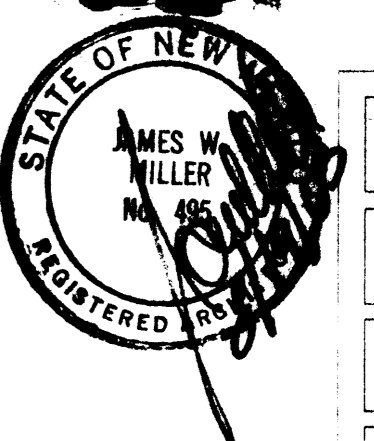


PROPOSED OFFICE / WAREHOUSE PECK-TRASK INVESTMENTS, LLC

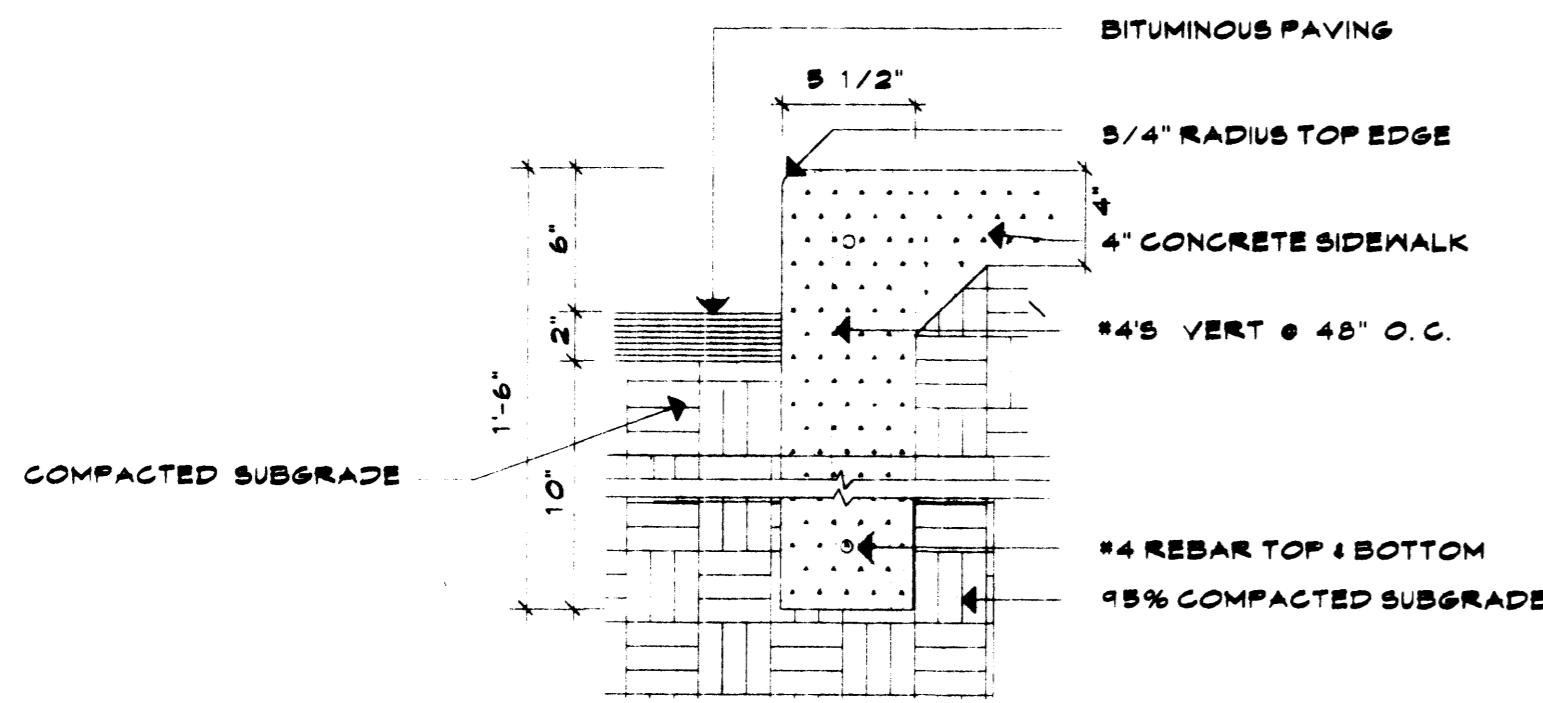
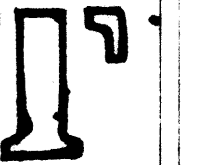


JOB NO. 0325
DATE Jul '03
REVISION Aug '03
DRAWN BY JWM
CHECKED BY

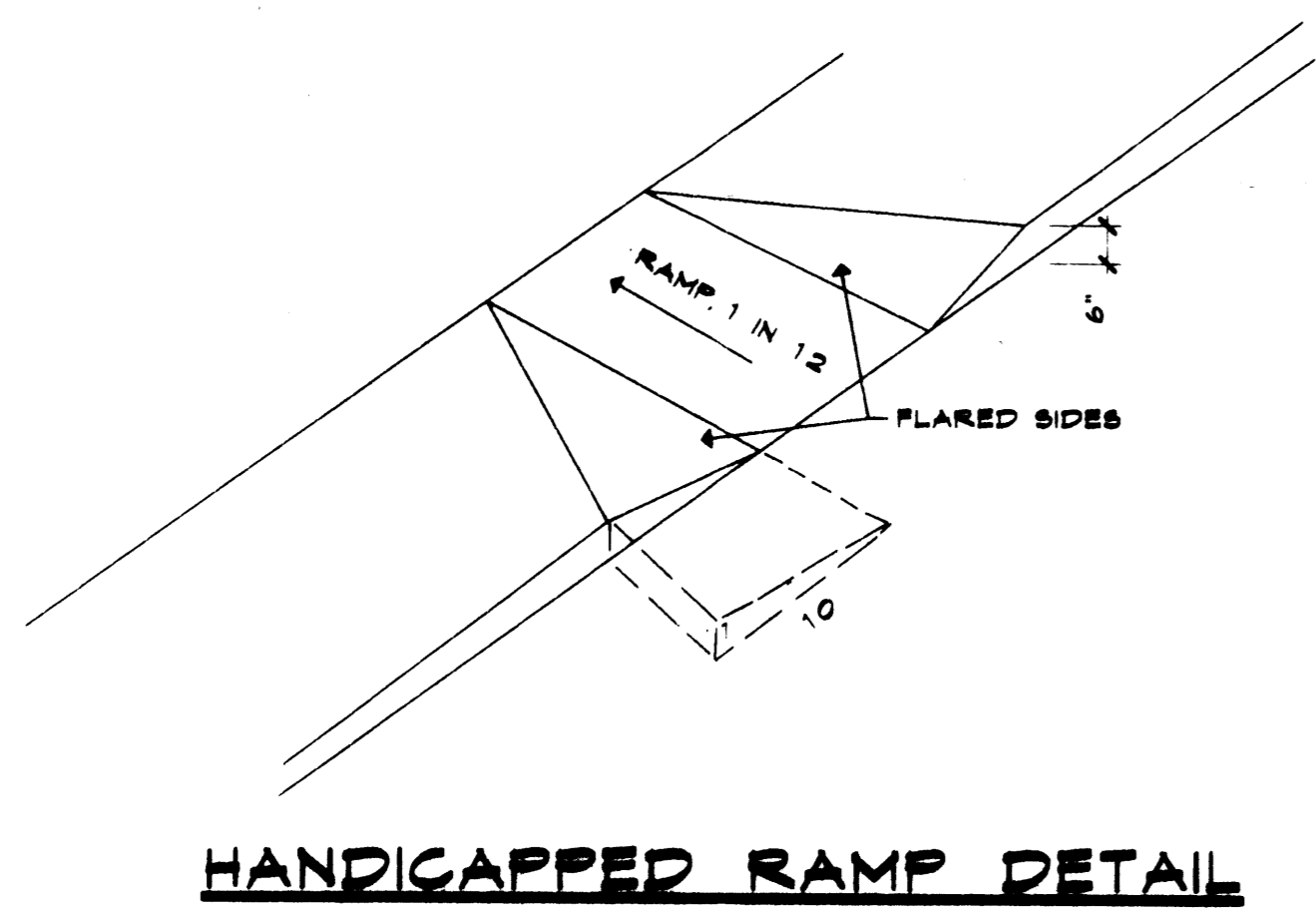
SITE PLAN, NOTES & DETAILS

MILLER AND ASSOCIATES
ARCHITECTS PLANNERS
5230 SECOND STREET N.E.
ALBUQUERQUE, NEW MEXICO
805 945-1515

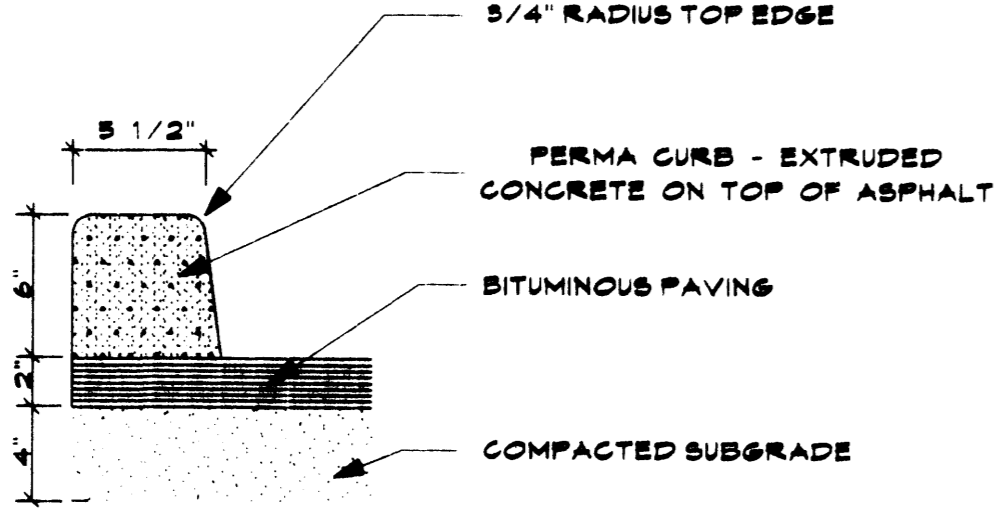
OFFICE / WAREHOUSE
PTI ELECTRICAL CONTRACTORS
ALBUQUERQUE, NEW MEXICO



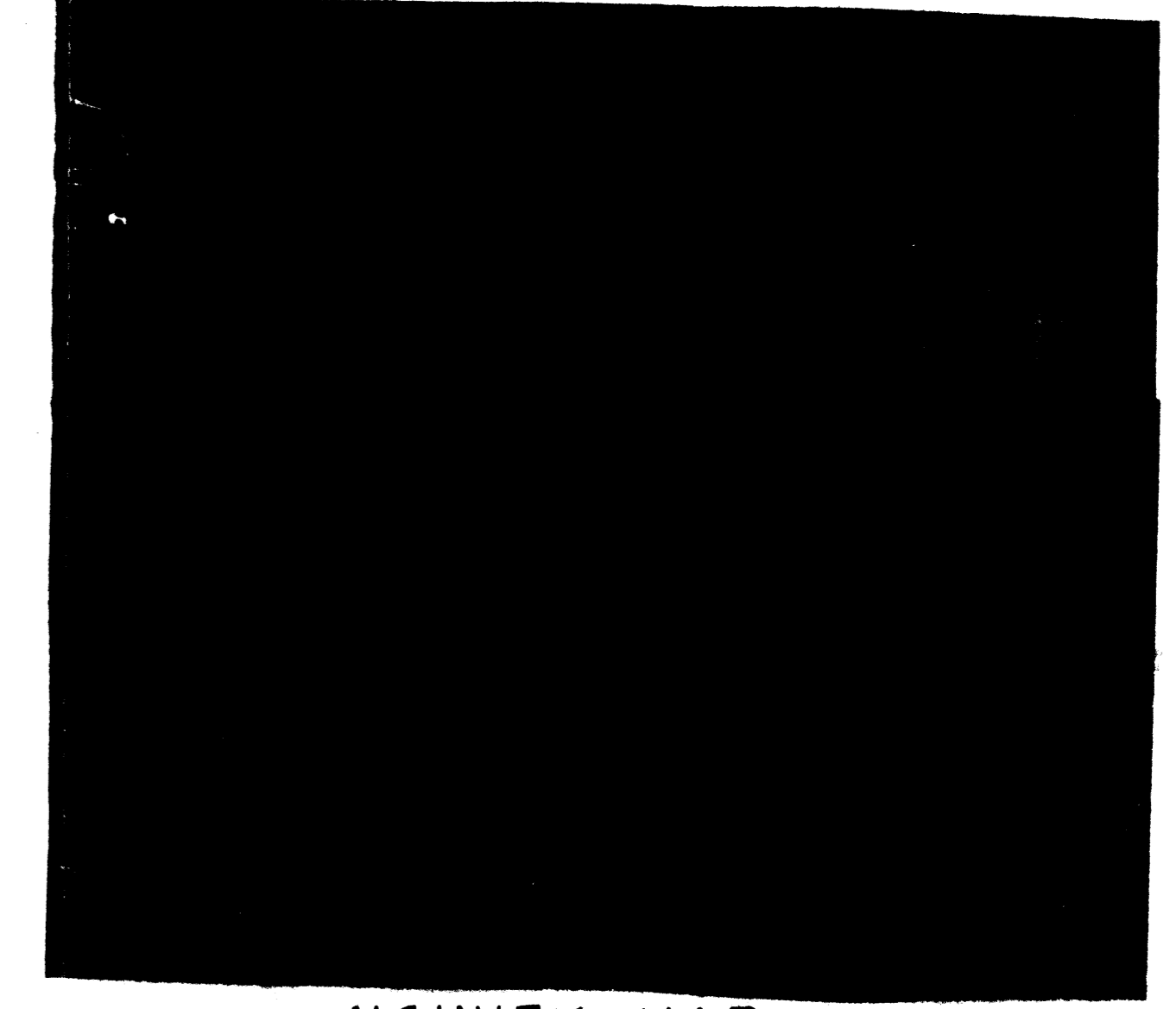
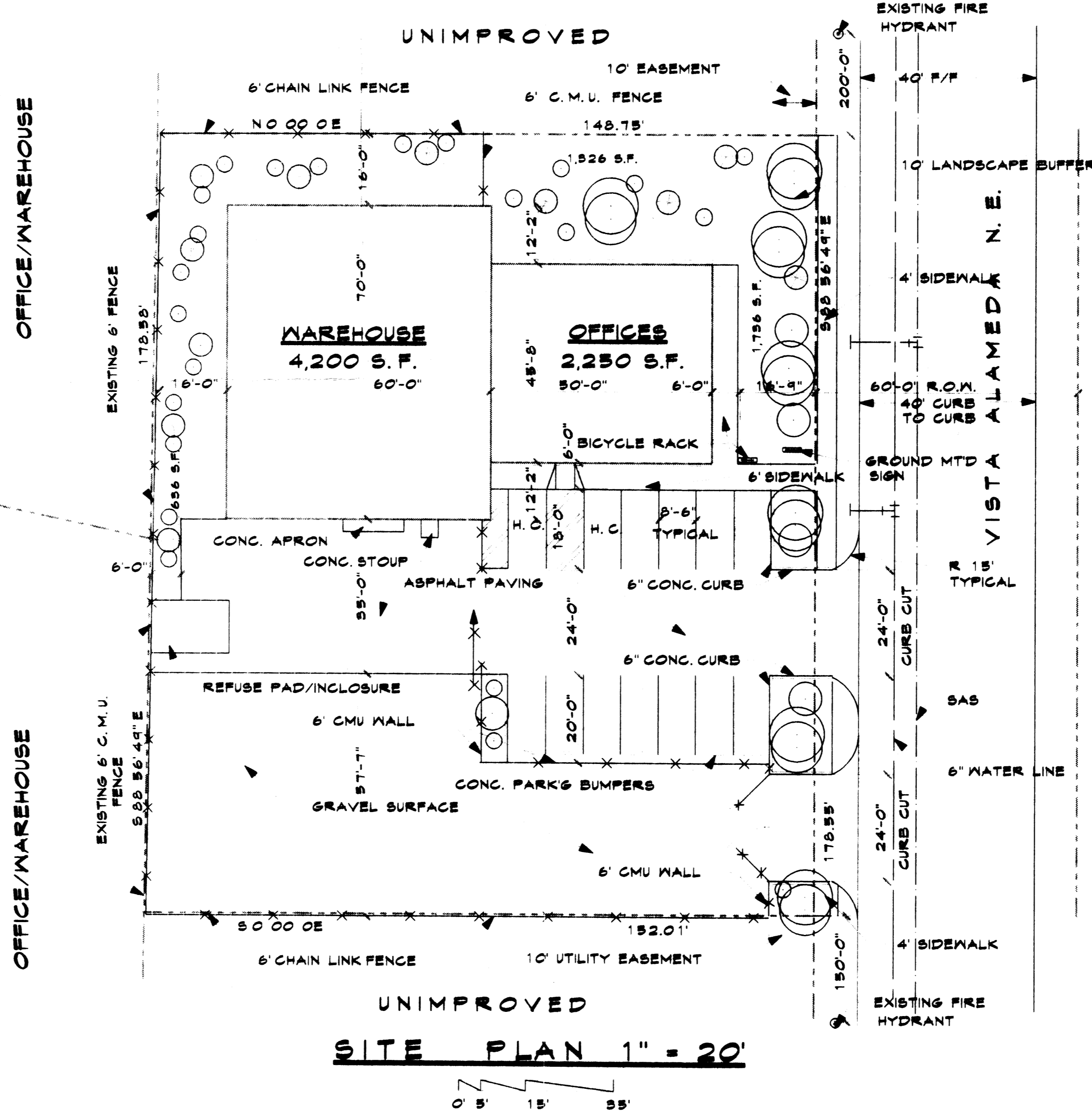
2 CONCRETE CURB
1 SCALE: 1 1/2" = 1'-0"



HANDICAPPED RAMP DETAIL



PERMA-CURB DETAIL
SCALE: 5" = 1'-0"



VICINITY MAP

DESIGN DATA:

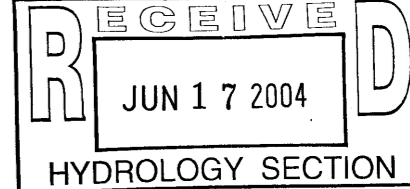
OCCUPANCY GROUP	'B'
CONSTRUCTION TYPE	VN
WIND PRESSURE	25 MPH
SEISMIC ZONE	2B
CONCRETE STRENGTH:	
STRUCTURAL	3,000 PSI
FLAT WORK	2,500 PSI
FLOOR AREA:	
OFFICE	2,250 S.F.
WAREHOUSE	4,200 S.F.

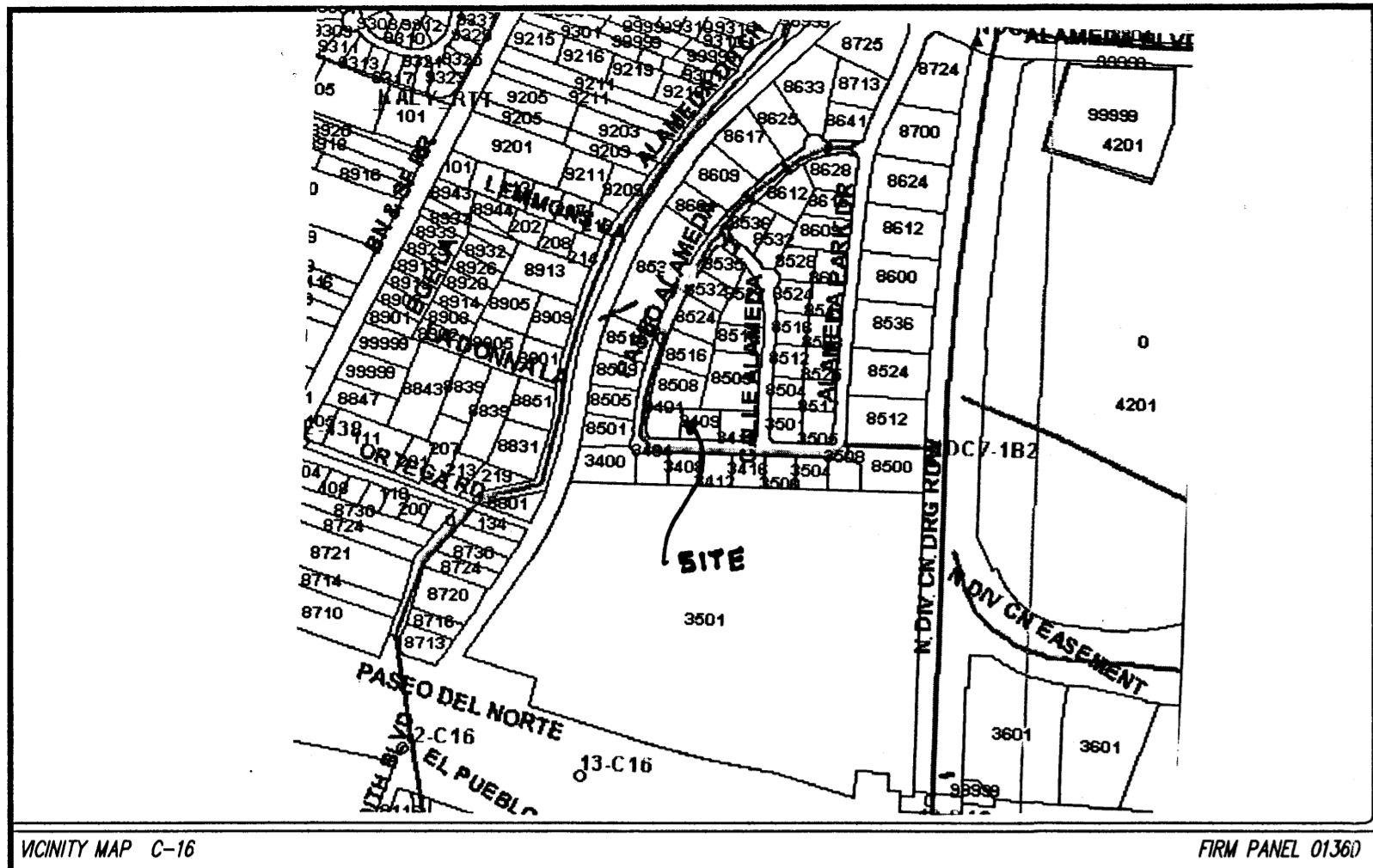
PARKING:

REQUIRED - OFFICE 2,250/200 = 11 SPACES
WAREHOUSE - 4,200/2,000 = 2 SPACES
PROVIDED - 13 SPACES

LEGAL DESCRIPTION:

LOT #59, ALAMEDA BUSINESS
PARK, BERNALILLO COUNTY,
NEW MEXICO





VICINITY MAP C-16 FIRM PANEL 01360

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 53 ALAMEDA BUSINESS PARK (3409 VISTA ALAMEDA N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.6164 ACRES AND IS LOCATED WEST OF THE INTERSECTION OF CALLE ALAMEDA N.E. AND VISTA ALAMEDA N.E., ON THE NORTHSIDE OF VISTA ALAMEDA N.E. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 01360, DATED SEPTEMBER 20, 1996, THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 2300 SQ. FT. OFFICE AND A 4290 SQ. FT. WAREHOUSE BUILDING ALONG WITH ASSOCIATED PAVED PARKING AND LANDSCAPED AREAS. A MASTER DRAINAGE PLAN WAS PREPARED BY BOHANNAN & HUSTON IN FEBRUARY OF 1999 AND APPROVED BY THE CITY HYDROLOGY SECTION. ON-SITE RUN-OFF WILL BE ROUTED THROUGH AND OUT THE PROPOSED DRIVEPADS LOCATED ON VISTA ALAMEDA N.E. FROM THAT POINT THE RUN-OFF WILL TRAVEL WEST ON VISTA ALAMEDA AND NORTHEAST ON PASEO ALAMEDA AND INTO THE COMMON PONDING AREA (TRACT A) PROVIDED BY THE MASTER DRAINAGE PLAN. NO OFF-SITE FLOWS ARE BLOCKED NOR ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITION FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

DOWNSRTEAM CAPACITY

PER THE APPROVED MASTER DRAINAGE PLAN FOR ALAMEDA BUSINESS PARK, FREE DISCHARGE IS ALLOWED BECAUSE OF THE CONSTRUCTION OF THE COMMON POND WITHIN THE SUBDIVISION.

PROJECT AREA = 0.6164 ac.
LOT 53 ALAMEDA BUSINESS PARK
ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA	AREA
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0 ac.
TREATMENT C 0.6164 ac.	0.23378 ac.
TREATMENT D 0 ac.	0.34236 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53 x 0.00) + (0.78 x 0.00) + (1.13 x 0.62) + (2.12 x 0.00) / 0.62 ac. = 1.13 in.

V100-360 = (1.13 x 0.62) / 12 = 0.058044 ac-ft = 2528 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.56 x 0.00) + (2.28 x 0.00) + (3.14 x 0.62) + (4.70 x 0.00) = 1.94 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53 x 0.00) + (0.78 x 0.00) + (1.13 x 0.23) + (2.12 x 0.34) / 0.62 ac. = 1.61 in.

V100-360 = (1.61 x 0.62) / 12.0 = 0.082498 ac-ft = 3594 CF

V100-1440 = (0.08) + (0.34 x 2.75 - 2.35) / 12 = 0.093910 ac-ft = 4091 CF

V100-10day = (0.08) + (0.34 x 3.95 - 2.35) / 12 = 0.128146 ac-ft = 5582 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.56 x 0.00) + (2.28 x 0.00) + (3.14 x 0.23) + (4.70 x 0.34) = 2.34 CFS

INCREASE 2.34 CFS - 1.94 CFS = 0.40 CFS

DRAINAGE CERTIFICATION

I, WALLACE L. BINGHAM, N.M.P.E. 7281, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 07/02/2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION 37.69
-37.69
OR
37.50/

THE FOLLOWING ARE MINOR CHANGES THAT WILL NOT EFFECT THE ORIGINAL DRAINAGE CONCEPT

1. 12" SIDEWALK CULVERT WAS INSTALLED THRU PUBLIC SIDEWALK TO DRAIN RUN-OFF EAST SIDE OF BUILDING (SEE PLAN DRAWING)
2. DOWNSPOUTS WERE RELOCATED BECAUSE OF OVERHEAD DOORS (SEE PLAN DRAWING)
3. NEW CONCRETE STAIRS FROM PORCH TO PUBLIC SIDEWALK (SEE PLAN DRAWING)

NOTICE TO CONTRACTOR

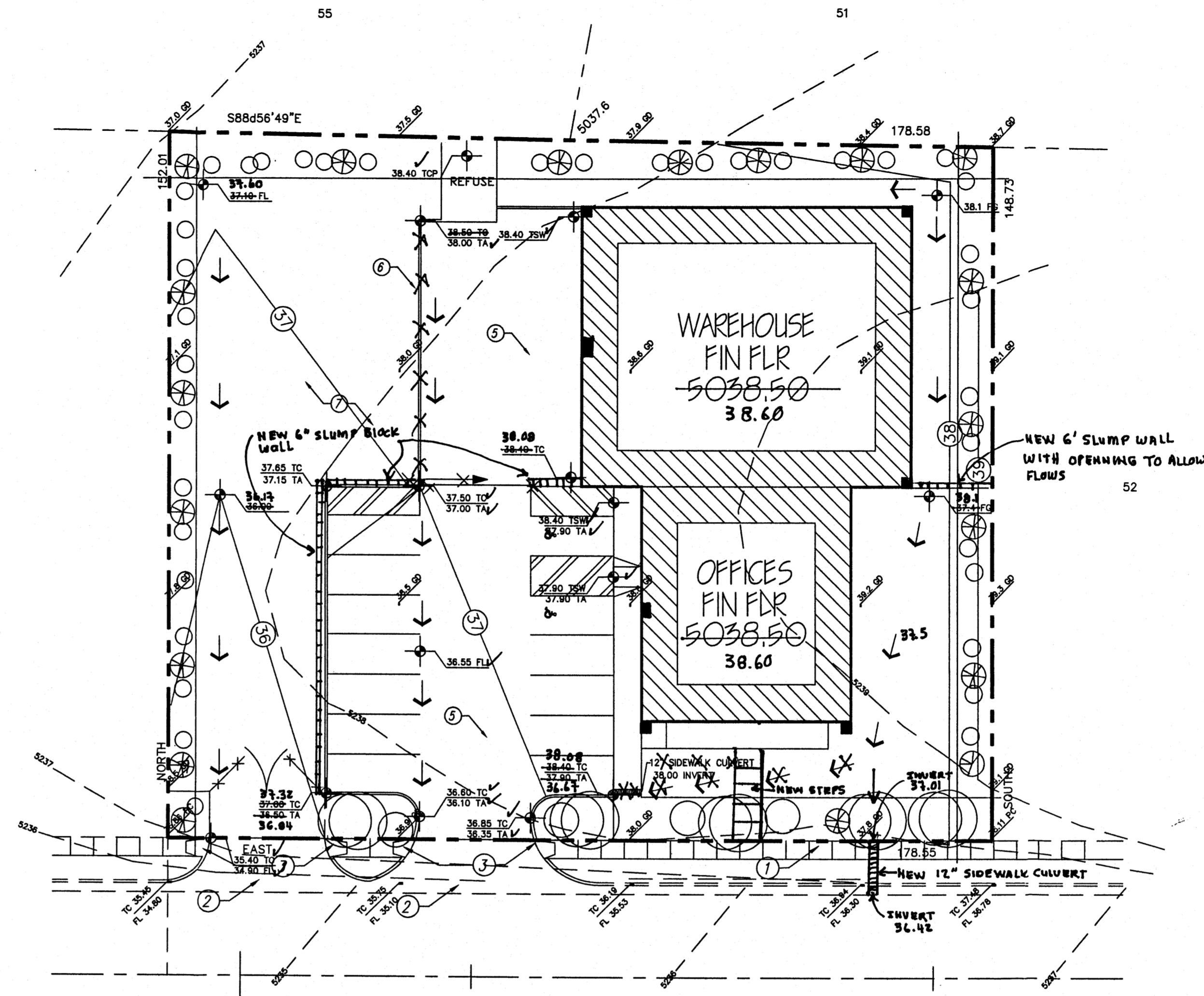
1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services for locating existing utilities, (260-1990).
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Commercial use.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
7. Maintenance of this facilities shall be the responsibility of the owner of the property served.

SYMBOL LEGEND

EXISTING CONTOUR
DESIGN CONTOUR
PROPOSED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
DOWN SPOUT (NO TO SCALE)

ABBREVIATION LEGEND

TOP OF CONC PAD - TC
TOP OF CURB - TC
TOP OF ASPHALT - TA
TOP OF CURB - TC
TOP OF ASPHALT - TA
FLOWLINE - FL



3409 VISTA ALAMEDA N.E.

KEYED NOTES:

1. NEW 4' SIDE WALK
2. NEW DRIVE PAD (REFER TO SITE PLAN)
3. HC RAMP
4. PAINTED PARKING STRIPES
5. NEW ASPHALT
6. 6" HIGH CONCRETE HEADER CURB
7. GRAVEL PARKING AREA
8. EXISTING CURB & GUTTER

LEGAL DESCRIPTION

LOT 53
ALAMEDA BUSINESS PARK

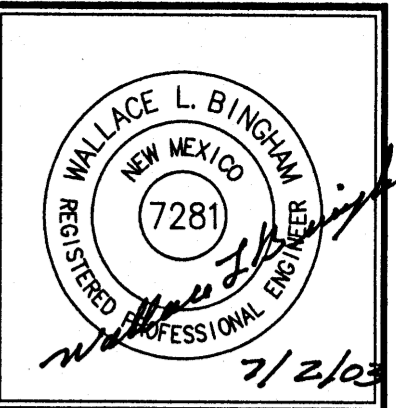
BENCHMARK:

STATION IS AN AMAFCA BRASS TABLET STAMPED "NDC- 1-71A" SET ON CONCRETE POST PROJECTED 0.3 FEET ABOVE GROUND ELEVATION: 5053.10

T.B.M. SOUTHEAST PROPERTY CORNER OF LOT 53
TOP OF YELLOW SURVEY CAP ELEVATION: 5038.11

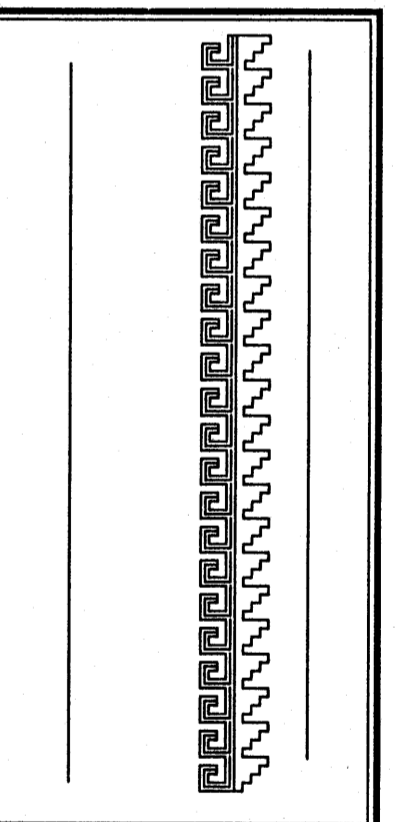
GRADING & DRAINAGE PLAN

Scale 1"=20'-0"



JOB NO:	XXXXXXXX
JUNE 2003	
REVISIONS	

GRADING & DRAINAGE PLAN	Checked By: B.M.
Drawn By: H. Head & B.J. Montoya	



Project Name
ALAMEDA OFFICE / WAREHOUSE
3409 VISTA ALAMEDA NE
ALBUQUERQUE, NEW MEXICO

SHEET NO.
GD