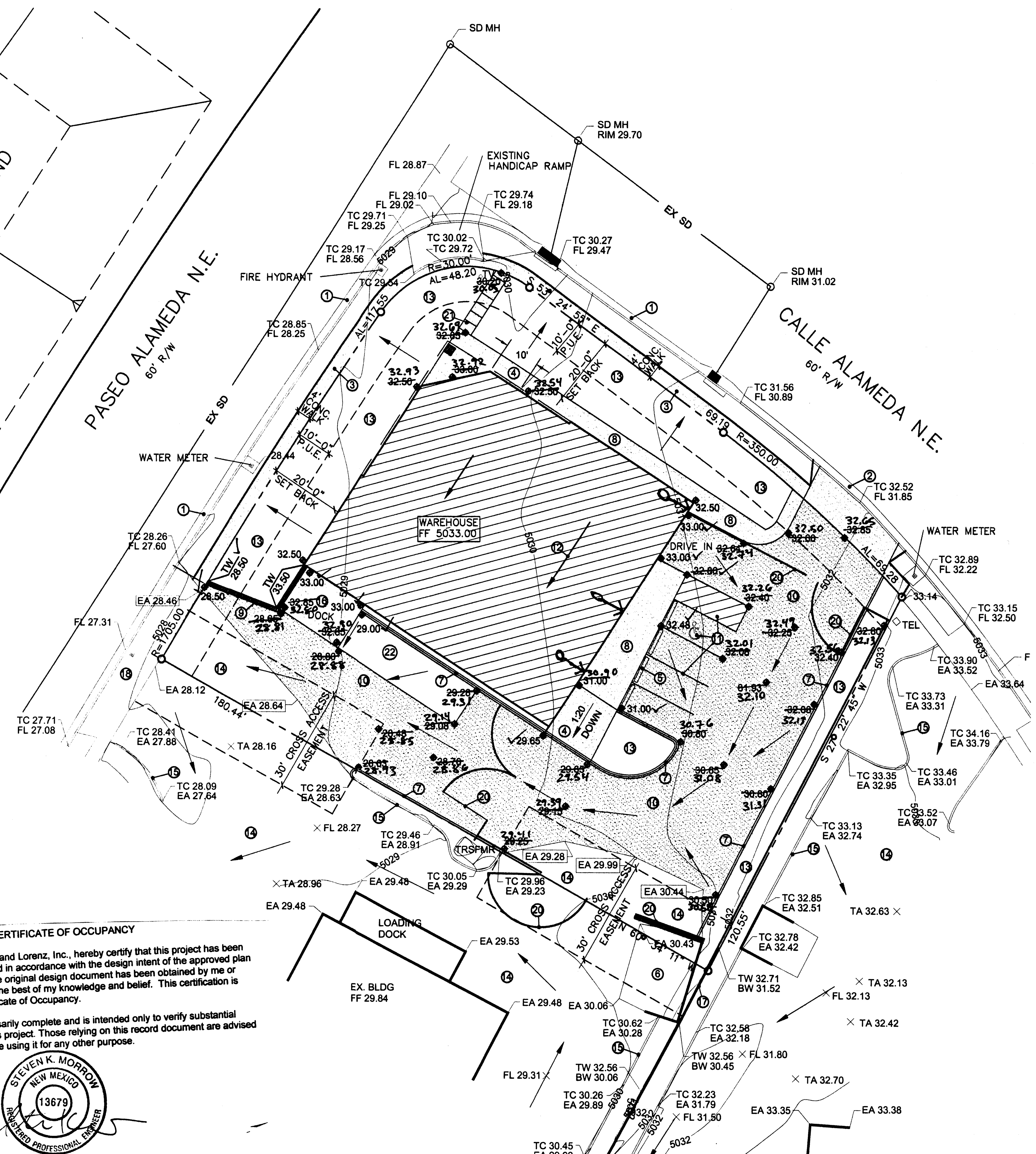
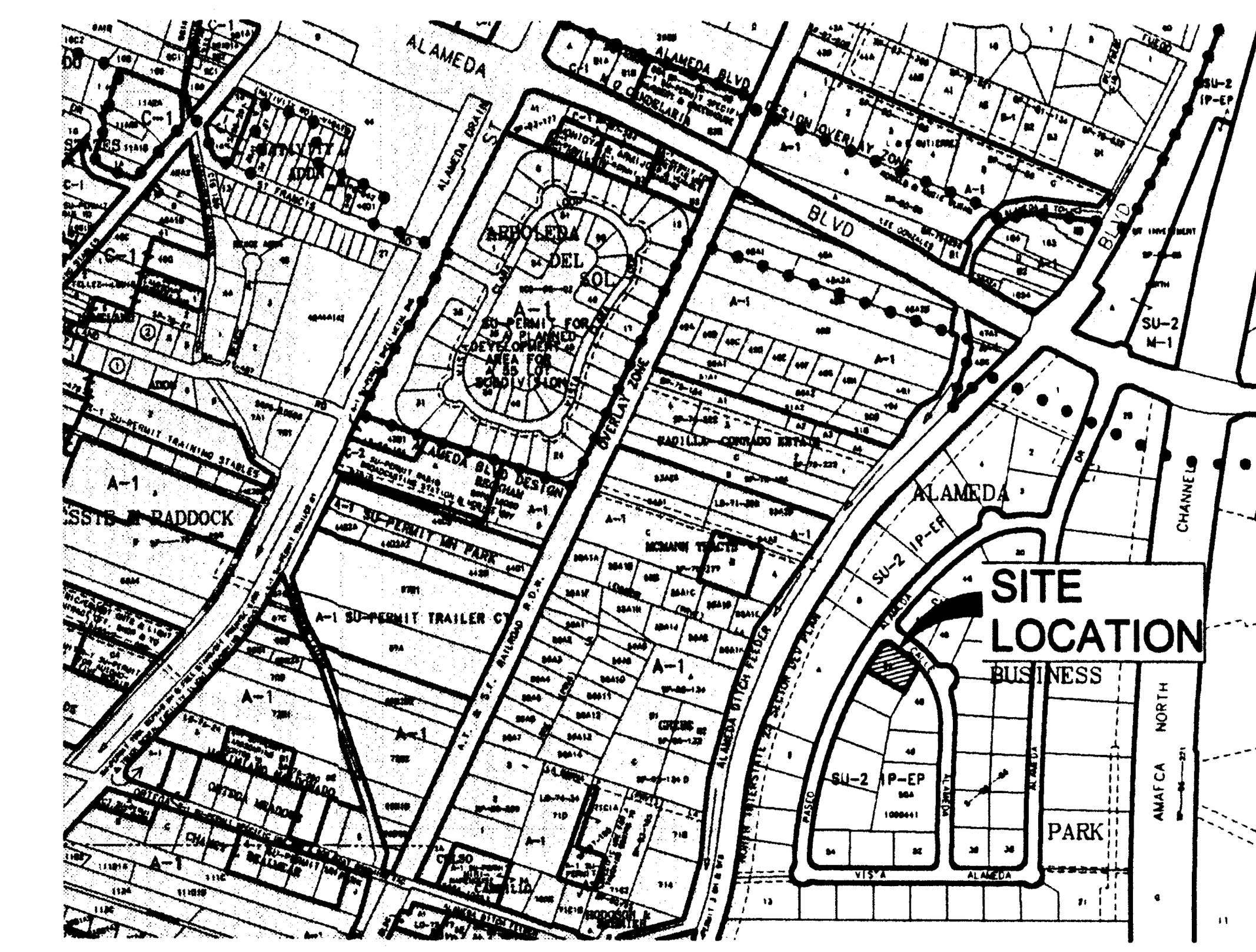
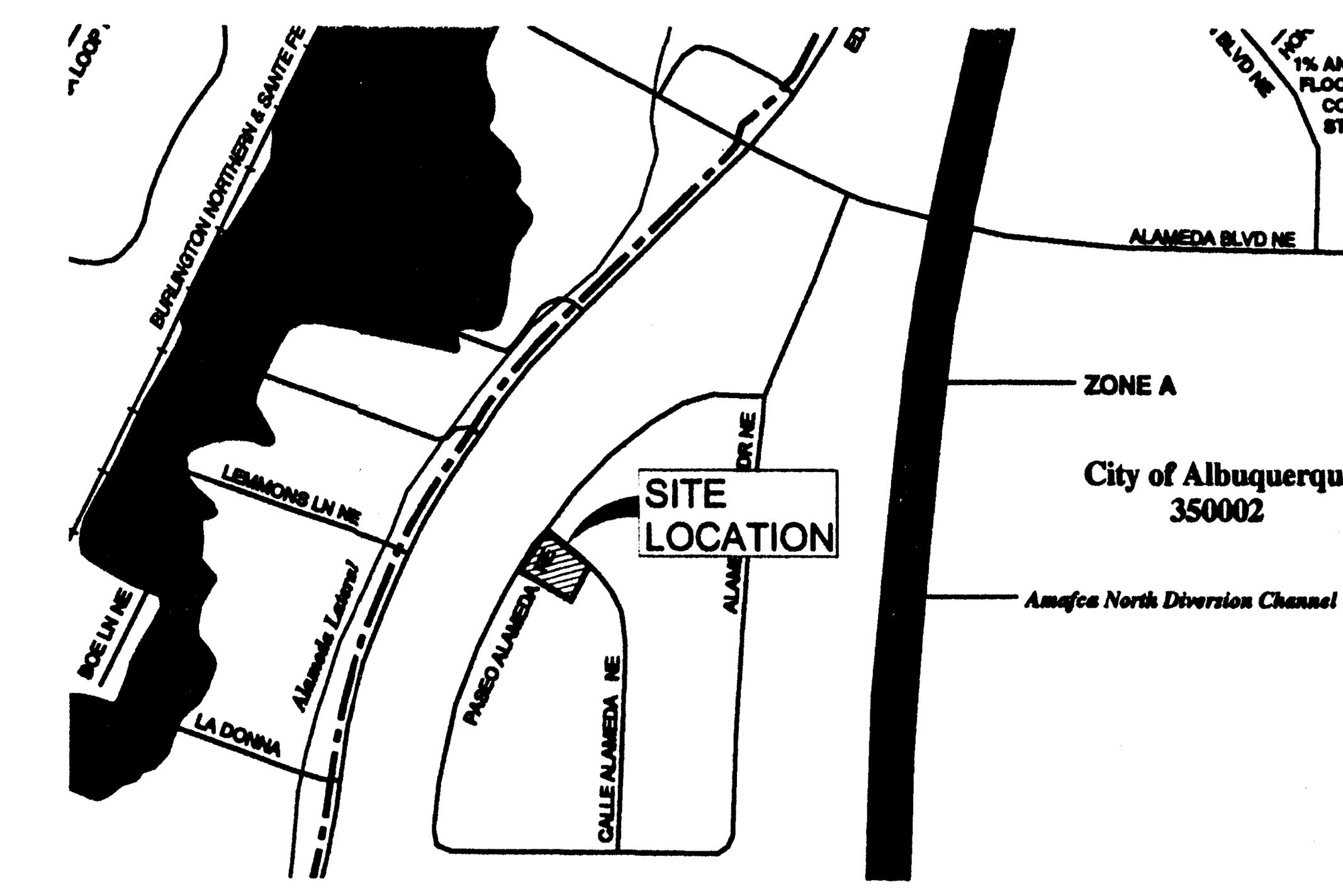




LOCATION MAP

ZONE ATLAS MAP C16
NOT TO SCALE



FIRM PANEL

35001C0136
SCALE: 1"=500'

GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Roman Fountains located at 8540 Paseo Alameda NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS

The project site is approximately 0.54 acres in size and is located at 8540 Paseo Alameda NE at Calle Alameda. The project site is particularly described as Lot 59, Alameda Business Park. The site is bounded by industrial properties on the east and south, Calle Alameda on the north and Paseo Alameda on the west. Site topography slopes from east to west at approximately 2 percent, draining to Paseo Alameda. As a result of a shared access agreement, Lots 58 and 59 share the existing drivepad at Paseo Alameda. Off-site flows from lot 58 drain internally and exit thru a sidewalk culvert into Paseo Alameda. No off-site flows enter the project site. All on-site and off-site runoff drains to masterplan storm drainage improvements provided by Alameda Business Park. Masterplan drainage improvements constructed for the development convey all runoff to an existing retention pond located to the north on Tract A. The retention pond drains by a lift station to the AMAFCA North Diversion Channel.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of an office warehouse for Roman Fountains, with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions. The drainage criteria for the site was established by the Drainage Masterplan for Alameda Business Park, prepared by Bohannan Huston, dated February 19, 1999.

All drainage flows will be managed on-site and discharge to the Masterplan drainage improvements that convey all runoff to an existing retention pond located to the north. The site drains to Paseo Alameda thru the existing west drivepad.

EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. It is the contractors responsibility to properly maintain these facilities during the construction phase of the project. Since the site proposes to disturb less than 1.0 acres, a Storm Water Pollution Prevention Plan is not required.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

HYDROLOGY - AHYMO

Precipitation Zone 2 — P360 = 2.35 in

Basin	Basin area (Ac)	Land Treatment (acre) A	B	C	D	Ew in)	V100 (af)	Q100 (cfs)
Existing Conditions								
SITE	0.54	0.00	0.00	0.54	0.00	1.13	0.0509	1.70
Developed Conditions								
SITE	0.54	0.00	0.00	0.11	0.45	1.95	0.0900	2.50

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement or finish grade unless noted otherwise.

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB		
STD CURB & GUTTER		
DROP INLET		
OVERHEAD ELEC	OHU	
UNDERGROUND ELEC, GAS,TEL,TV	UGT	
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.30 FL 98.80	TC 99.30 FL 98.80
SPOT ELEV.	16.7	16.7
SEWER SERVICE		
POWER POLE (GUYED)	PP	
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT		
DIRECTION OF FLOW		
DRAINAGE SWALE		
DRAINAGE BASIN DIVIDE		
PROPOSED ASPHALT		

PROPERTY ADDRESS

8540 Paseo Alameda NE

LEGAL DESCRIPTION

Lot 59, Alameda Business Park

MAPPING

Topographic and Field Measurements by
Brasher & Lorenz
Dated October, 2005

PROJECT BENCHMARK

AMAFCA BRASS TABLET "NDC-7-1B2" station is located along NDC west frontage road at STA 150+55, approx 0.4 mile south of Alameda Blvd. ELEV = 5064.40 feet MSLD

HYDROLOGY CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

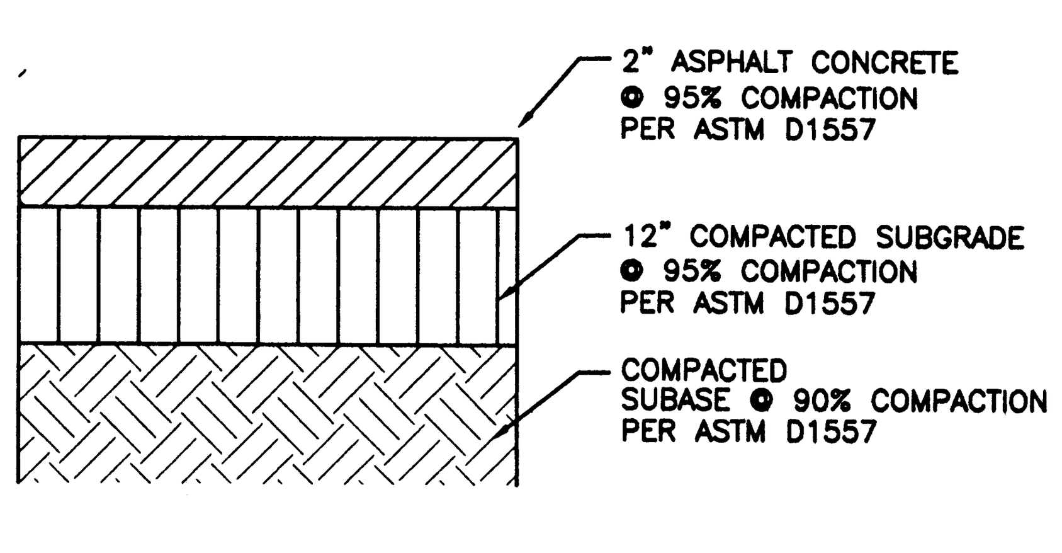
I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 11-18-05. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

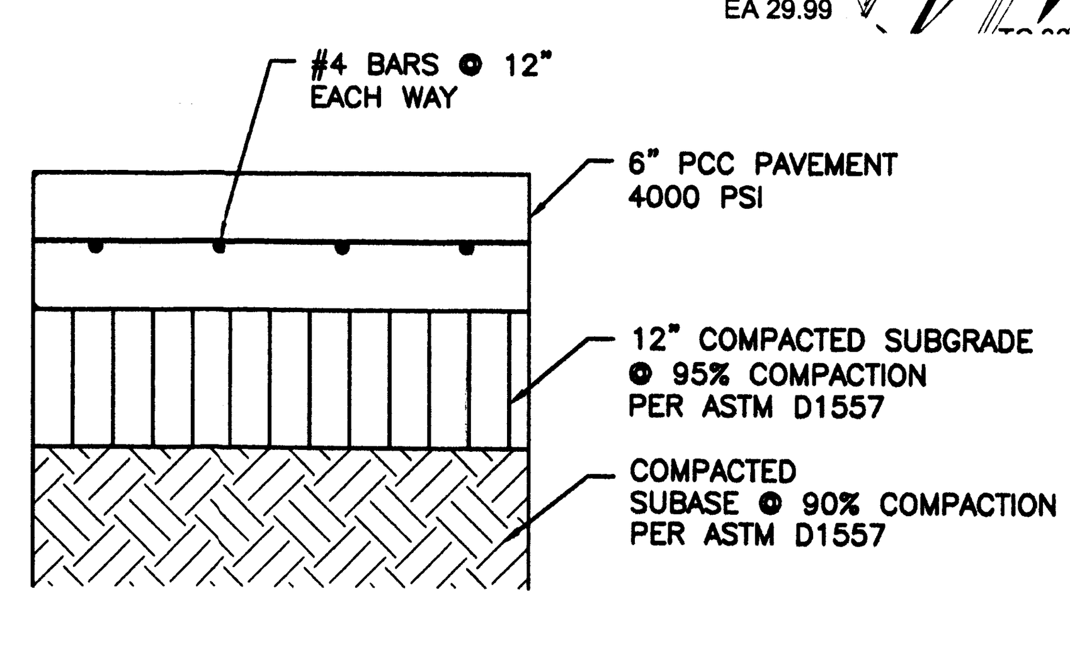
Steven K. Morrow, NMPE 13679

7-13-06
Date

STEVEN K. MORROW NEW MEXICO 13679 REGISTERED PROFESSIONAL ENGINEER
7-13-06



ASPHALTIC PAVEMENT — A / C-3 — NTS



CONCRETE PAVEMENT — B / C-3 — NTS

KEYED NOTES

1. EXISTING STD CURB & GUTTER
2. SAWCUT EXIST STD C & G. CONSTRUCT 30' DRIVEPAD PER COA STD DWG 2425
3. CONSTRUCT 4' SIDEWALK
4. CONSTRUCT RAMP. AT 5% SLOPE MAX
5. NO CURB AT ACCESSIBLE AREA. PROVIDE CONCRETE TIRE STOP AS SHOWN
6. EXISTING REFUSE ENCLOSURE.
7. CONSTRUCT 6" CONCRETE CURB & GUTTER PER COA STD DWG 2415A
8. CONSTRUCT SIDEWALK. SEE SITE PLAN
9. CONSTRUCT RETAINING WALL. DESIGN BY OTHERS
10. CONSTRUCT ASPHALT PAVEMENT. PER DETAIL A/C-3
11. PAINTED STRIPING PER COA CRITERIA
12. DIRECTION OF ROOF DRAINAGE
13. LANDSCAPING
14. EXISTING ASPHALT PAVING TO REMAIN
15. EXISTING CURB TO REMAIN
16. RAISED CONCRETE LOADING DOCK. DESIGN BY OTHERS.
17. EXISTING RETAINING WALL
18. EXISTING CONC DRIVEPAD TO REMAIN
19. EXISTING ASPHALT CHANNEL
20. INSTALL GATE - SEE SITE PLAN
21. CONSTRUCT STEPS AT FRONT ENTRY 7" MAX RISE X 3' RUN
22. CONSTRUCT CONCRETE PAVEMENT PER DETAIL B/C-3

GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'-0"

NORTH

DENNIS A. LORENZ NEW MEXICO 9647 REGISTERED PROFESSIONAL ENGINEER

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

ROMAN FOUNTAIN WAREHOUSE

LOT 59 ALAMEDA BUSINESS PARK
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 600 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE N.M. 87102 (505) 842-8413 FAX (505) 242-2280

project no. 05548
sheet
C-3
3 of 4
date 10-05

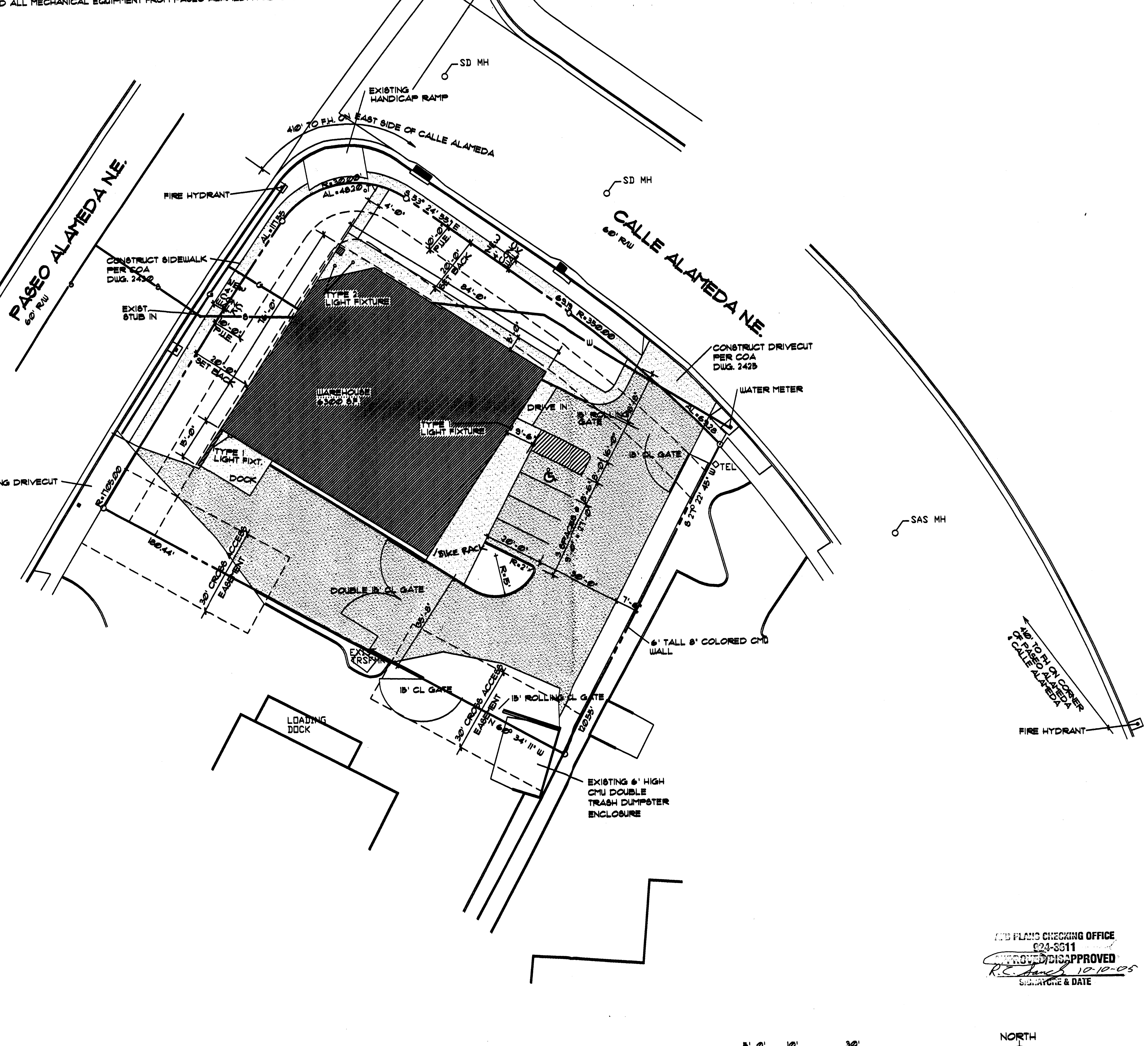
EXTERIOR LIGHT FIXTURES

NOTE: ALL EXTERIOR LIGHTING SHALL BE FULL CUT-OFF AND / OR ANGLED TO PREVENT LIGHT FROM GLARING ON ADJACENT PROPERTIES AND ROADWAYS.

TYPE 1: WALL PACK UP 10'-0"

TYPE 2: RECESSED SOFFIT DOWNLIGHT

THE WAREHOUSE HAS A PREFINISHED RIBBED METAL ROOF WHICH SHALL NOT HAVE A HIGHLY REFLECTIVE SURFACE PER REQUIREMENTS OF THE ALAMEDA BUSINESS PARK MASTER PLAN.
A PARAPET ON THE WEST AND NORTH SHIELDS VIEWS OF BOTH THE ROOF AND ALL MECHANICAL EQUIPMENT FROM PASEO ALAMEDA AND CALLE ALAMEDA



SITE PLAN

SCALE: 1" = 20'-0"

LEGEND

▨	CONCRETE WALK
▨	ASPHALT DRIVE

LEGAL DESCRIPTION

LOT NUMBERED FIFTY-NINE OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

ZONING:

SU-2 IP

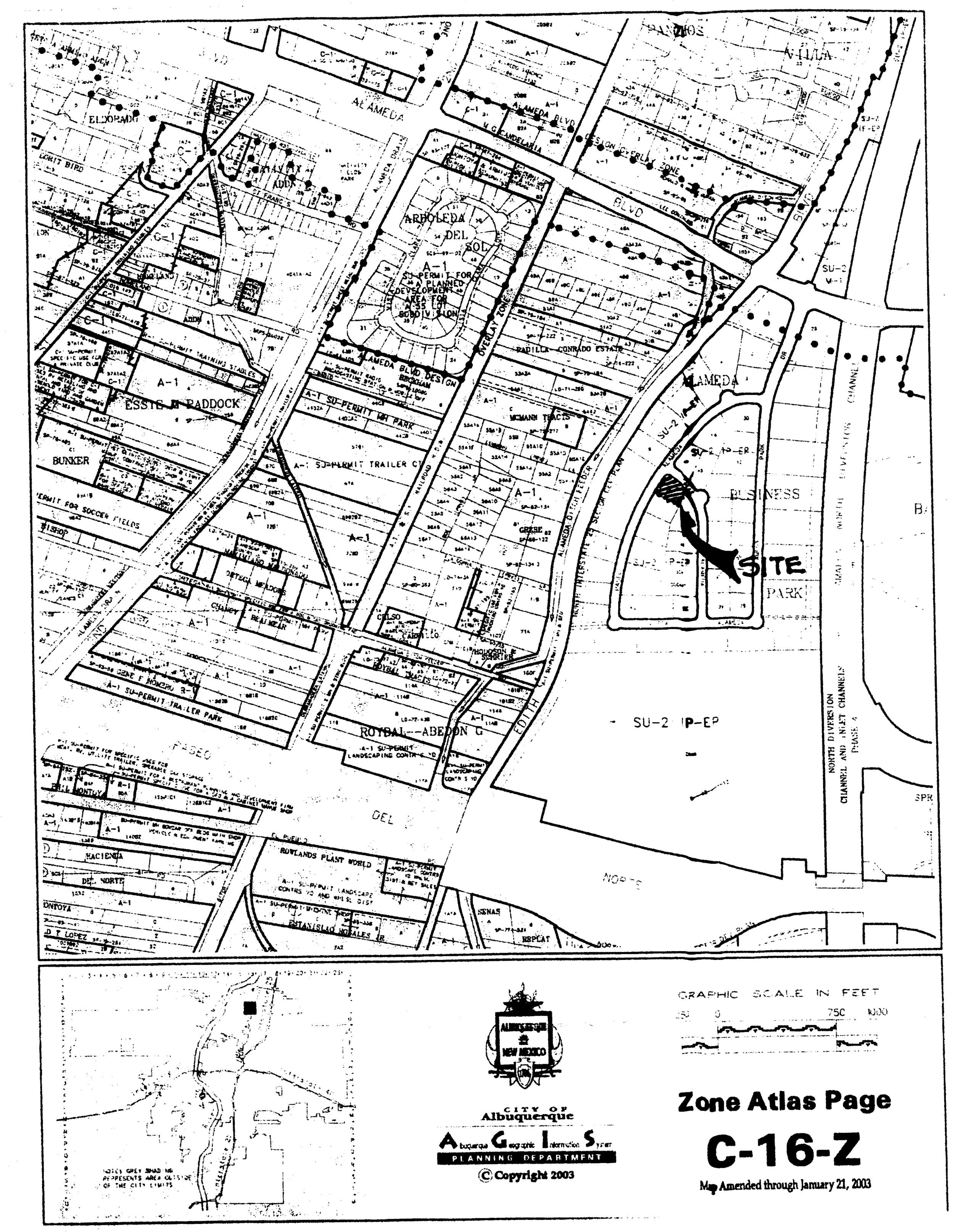
SHEET INDEX

C-1 SITE PLAN
C-2 SITE LANDSCAPING PLAN
C-3 SITE GRADING PLAN
A-1 BUILDING ELEVATIONS

PARKING REQUIREMENTS

WAREHOUSE - 6300 S.F. 1 PARKING SPACE PER 2000 S.F. =		4 SPACES
TOTAL REQUIRED		4 SPACES
TOTAL PROVIDED	REG CAR	3 SPACES
TOTAL PROVIDED	HANDICAP	1 SPACES
TOTAL PROVIDED		4 SPACES

BICYCLE: 1 SPACE PER 20 CARS TOTAL: 1 REQ. 1 PROVIDED



STATE OF NEW MEXICO
GEORGE L. SANDERS
NO. 1066
ALBUQUERQUE N.M.
REGISTERED ARCHITECT
10/10/05

PROJECT NUMBER 1004478 APPLICATION NUMBER 05-DRB-01581

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated ______________ and the Findings and Conditions in the Official Notification of Decisions are satisfied.

Is an infrastructure list required? ( ) yes [✓ no] If yes, then a set of approved DRC plans with a work order is required for any construction within the Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

N/A		Michael Holton (verify enclosure)	10/10/05
Environmental Health	Date	Solid Waste Management	Date
[illegible]	10-19-05	[illegible]	10/19/05
Traffic Engineering	Date	Utilities Development	Date
Christina Sandoval	10/19/05	Bradley L. Bingham	10/19/05
Parks & Recreation Dept.	Date	City Engineer	Date
Andrew Garcia	10/19/05		
DRB Chairperson, Planning Department	Date		

signature block 5/13/05

ABQ PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
R. E. Sanchez 10-10-05
SIGNATURE & DATE

SITE PLAN FOR BUILDING PERMIT

ROMAN FOUNTAIN WAREHOUSE

LOT 59 ALAMEDA BUSINESS PARK
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS. P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, N.M. 87110 (505) 255-5040 FAX (505) 255-5040

project no. 0512
sheet
C-1
1 of 4
date 10-05

RECEIVED
JUL 13 2006
HYDROLOGY SECTION