \_\_\_\_\_ SECTOR PLAN APPROVAL
  - \_\_\_\_\_ FINAL PLAT APPROVAL
  - \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
  - \_\_\_\_\_ BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM.)
  - \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)
  - \_\_\_\_\_ GRADING PERMIT APPROVAL
  - \_\_\_\_\_ PAVING PERMIT APPROVAL
  - \_\_\_\_\_ WORK ORDER APPROVAL
  - \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 \_\_\_\_\_ YES  
 \_\_\_\_\_ NO  
 \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 6/17/04 BY: Jess Miller

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# MILLER AND ASSOCIATES

ARCHITECTS - PLANNERS

5220 2ND ST. NW STE. A - ALBUQUERQUE, NEW MEXICO 87107 - PHONE (505) 345-1312

June 17, 2004

Traffic Engineering Section  
City of Albuquerque  
600 2nd St., N. W.  
Albuquerque, New Mexico

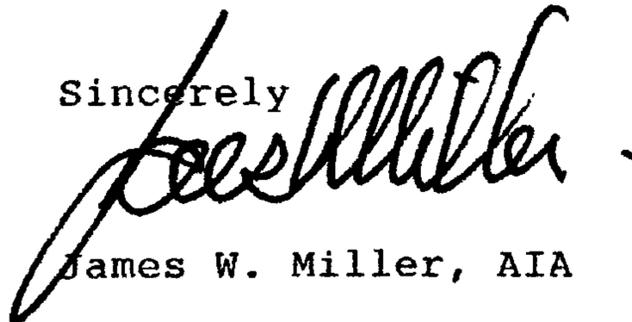
**RE: TRAFFIC CONTROL LAYOUT FOR 3409 VISTA ALAMEDA  
N. E., ABUQUERQUE, NEW MEXICO.**

This letter is to certify that the above referenced project has been completed and is in substantial compliance with the approved Site Plan

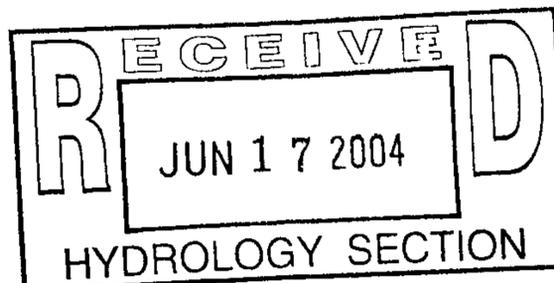
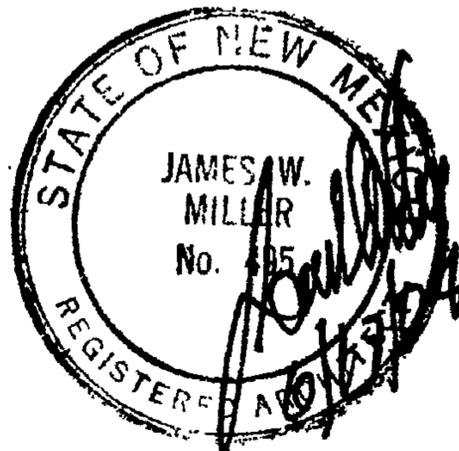
The above referenced project is completed and a final C. O. is being requested at this time.

If there are any questions, please do not hesitate to call this office.

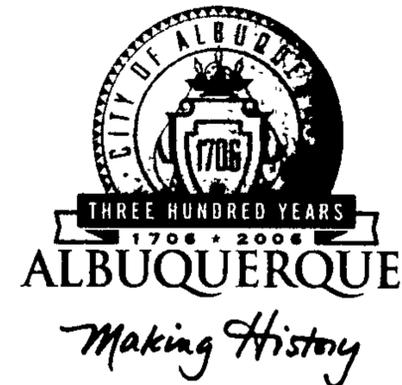
Sincerely



James W. Miller, AIA



# CITY OF ALBUQUERQUE



July 14, 2004

Mr. Wallace (Monte) L. Bingham, PE  
**BINGHAM ENGINEERING**  
6344 Belcher Ave. NE  
Albuquerque, NM 87109

**Re: ALAMEDA BUSINESS PARK, LOT 53**  
**3409 Vista Alameda NE**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 07/02/2003 (C-16/D006AA)**  
**Certification dated 06/11/2004**

P.O. Box 1293

Dear Monte,

Albuquerque

Based upon the information provided in your submittal received 07/14/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

*Arlene V. Portillo*

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

*BUB*

C: Phyllis Villanueva  
Bernie Montoya, BJM Dev. Consultant  
File -1

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: ALAMEDA OFFICE WAREHOUSE  
DRB #:  
*Business Park Lots 3*  
PC#: N/A

ZONE MAP/DRG. FILE #C16-D6AA  
WORK ORDER#:

LEGAL DESCRIPTION: A PORTION OF LOTS 3, 4, AND 5 BLOCK A, JOHN MOORE REALTY CO. THIRD ADDN.  
CITY ADDRESS: 3409 VISTA ALAMEDA NE

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER:  
ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: JIM MILLER & ASSOCIATES  
ADDRESS:  
CITY, STATE:

CONTACT: JIM  
PHONE: 345-1312  
ZIP CODE:

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

## TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- PAVING PLAN
- TCL
- RESUBMITTAL

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES VERBAL WITH KRISTAL METRO
- NO
- COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

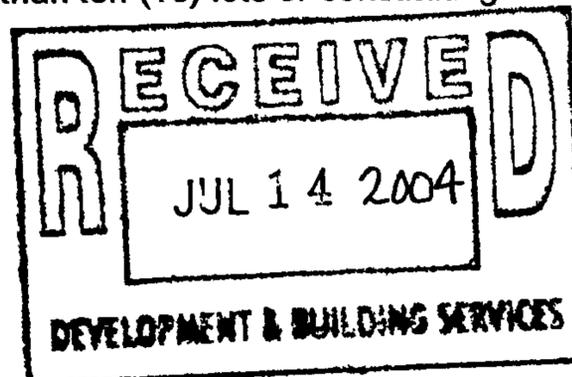
- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY) SO19

DATE SUBMITTED: 7/14/2004 BY: *Bernie Montoya*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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*SO-19 acceptable as per  
Ed Elwell - Storm Drainage  
Maint. 2350844*





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 16, 2003

Monte Bingham, PE  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

**RE: Office / Warehouse Grading and Drainage Plan (C-16/D6AA)  
Engineer's Stamp Dated July 2, 2003**

Dear Mr. Bingham:

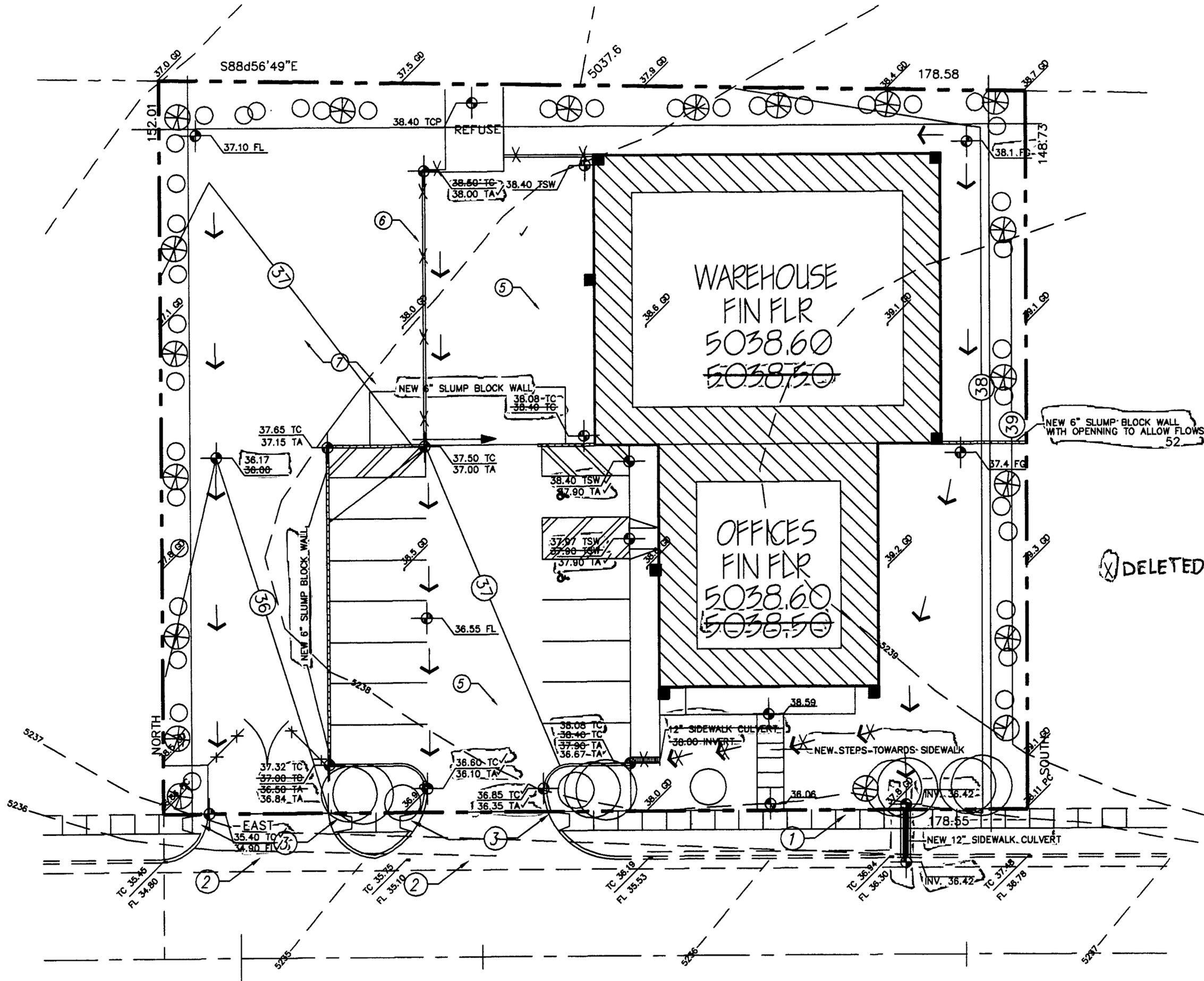
Based upon the information provided in your submittal received July 3, 2003, the above referenced plan is approved for Building Permit and Foundation Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, an Engineer Certification per the DPM checklist will be required.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya, PE  
City Floodplain Administrator

C: Bernie Montoya, BJM Development Consultant  
File



3409 VISTA ALAMEDA N.E.



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Bingham Engineering  
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Albuquerque, NM 87109

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Sincerely,

Carlos A. Montoya, PE  
City Floodplain Administrator

C: Bernie Montoya, BJM Development Consultant  
File

Approved for  
SD #19 Permit  
[Signature]  
6/17/04

DRAINAGE INFORMATION SHEET

C-16/D6AA

PROJECT TITLE: OFFICE/WAREHOUSE ZONE MAP/DRG. FILE #: ~~ETG~~  
DRE #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 53 Alameda Business Park  
CITY ADDRESS: 3409 Vista Alameda N.E.

ENGINEERING FIRM: BJM Development Consultant  
ADDRESS: 4409 Karrol Rd. S.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: Bernie J. Mantoya  
PHONE: 250-7719  
ZIP CODE: 87121

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: Jim Miller & Associates  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: Jim Miller  
PHONE: 345-1312  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

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- CLOMR/LOMR
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- PAVING PERMIT APPROVAL
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- OTHER (SPECIFY)

DATE SUBMITTED: 7/3/2003

BY: Bernie J. Mantoya

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