

CITY OF ALBUQUERQUE



July 14, 2006

Mr. Steve K. Morrow, P.E.
BRASHER & LORENZ
2201 San Pedro Dr. NE
Albuquerque, NM 87110

Re: ROMAN FOUNTAINS
8535 Calle Alameda NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 11/18/2005 (C-16/D6D)
Certification dated 07/13/2006

Dear Steve,

Based upon the information provided in your submittal received 07/13/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Reviewer, Planning Dept.-Hydrology
Development and Building Services

C: C.O. Clerk
File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: ROMAN FOUNTAINS ZONE MAP/DRG. FILE # C16-60066
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 59 ALAMEDA BUSINESS PARK
CITY ADDRESS: 8940 PASEO ALAMEDA NE

ENGINEERING FIRM: BRASITER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBU NM

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: ROMAN FOUNTAINS
ADDRESS: 8600 PASEO ALAMEDA
CITY, STATE: ALBU NM

CONTACT: —
PHONE: 343-8082
ZIP CODE: 87113

ARCHITECT: GEO. SANDERS
ADDRESS: 5921 LOMAS NE
CITY, STATE: ALBU NM

CONTACT: G. SANDERS
PHONE: 255 5040
ZIP CODE: 87110

SURVEYOR: NA
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: BAKER CONSTRUCTION
ADDRESS: PO BOX 92227
CITY, STATE: ALBU NM

CONTACT: M. BAKER
PHONE: 898-0100
ZIP CODE: 87119

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

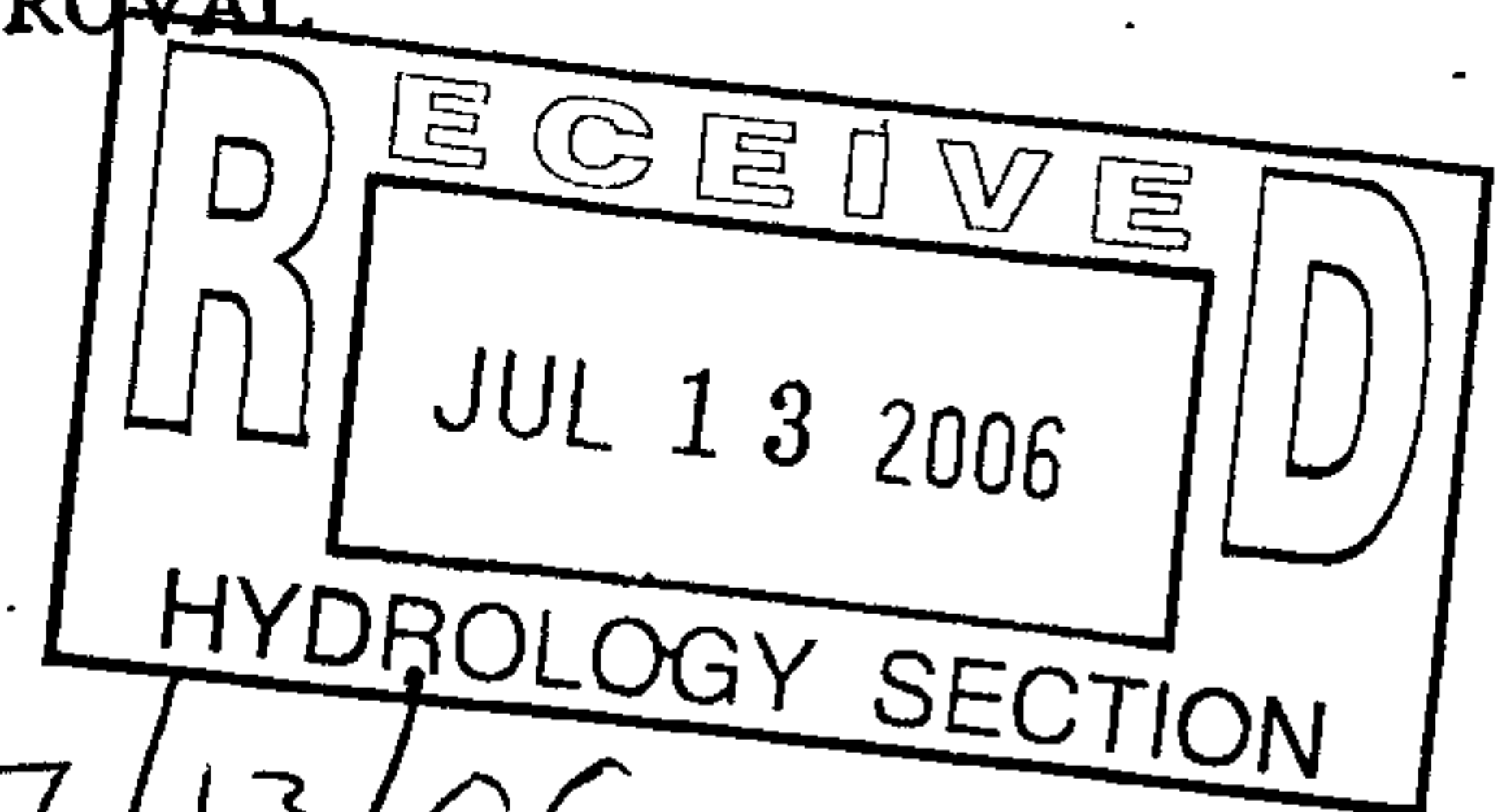
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

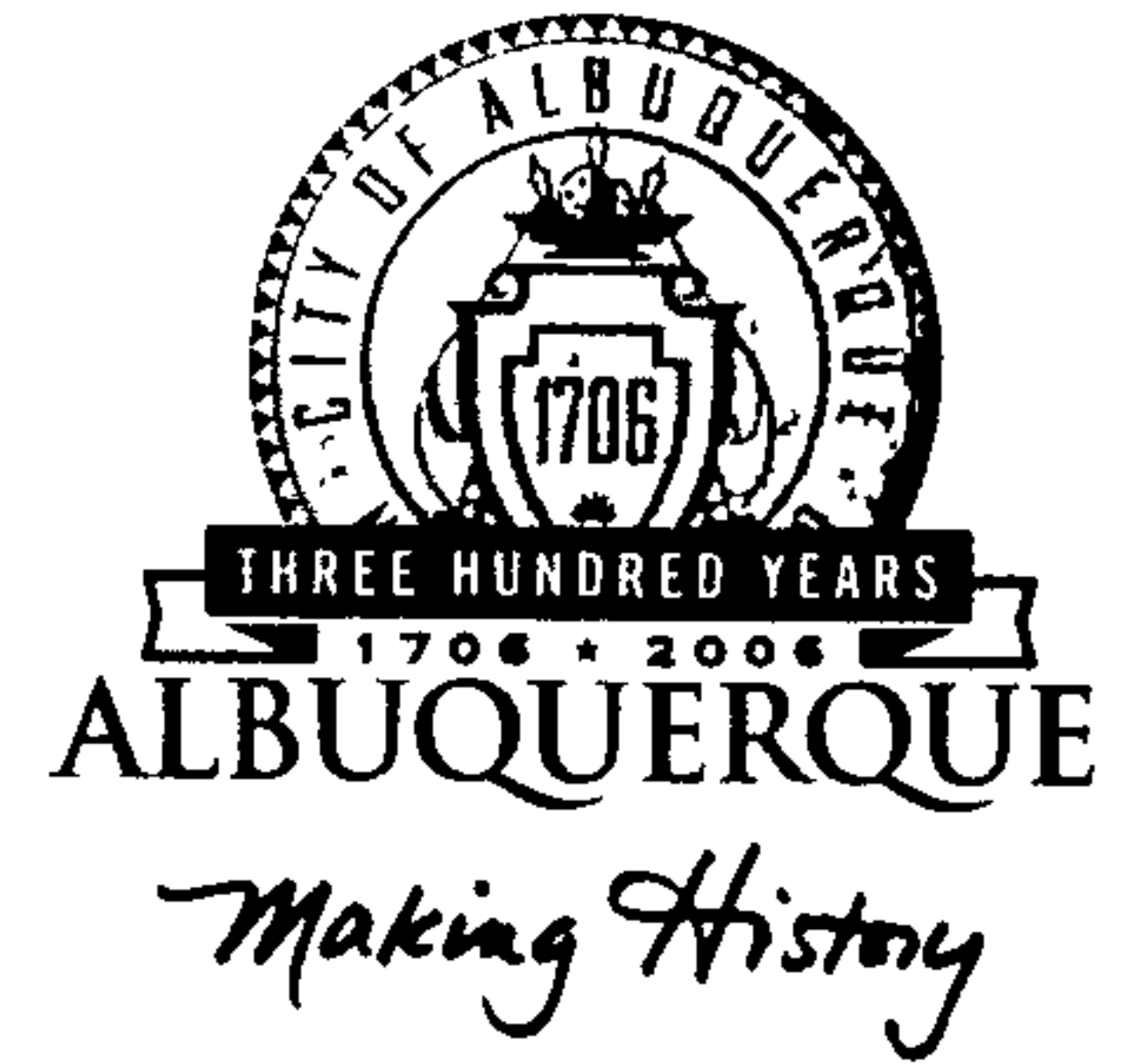
SUBMITTED BY: STEVE MORROW DATE: 7/13/06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



November 30, 2005

Dennis A. Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE – Building 1, Suite 1200
Albuquerque, NM 87110

**Re: Roman Fountains, 8540 Paseo Alameda NE-Grading & Drainage Plan
Engineer's Stamp dated ~~11-8-05~~ (C16-D6D)**

11/10/05 pjl

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 11-21-05, the above referenced plan is approved as amended for Site Development for Building Permit action by the DRB and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

November 18, 2005

Rudy E. Rael
Associate Engineer
Hydrology Review Engineer
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87102

SUBJECT: ROMAN FOUNTAINS
C16/D006D

Dear Rudy:

Submitted herewith for approval is one copy of the revised Grading and Drainage Plan for the subject project. The Plan has been revised to add concrete paving at the loading dock, add curb and gutter along the south side of the building and change the step geometry at the front door. No other conditions have changed that affect the grading and drainage aspects of the project.

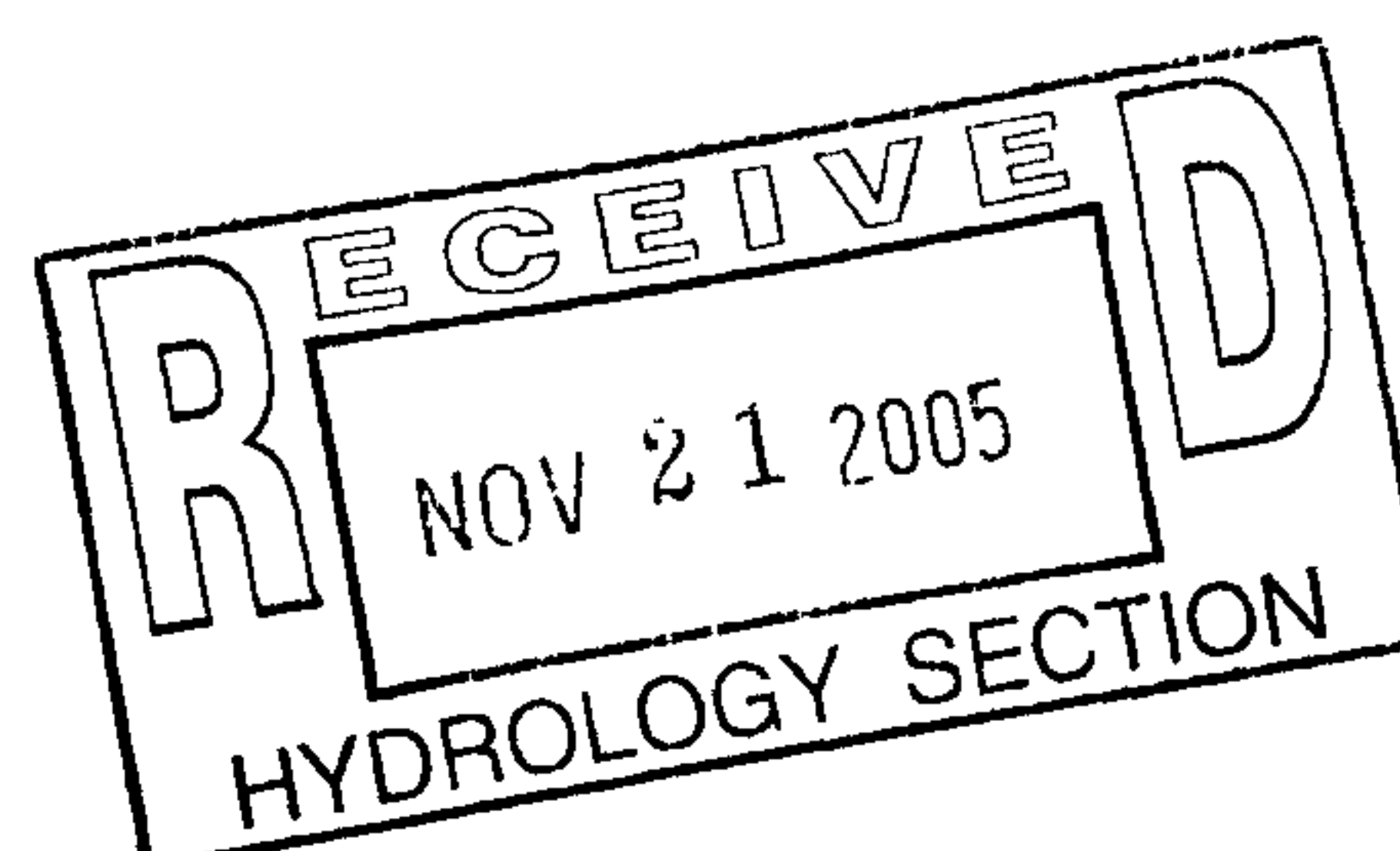
If you need additional information, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE
Principal

/dl/05548
encl



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: ROMAN FOUNTAINS ZONE MAP/DRG. FILE # C16-6006D
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 59 ALAMEDA BUSINESS PARK
CITY ADDRESS: 8540 PASCO ALAMEDA NE

ENGINEERING FIRM: BRASITER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBU NM

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: ROMAN FOUNTAINS
ADDRESS: 8600 PASCO ALAMEDA
CITY, STATE: ALBU NM

CONTACT: _____
PHONE: 343-8002
ZIP CODE: 87113

ARCHITECT: GEO. SANDERS
ADDRESS: 5921 LOMAS NE
CITY, STATE: ALBU NM

CONTACT: G. SANDERS
PHONE: 255-5040
ZIP CODE: 87110

SURVEYOR: NA
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: BAKER CONSTRUCTION
ADDRESS: PO BOX 92227
CITY, STATE: ALBU NM

CONTACT: M. BAKER
PHONE: 898-0100
ZIP CODE: 87199

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ ~~DRAINAGE PLAN~~ ~~SUBMITTAL~~
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

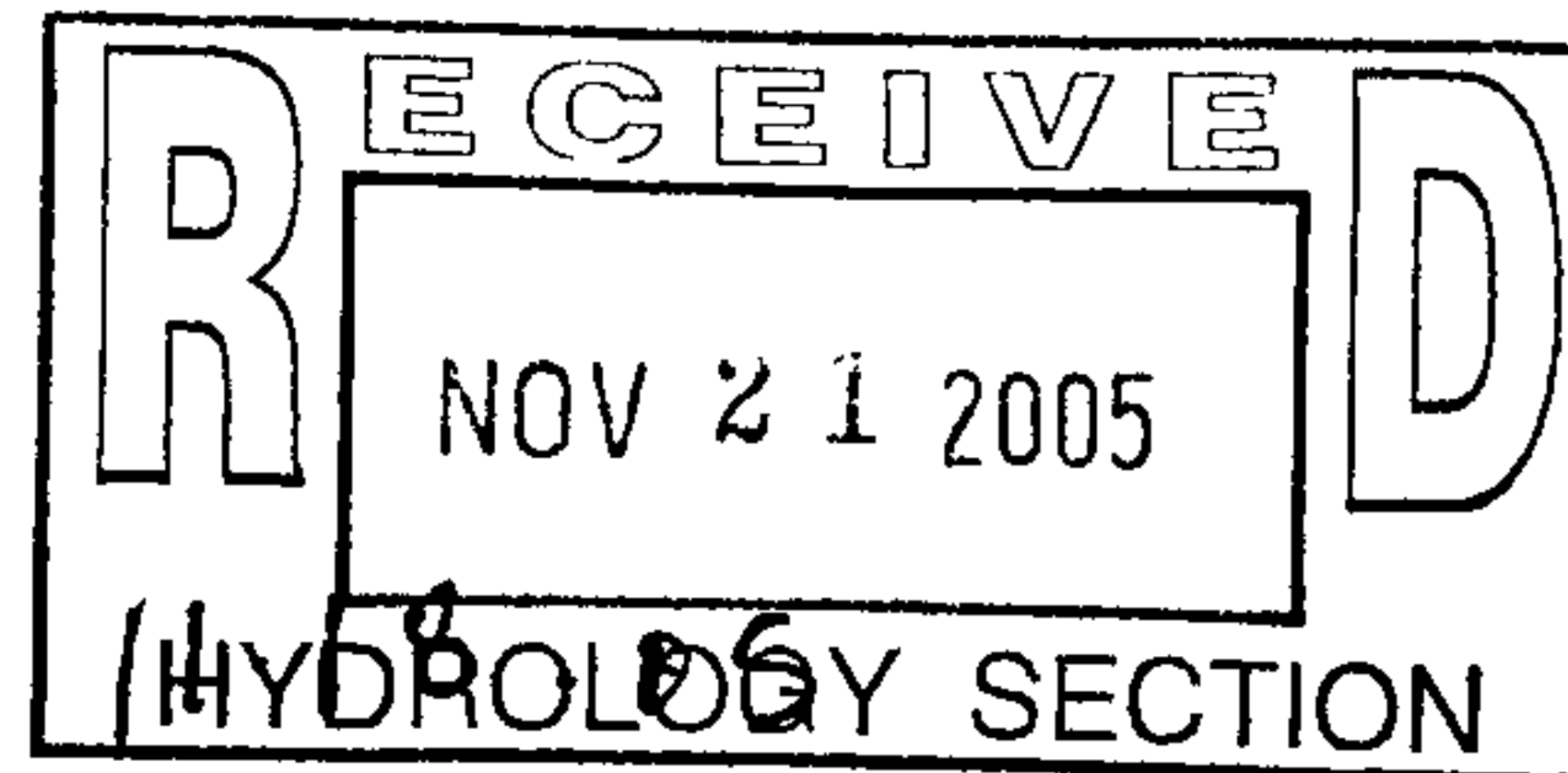
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

Fee paid 10/10/05

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

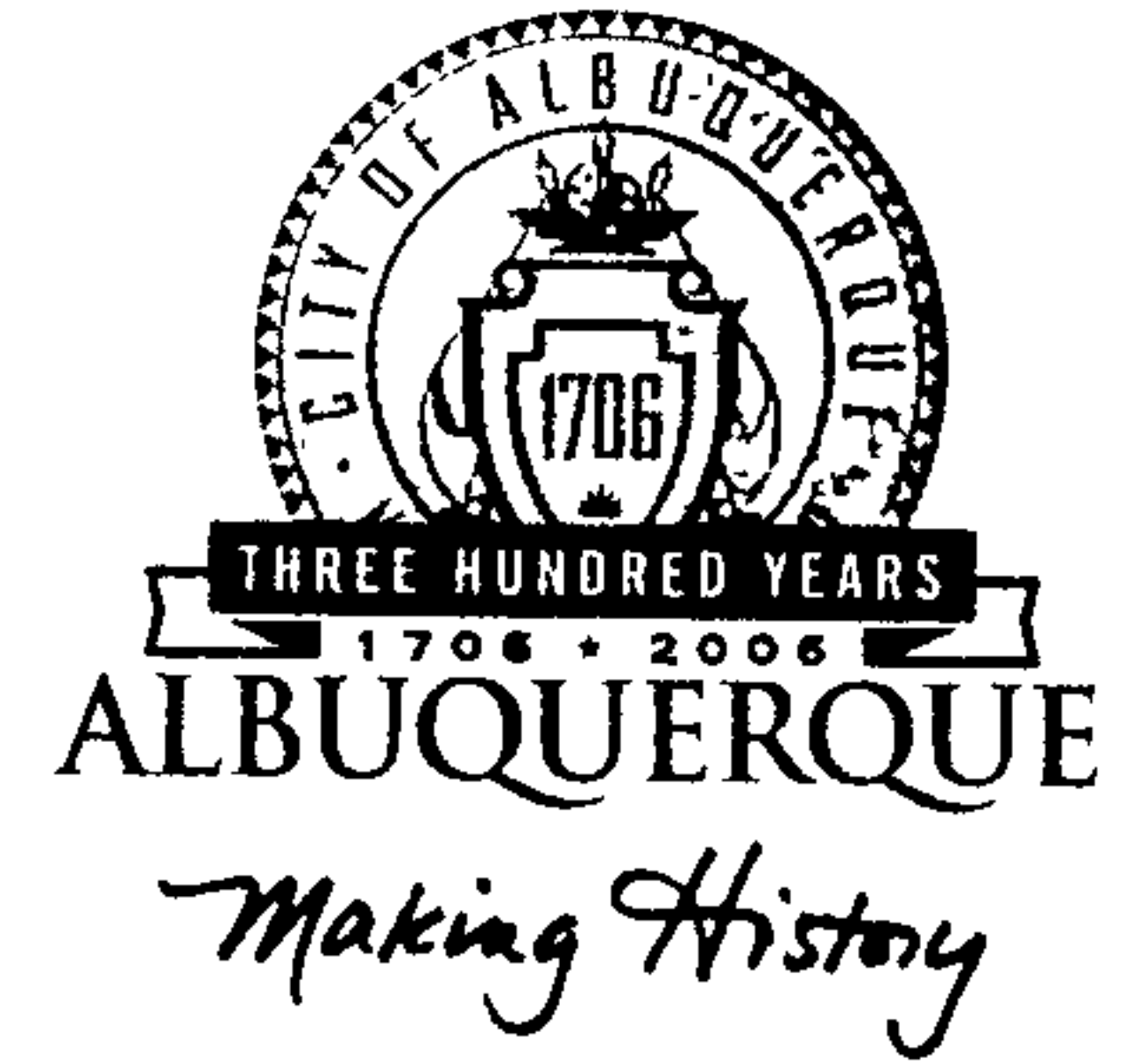
SUBMITTED BY: DENNIS LORENZ DATE: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 18, 2005

Dennis A. Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

**Re: Roman Fountains, 8540 Paseo Alameda, Grading and Drainage Plan
Engineer's Stamp dated 10-10-05 (C16-D006D)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 10-10-05, the above referenced plan is approved for Site Development for Building Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: ROMAN FOUNTAINS ZONE MAP/DRG. FILE # C16/D6D
DRB#: _____ EPC#: _____ WORK ORDER#: _____

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CITY ADDRESS: 8940 PASCO ALAMEDA NE

ENGINEERING FIRM: BRASITER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBU NM

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: ROMAN FOUNTAINS
ADDRESS: 8600 PASCO ALAMEDA
CITY, STATE: ALBU NM

CONTACT: —
PHONE: 343-8002
ZIP CODE: 87113

ARCHITECT: GEO. SANDERS
ADDRESS: 5921 LOMAS NE
CITY, STATE: ALBU NM

CONTACT: G. SANDERS
PHONE: 255 5040
ZIP CODE: 87110

SURVEYOR: NA.
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: BAKER CONSTRUCTION
ADDRESS: PO BOX 92227
CITY, STATE: ALBU NM

CONTACT: M. BAKER
PHONE: 898-0100
ZIP CODE: 87199

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☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

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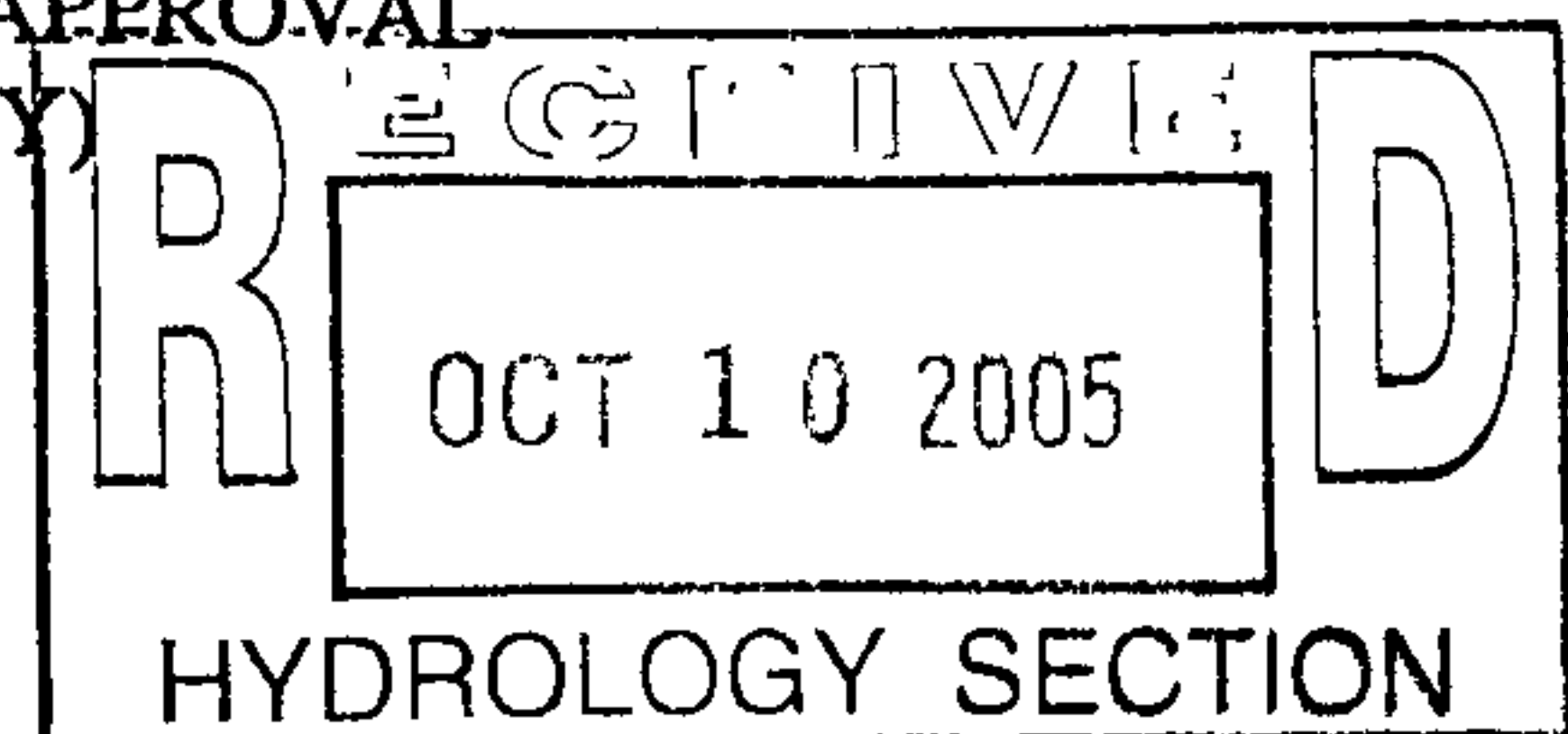
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☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

\$50.00 fee paid

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ DATE: 10.10.05



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City of Albuquerque

March 22, 2000

Shahab Biazar, P.E.
Advanced Engineering, and Consulting, LLC
10205 Snowflake Ct., NW
Albuquerque, NM 87114

RE: GRADING PLAN & DRAINAGE REPORT FOR LOT 59, ALAMEDA BUSINESS PARK (C-16/D006D) SUBMITTED FOR SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL, BUILDING PERMIT APPROVAL, AND GRADING PERMIT APPROVAL

Dear Mr. Biazar,

Based upon the information provided in your March 20, 2000, submittal, with your stamp dated 3/17/00, the project referred to above is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Lot 59, Alameda Business Park ZONE ATLAS/DRNG. FILE #: C-16 / D0067

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 59, Alameda Business Park

CITY ADDRESS: _____

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar

ADDRESS: 10205 Snowflake Ct. NW Alb., NM 87114 PHONE: (505) 899-5570

OWNER: Western Diversified, Inc. CONTACT: Gary Benett

ADDRESS: 9401 4th Street, NW, Alb., NM 87114 PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

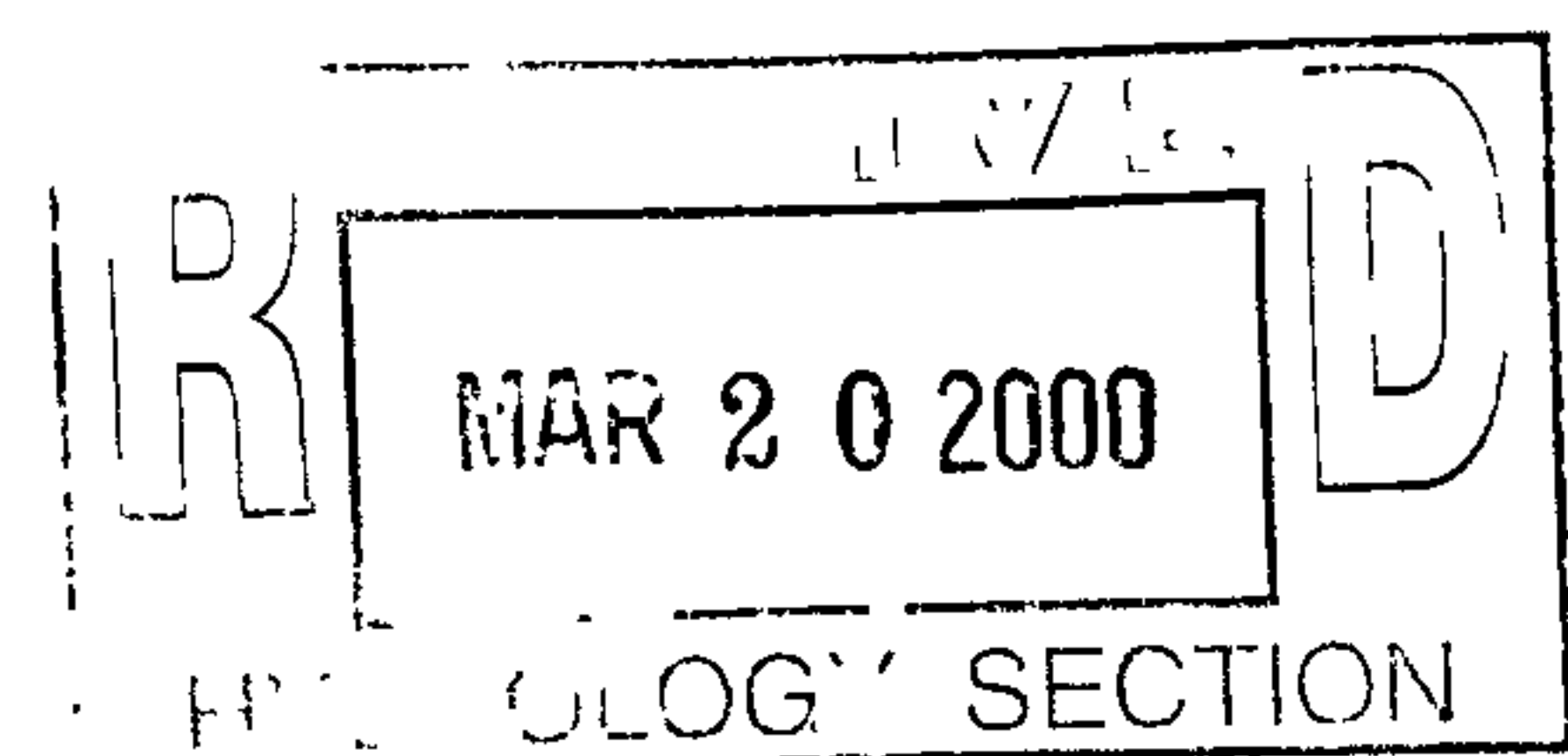
☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAN APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S. A. D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER

DATE SUBMITTED: 03 / 17 / 00

BY: SHAHAB BIAZAR





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 27, 2000

Shahab Biazar, P.E.
Advanced Engineering and Consulting, LLC
10205 Snowflake Ct., NW
Albuquerque, NM 87114

RE: GRADING PLAN MODIFICATION TO LOT 59, ALAMEDA BUSINESS PARK
(C-16/D006D) ENGINEER'S STAMP DATED JULY 15, 2000,

Dear Mr. Biazar,

Thank you for the new plan showing the modifications to your approved plan for this site. Your submittal is still approved for Site Development Plan for Building Permit, Building Permit, and Grading Permit.

Prior to release of the Certificate of Occupancy, an Engineer's Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

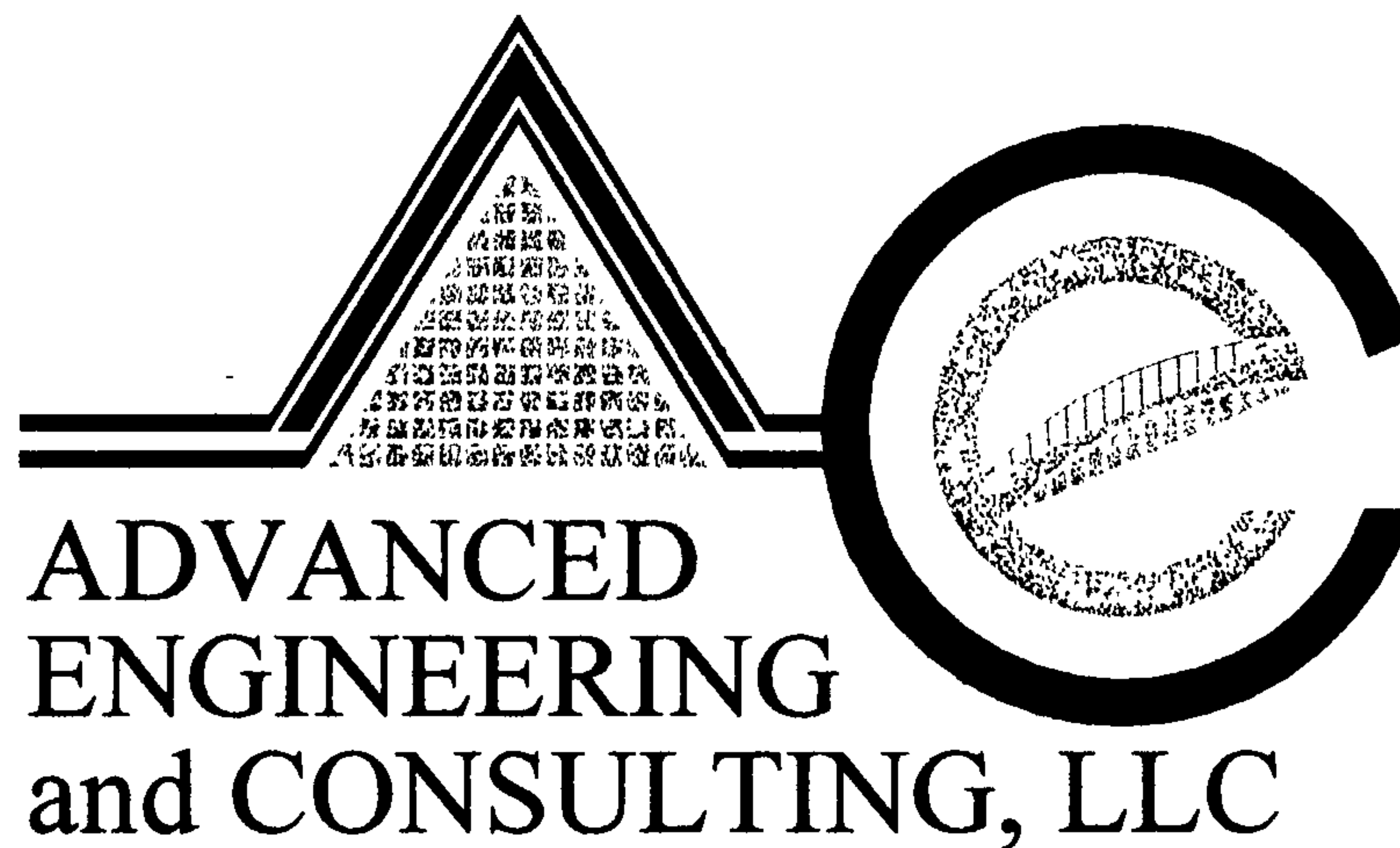
Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen

✓File

DRAINAGE REPORT
FOR
Lot 59
Alameda Business Park

Prepared by:



10205 Snowflake Ct. NW
Albuquerque, New Mexico 87114

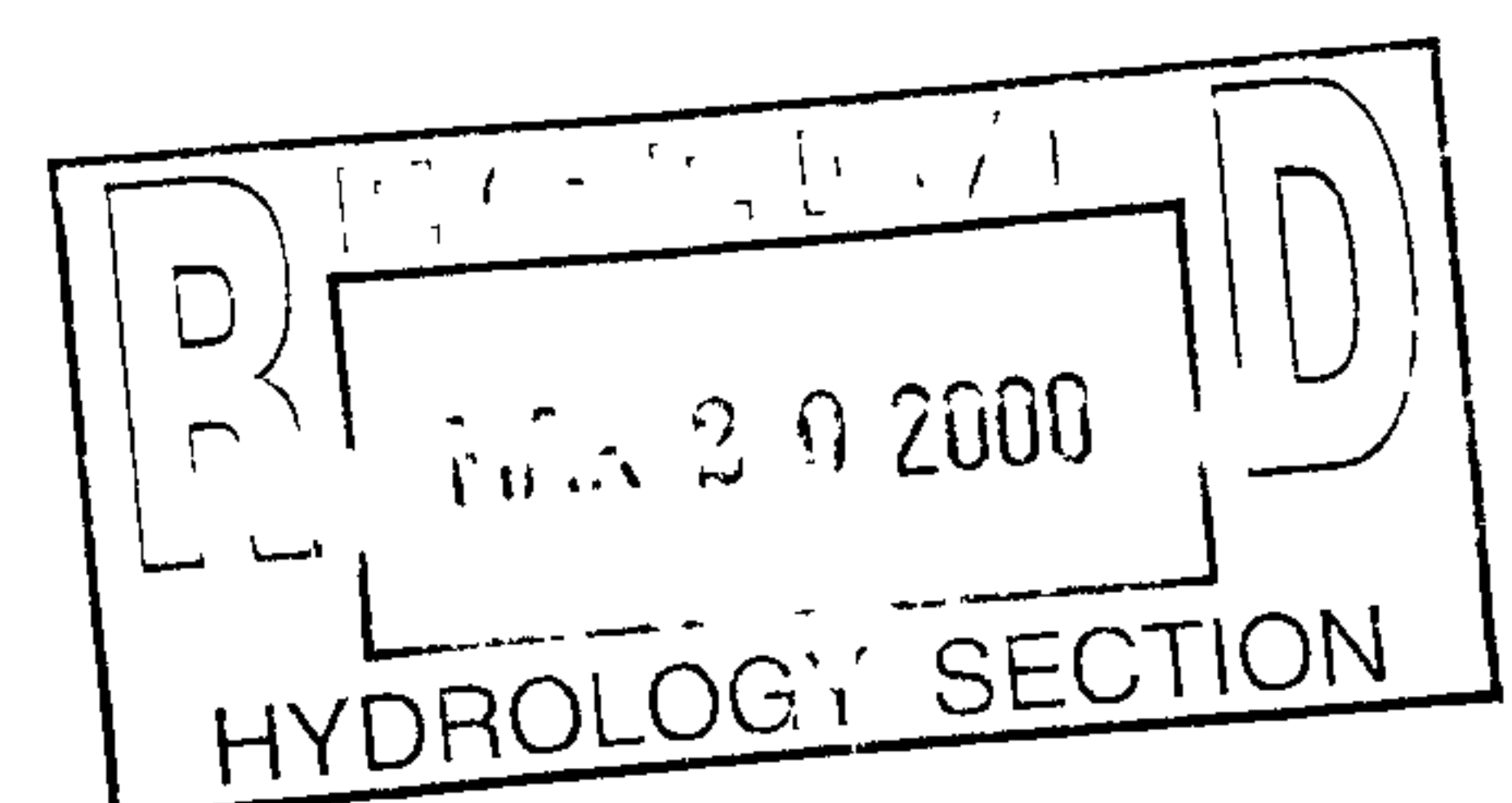
Prepared For:

Western Diversified, Inc.
9401 4th Street, NW
Albuquerque, NM 87114

March, 2000



Shahab Biazar
PE NO. 13479



DRAINAGE INFORMATION SHEET

PROJECT TITLE: <u>Lot 59, Alameda Business Park</u>	ZONE ATLAS/DRNG. FILE #: <u>C-16 / D006D</u>
DRB #: _____	EPC #: _____
WORK ORDER #: _____	
LEGAL DESCRIPTION: <u>Lot 59, Alameda Business Park</u>	
CITY ADDRESS: _____	
ENGINEERING FIRM: <u>Advanced Engineering and Consulting, LLC</u>	CONTACT: <u>Shahab Biazar</u>
ADDRESS: <u>10205 Snowflake Ct. NW Alb., NM 87114</u>	PHONE: <u>(505) 899-5570</u>
OWNER: <u>Western Diversified, Inc.</u>	CONTACT: <u>Gary Benett</u>
ADDRESS: <u>9401 4th Street, NW, Alb., NM 87114</u>	PHONE: _____
ARCHITECT: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
CONTRACTOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

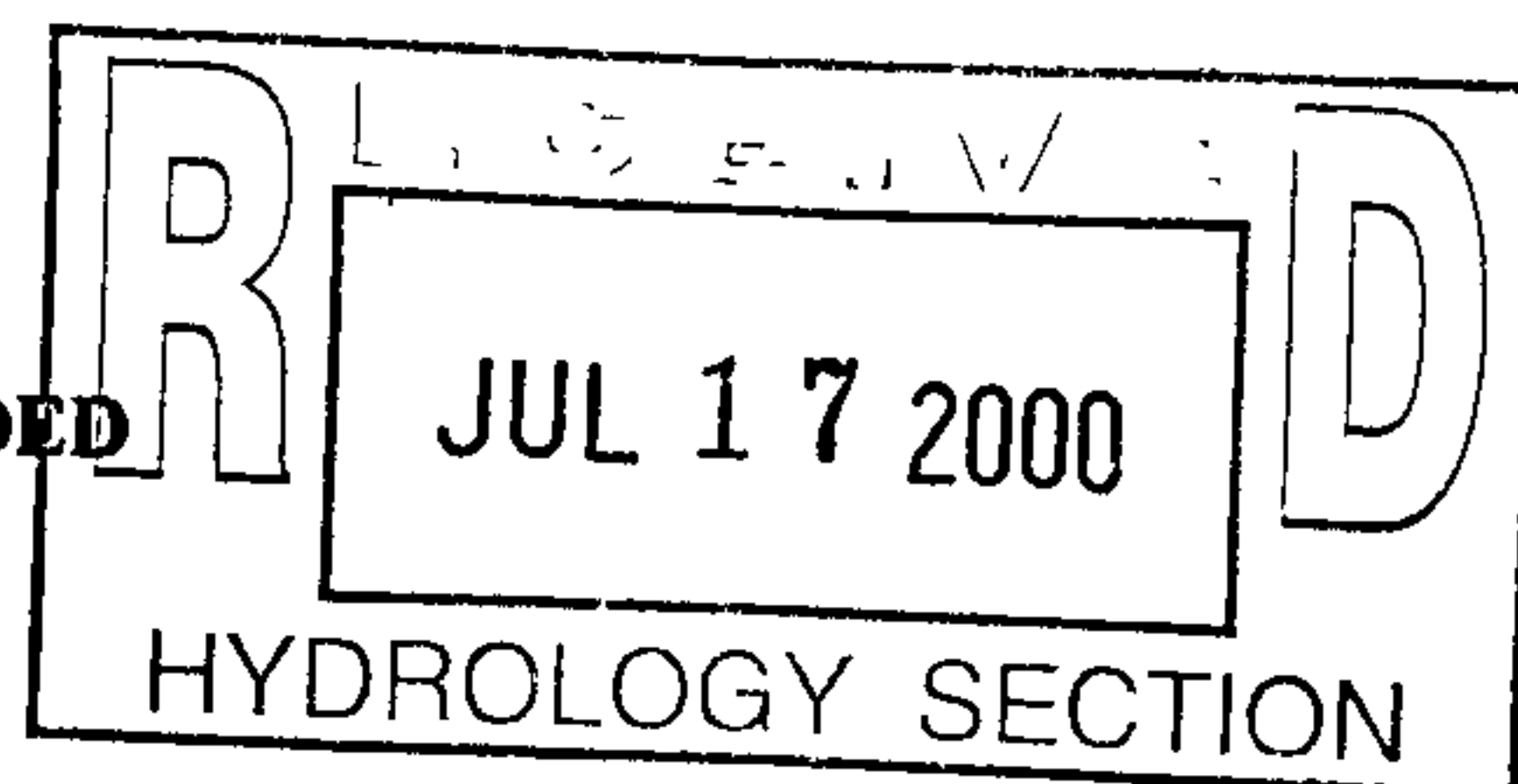
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAN APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S. A. D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ GRADING PLAN MODIFICATIONS

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 07 / 17 / 00

BY: SHAHAB BLAZAR



Location

Lot 59, Alameda Business Park, is located at southeast corner of Paseo Alameda and Calle Alameda. See attached Vicinity Map C-16-Z for the location of the site.

Purpose

The owners are proposing to place new buildings on this Tract. Therefore, for are requesting Site Plan, Site Plan for Building permit, Building permit, and grading permit approval.

Existing Drainage Conditions

The site falls within drainage Basin 8 of the Alameda Business Park (City Drainage number C-16/D6). A copy of this Overall Basin Map is included with this submittal. The site under the existing conditions (100-year, 6-hour storm) generates 0.85 cfs. The runoff drains east to west to Paseo Alameda. The runoff in Paseo Alameda drains to a series of storm sewer inlets and then routed to an existing pond located between lots 8 and 9 on the west side of the Paseo Alameda. The runoff from Lot 48 (located on the east side of lot 59) currently drains to this site and then to Paseo Alameda. No other offsite runoff enters this site.

The site falls within FIRM Map No. 35001C 0136 D. The map shows that the site lies within, Zone X, an area outside the 500-year flood plain.

Proposed Conditions and On-Site Drainage Management Plan

The drainage patterns on site will remain the same. The runoff on site, under a developed runoff of 2.38 cfs will drain west to Paseo Alameda. The runoff in Paseo Alameda drains to a series of storm sewer inlets, and then it is routed to an existing pond located between lots 8 and 9 on the west side of the Paseo Alameda. According to Master Drainage Plan for Alameda Business Park, the pond is designed for fully developed conditions. The offsite runoff from Lot 48 will be routed, via a swale, to an existing 10 feet private drainage easement on Lot 57, along its northerly boundary line and then west to Paseo Alameda. This existing 10' easement was created for the drainage runoff routing of the Lots 48, 49, 50, 51, & 57 to Paseo Alameda. Lots 58 and 59 will be built simultaneously. Therefore the enclosed grading plan is for both Lots 58 and 59. A separate report was submitted for Lot 58 at the same time of this submittal.

Calculations

City of Albuquerque, Development Process Manuel, Section 22.2, Hydrology Section, revised January 1993, was used for runoff calculations. See this report for Summary Table for runoff results. See also this report for AHYMO input and output files for runoff and ponding calculations.

RUNOFF CALCULATIONS

The site is @ Zone 2

DEPTH (INCHES) @ 100-YEAR STORM

$$P_{60} = 2.01 \text{ inches}$$

$$P_{360} = 2.35 \text{ inches}$$

$$P_{1440} = 2.75 \text{ inches}$$

DEPTH (INCHES) @ 10-YEAR STORM

$$\begin{aligned} P_{60} &= 2.01 \times 0.667 \\ &= 1.34 \text{ inches} \end{aligned}$$

$$P_{360} = 1.57$$

$$P_{1440} = 1.83$$

See the summary output from AHYMO calculations.

Also see the following summary tables.

RUNOFF CALCULATION RESULTS

EXISTING			
BASIN	AREA (SF)	AREA (AC)	AREA (MI ²)
LOT 58	23,388.60	0.5369	0.000839
LOT 59	23,730.02	0.5448	0.000851

EXISTING		
BASIN	Q-100 CFS	Q-10 CFS
LOT 58	0.84	0.20
LOT 59	0.85	0.20

PROPOSED		
BASIN	Q-100 CFS	Q-10 CFS
LOT 58	2.34	1.50
LOT 59	2.38	1.52

RUN DATE (MON/DAY/YR) =03/14/2000

PAGE = 1

[illegible]

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* ZONE 2
*****
*   100-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS)   *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=2.01 IN RAIN SIX=2.35 IN
               RAIN DAY=2.75 IN DT=0.03333 HR

*
* LOT 58
*
COMPUTE NM HYD   ID=1 HYD NO=101.0 AREA=0.000839 SQ MI
                 PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
                 TP=0.1333 HR MASS RAINFALL=-1

*
* LOT 59
*
COMPUTE NM HYD   ID=1 HYD NO=102.0 AREA=0.000851 SQ MI
                 PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
                 TP=0.1333 HR MASS RAINFALL=-1
*****
*   10-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS)   *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.34 IN RAIN SIX=1.57 IN
               RAIN DAY=1.83 IN DT=0.03333 HR

*
* LOT 58
*
COMPUTE NM HYD   ID=1 HYD NO=111.0 AREA=0.000839 SQ MI
                 PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
                 TP=0.1333 HR MASS RAINFALL=-1

*
* LOT 59
*
COMPUTE NM HYD   ID=1 HYD NO=112.0 AREA=0.000851 SQ MI
                 PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
                 TP=0.1333 HR MASS RAINFALL=-1
*****
*   100-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS)   *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=2.01 IN RAIN SIX=2.35 IN
               RAIN DAY=2.75 IN DT=0.03333 HR

*
* LOT 58
*
COMPUTE NM HYD   ID=1 HYD NO=101.1 AREA=0.000839 SQ MI
                 PER A=0.00 PER B=15.00 PER C=0.00 PER D=85.00
                 TP=0.1333 HR MASS RAINFALL=-1

```

*

* LOT 59

*

COMPUTE NM HYD ID=1 HYD NO=102.1 AREA=0.000851 SQ MI
PER A=0.00 PER B=15.00 PER C=0.00 PER D=85.00
TP=0.1333 HR MASS RAINFALL=-1

* 10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) *

START TIME=0.0
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.34 IN RAIN SIX=1.57 IN
RAIN DAY=1.83 IN DT=0.03333 HR

*

* LOT 58

*

COMPUTE NM HYD ID=1 HYD NO=111.1 AREA=0.000839 SQ MI
PER A=0.00 PER B=15.00 PER C=0.00 PER D=85.00
TP=0.1333 HR MASS RAINFALL=-1

*

* LOT 59

*

COMPUTE NM HYD ID=1 HYD NO=112.1 AREA=0.000851 SQ MI
PER A=0.00 PER B=15.00 PER C=0.00 PER D=85.00
TP=0.1333 HR MASS RAINFALL=-1

FINISH

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 14, 2006

Mr. George Sanders, R.A.
SANDERS & ASSOCIATES ARCHITECTS
5921 Lomas Blvd. NE
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
ROMAN FOUNTAINS, [C-16 / D6D]
8535 Calle Alameda NE
Architect's Stamp Dated 07/05/2006

P.O. Box 1293

Dear Mr. Sanders:

Albuquerque

The TCL / Letter of Certification submitted on July 13, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

New Mexico 87103

www.cabq.gov

Wilfred Gallegos, P.E.
Traffic Engineer
Development and Building Services
Planning Department

c: Hydrology file
CO Clerk
Gloria Saavedra

SANDERS & ASSOCIATES ARCHITECTS, P. C.

5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, NEW MEXICO 87110 [505] 255-5040 FAX [505] 255-5040
Architecture Landscape Architecture Interior Design

July 5, 2005

City of Albuquerque
Traffic Engineering
600 2nd Street N.W.
Albuquerque, N.M. 87102

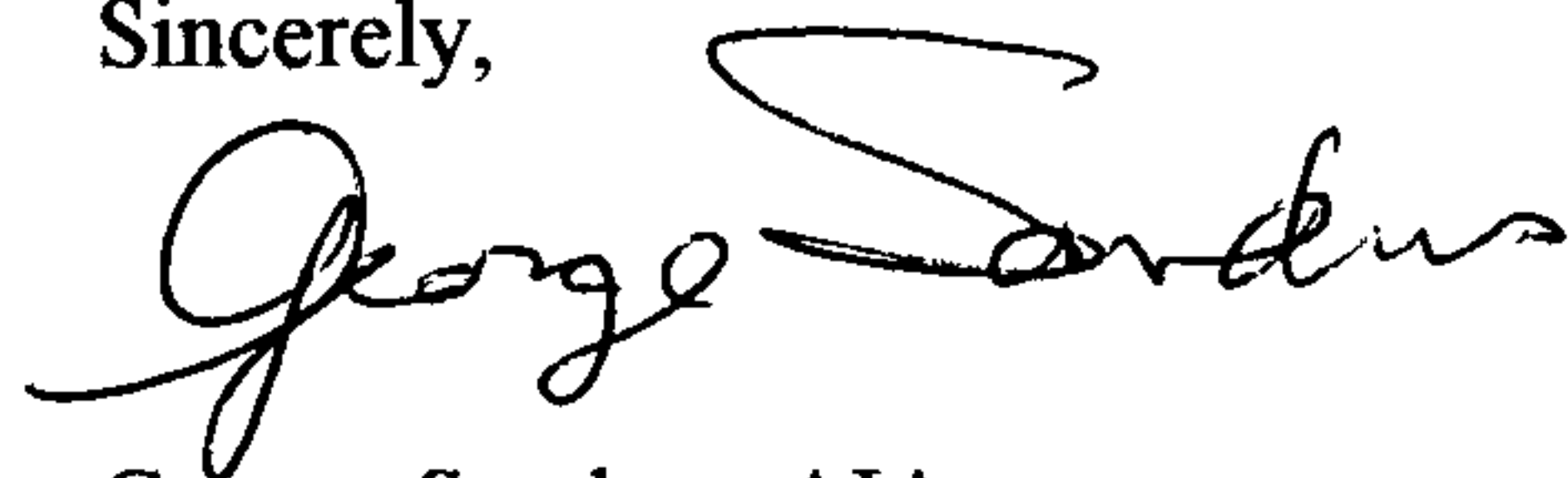
Re: 8535 Calle Alameda N.E.

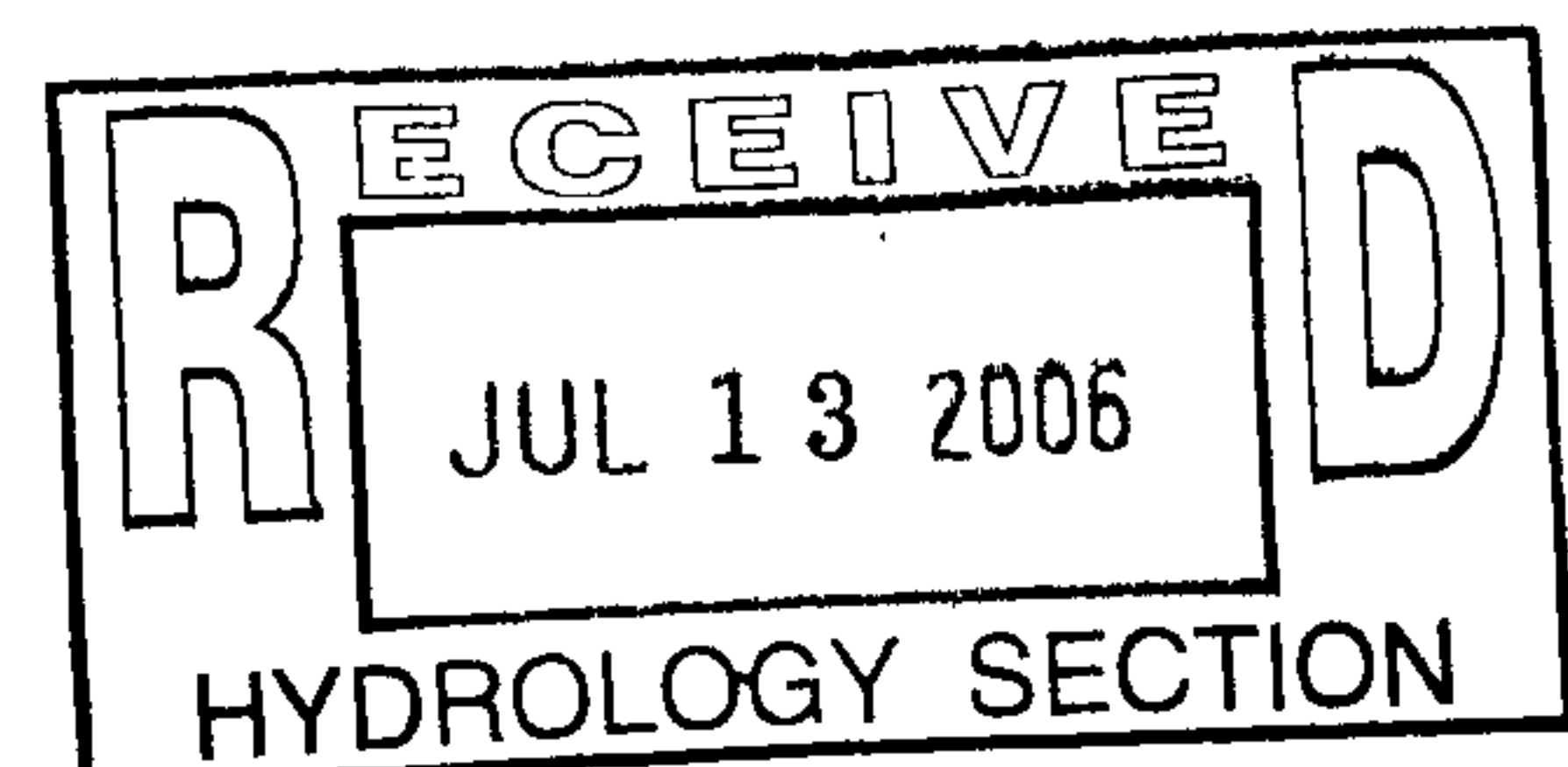
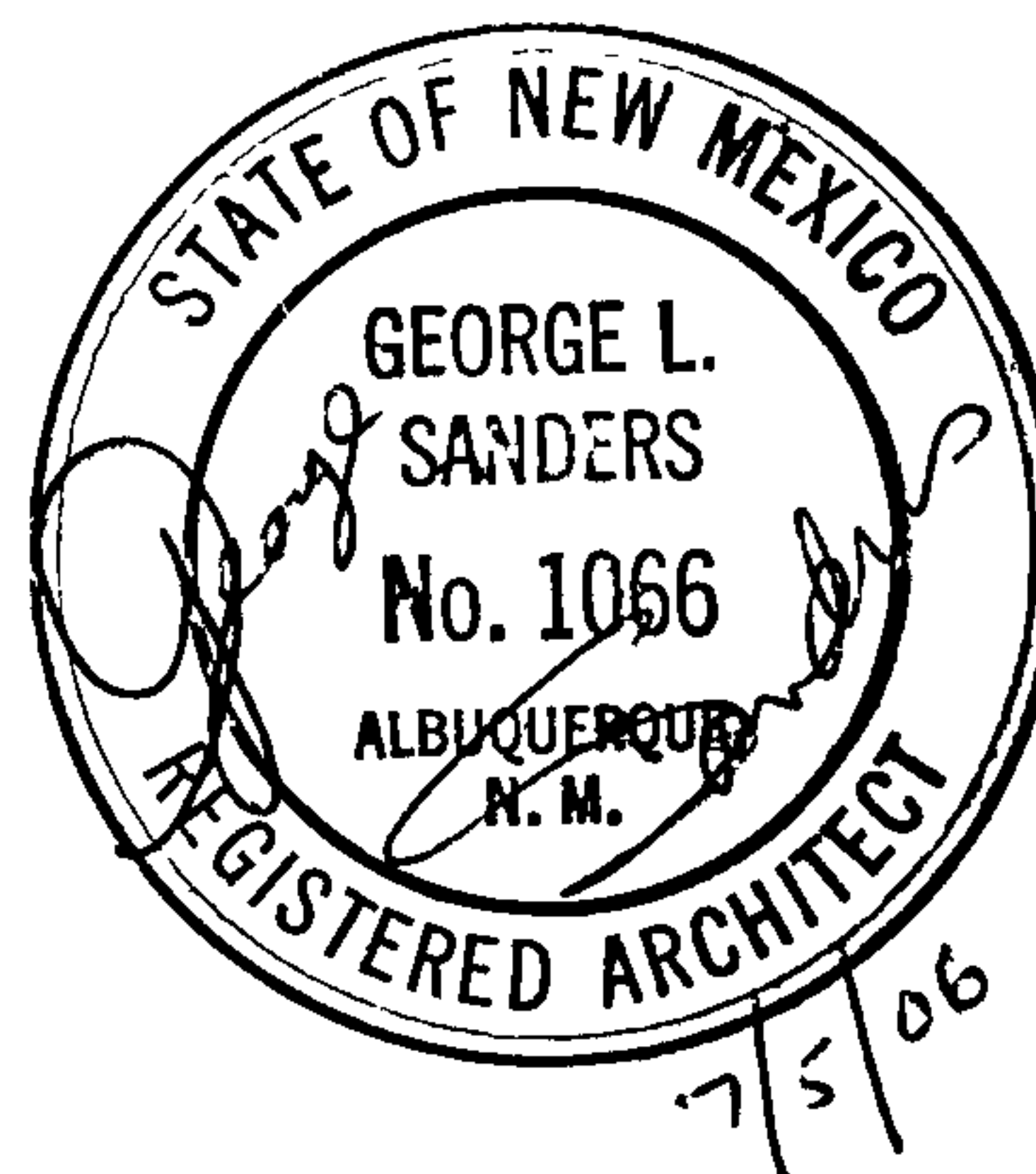
To Whom It May Concern

I George Sanders, AIA license number 1066, of the firm Sanders & Associates Architects, P.C., hereby confirm that this project has in substantial compliance with and in accordance with the design intent of the approved plan with architect's seal dated 10/19/05. The record information edited onto the original design document has been obtained by N/A. I further confirm that I have personally visited the project site on 7/5/06 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,


George Sanders, AIA



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Roman Foundations ZONE MAP: C-16/D6D
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION:

CITY ADDRESS: 8535 Calle Alameda NE

ENGINEERING FIRM: Brasher & Lorenz CONTACT: Steve Morrow
 ADDRESS: 2201 San Pedro Dr NE PHONE: 440-8470
 CITY, STATE: Albuquerque NM ZIP CODE: _____

OWNER: Jon Mitovich CONTACT: Jon Mitovich
 ADDRESS: 8800 Calle Alameda PHONE: 505-8470
 CITY, STATE: Pescob Alameda ZIP CODE: 3438042

ARCHITECT: George Sanders CONTACT: George Sanders
 ADDRESS: 5921 Lomas Blvd NE suite B PHONE: 255-8040
 CITY, STATE: Albuquerque NM ZIP CODE: _____

SURVEYOR: Steve Morrow CONTACT: 440-8470
 ADDRESS: 2201 San Pedro Dr NE PHONE: _____
 CITY, STATE: Albuquerque NM ZIP CODE: _____

CONTRACTOR: Baker Const CONTACT: Isaac Seneros
 ADDRESS: 8515 Calle Alameda PHONE: 280-4740
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY)

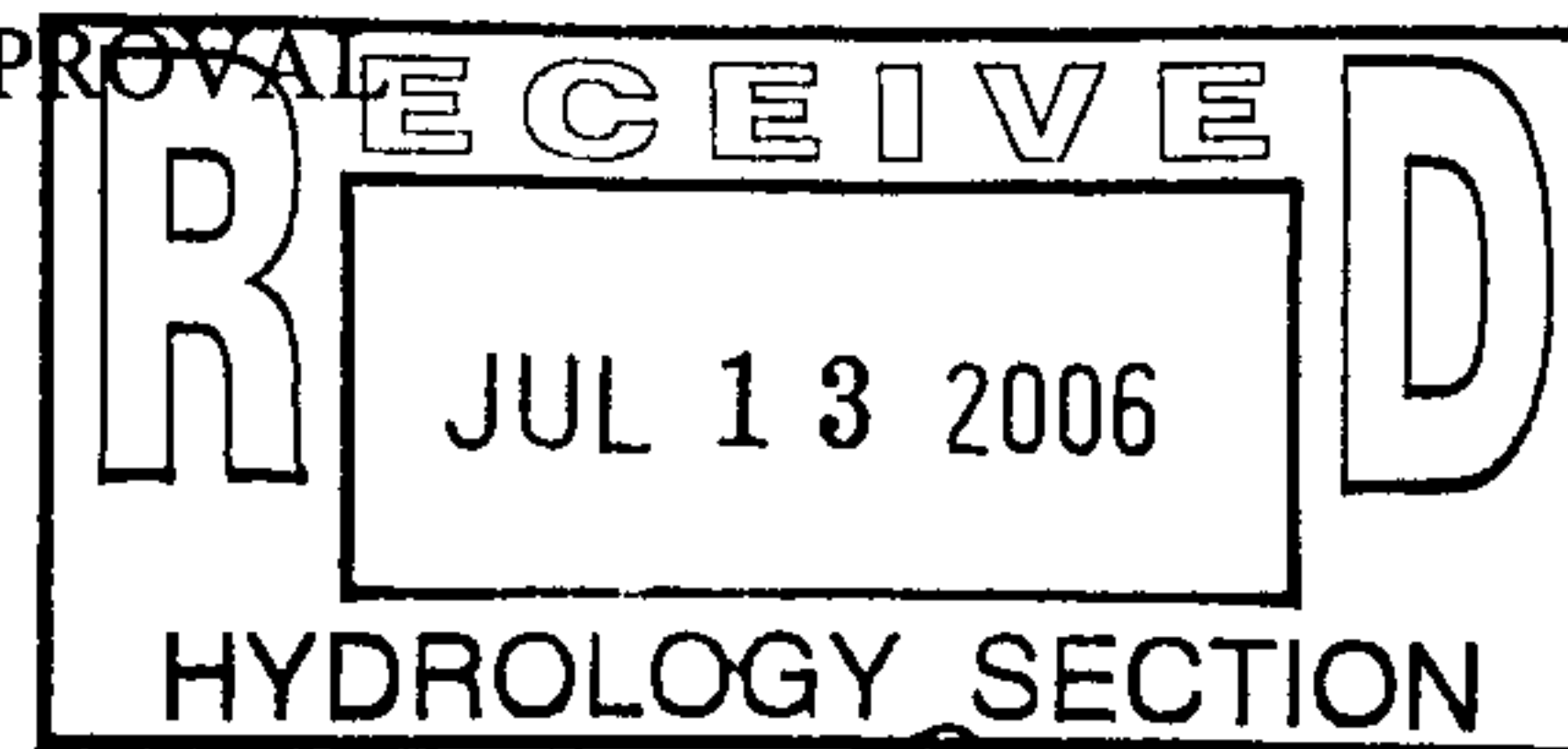
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: July 17 BY: Isaac Seneros



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.