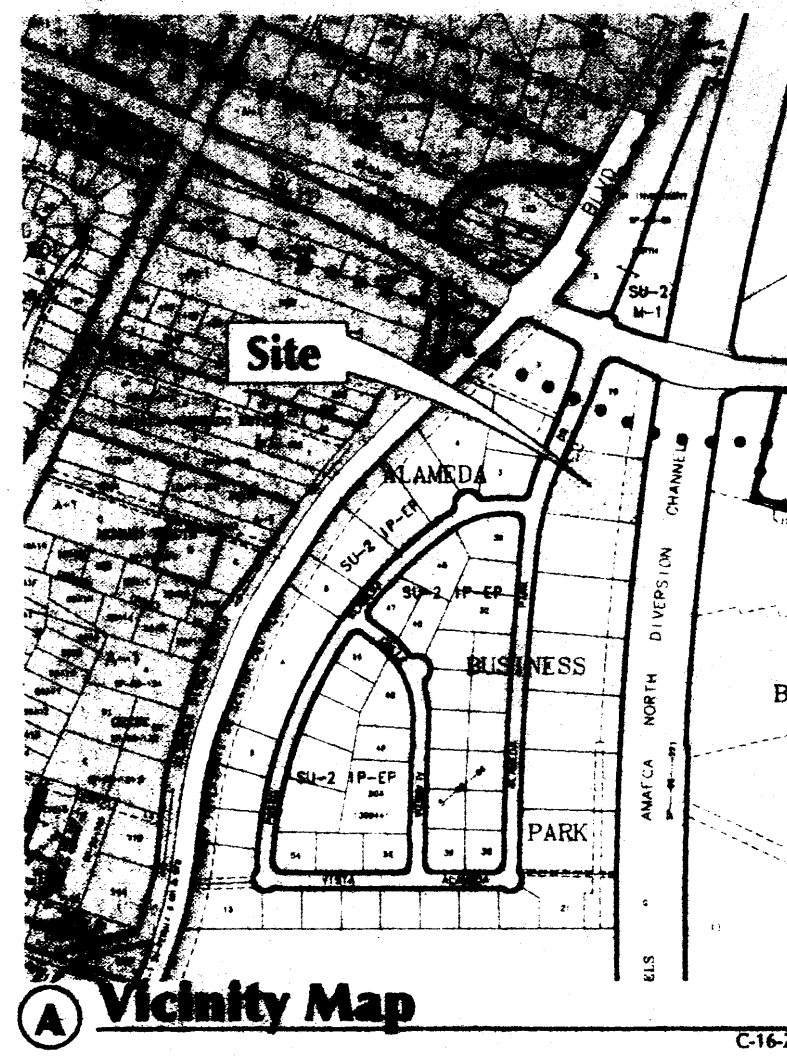


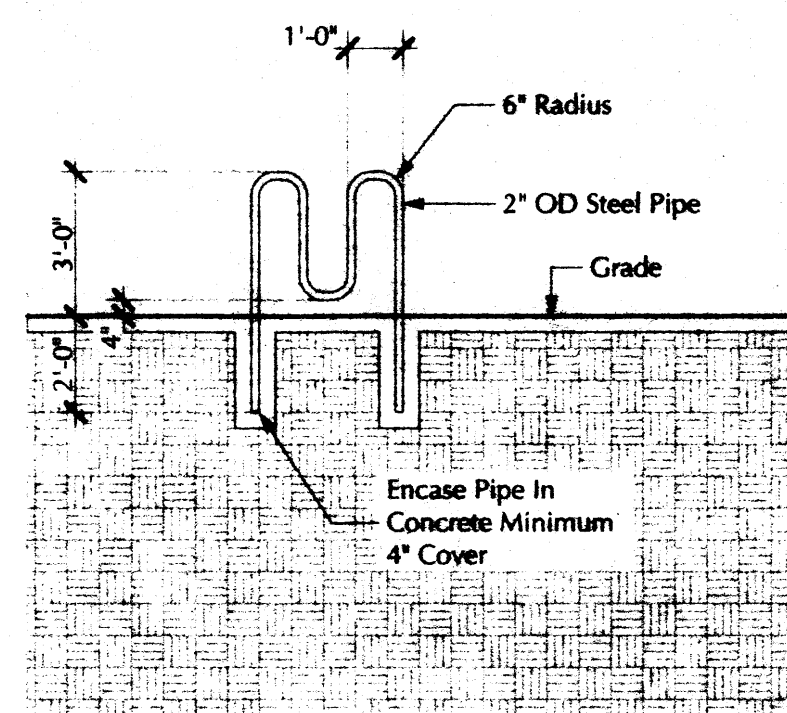


A Vicinity Map

PARKING CALCULATIONS:
 Required: 43 spaces
 (Assume 30% office, 70% warehouse)
 (Office: 6747/200=34)
 (Warehouse: 17542/2000=9)
 Provided:
 Standard Spaces 46 Spaces
 HC Space 3 Spaces
 Total 49 Spaces

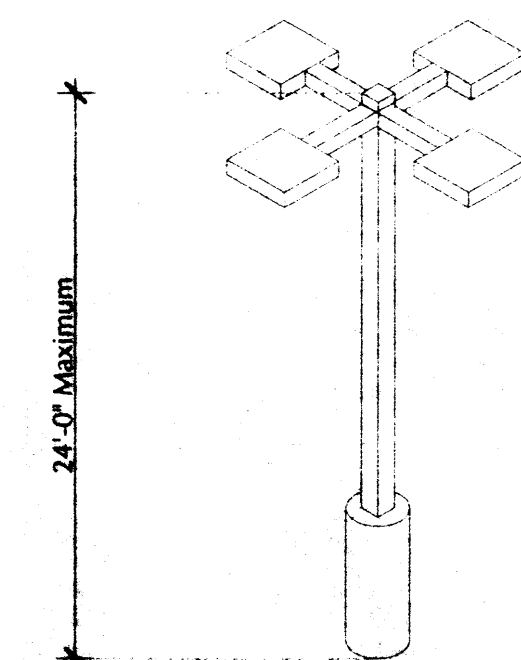
BICYCLE PARKING:
 Required: 1 space/20 parking spaces
 49 spaces/20 = 3 spaces

C Parking



N Bike Rack

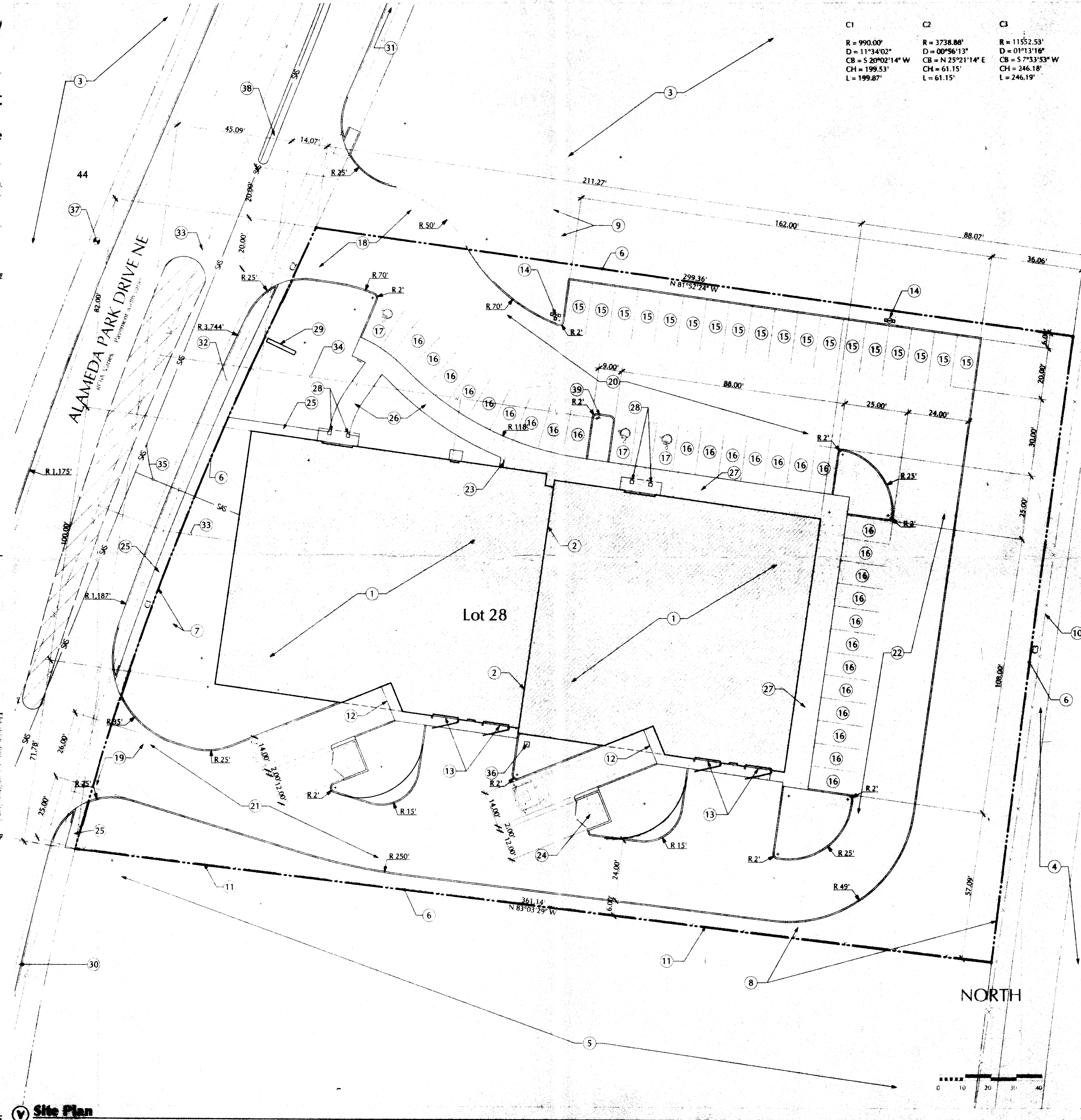
Scale: 1/4"=1'-0"



Number Of Light Fixtures On Pole Varies. See Site Plan. All parking lot lighting shall be high pressure sodium shoebox full cutoff type fixtures. Light Fixtures Shall Be Fully Horizontal Lamps So That No Fugitive Light Shall Escape Beyond The Property Line.

T Light Pole Detail

Not To Scale



C1	C2	C3
R = 990.00'	R = 3738.88'	R = 11552.53'
D = 11°34'02"	D = 00°56'13"	D = 01°13'18"
CB = S 20°02'14" W	CB = N 25°21'14" E	CB = S 7°33'53" W
CH = 199.53'	CH = 61.15'	CH = 246.18'
L = 199.87'	L = 61.15'	L = 246.19'

- Proposed 22518 square foot warehouse, sales/display building
- Area separation wall (divides building into two buildings)
- Vacant land
- AMAFCA North Diversion Channel
- COA ball fields (under construction)
- Property line- typical
- Existing 10' Public utility easement
- Existing 76.64' flowage easement
- Existing private common access easement for lots 28 & 29
- Existing chain link fence
- 4' high chain link fence
- Loading Dock
- Overhead door with security gate
- Site lighting fixture, see detail 'T' on this sheet.
- Typical parking space 9'x 20' (8'-6" minimum)
- Typical parking space at sidewalk 9'x 20' (18' + 2' overhang) (8'-6" minimum)
- Typical HC parking space 8'-6" x 20' (18' + 2' overhang)
- Proposed 40' wide common driveway. Construct per COA standards.
- Proposed 26' wide private driveway. Construct per COA standards.
- 30' wide drive aisle (asphalt paving)
- 26' wide drive aisle (asphalt paving)
- 24' wide drive aisle (asphalt paving)
- Bicycle rack with 3 spaces minimum.
- Refuse enclosure, see detail 'W' on sheet SDP-5 for elevations.
- Proposed 4' wide concrete sidewalk
- 8' Wide concrete sidewalk
- 10' Wide concrete sidewalk
- Security bollards
- Monument sign, see detail 'Y' on sheet SDP-5
- Existing fire hydrant located across the street at corner of Alameda Park and Paseo Alameda. Approximately 90' southwest of the southwest property corner.
- Existing fire hydrant located approximately 110' north of the northwest property corner
- Natural gas line
- Water line
- Fire protection line
- Sanitary sewer line
- Electrical transformer location
- Location of person for roof screen detail, detail 'T' on sheet SDP-5
- Existing street median
- New private fire hydrant

Keyed Notes

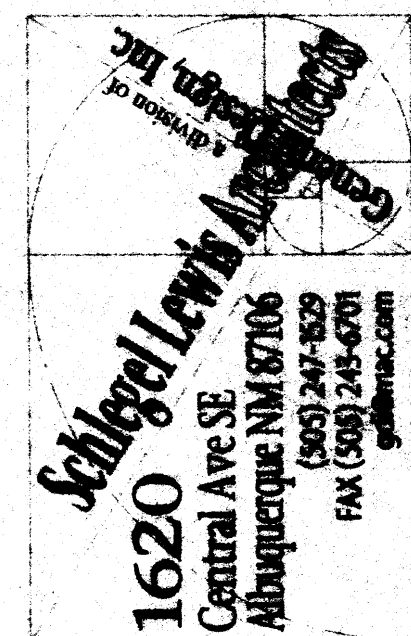
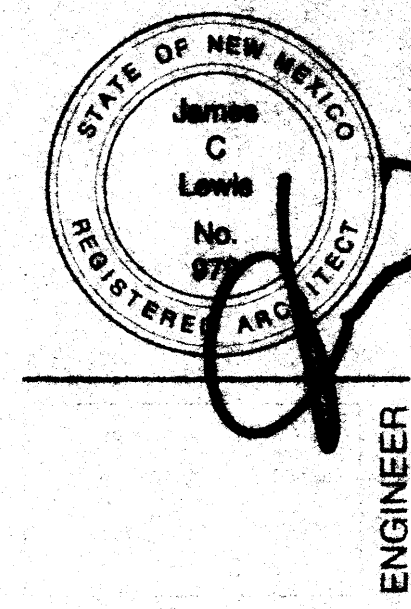
PROJECT NUMBER: 1003370
 APPLICATION NUMBER: 04-00527

Is an Infrastructure List Required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB Development Plan Approval

[Signature] 4/14/04
 Traffic Engineer, Transportation Department
[Signature] 4/14/04
 Utility Development
[Signature] 4/14/04
 Parks and Recreation Department
[Signature] 4/14/04
 City Engineer
 N/A
 * Environmental Health Department (conditional)
[Signature] 4-14-04
 Solid Waste Management
[Signature] 4/14/04
 DRB Chairperson, Planning Department
 * Environmental Health, if necessary

Approvals



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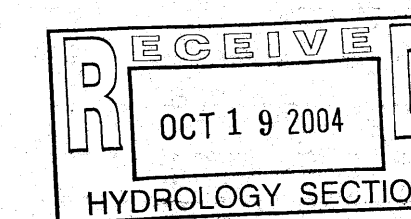
Site Development Plan for Building Permit
8700 Alameda Park Warehouse
 8700 Alameda Park Drive NE
 Albuquerque New Mexico 87113

ISSUE DATE:

01 April 2004

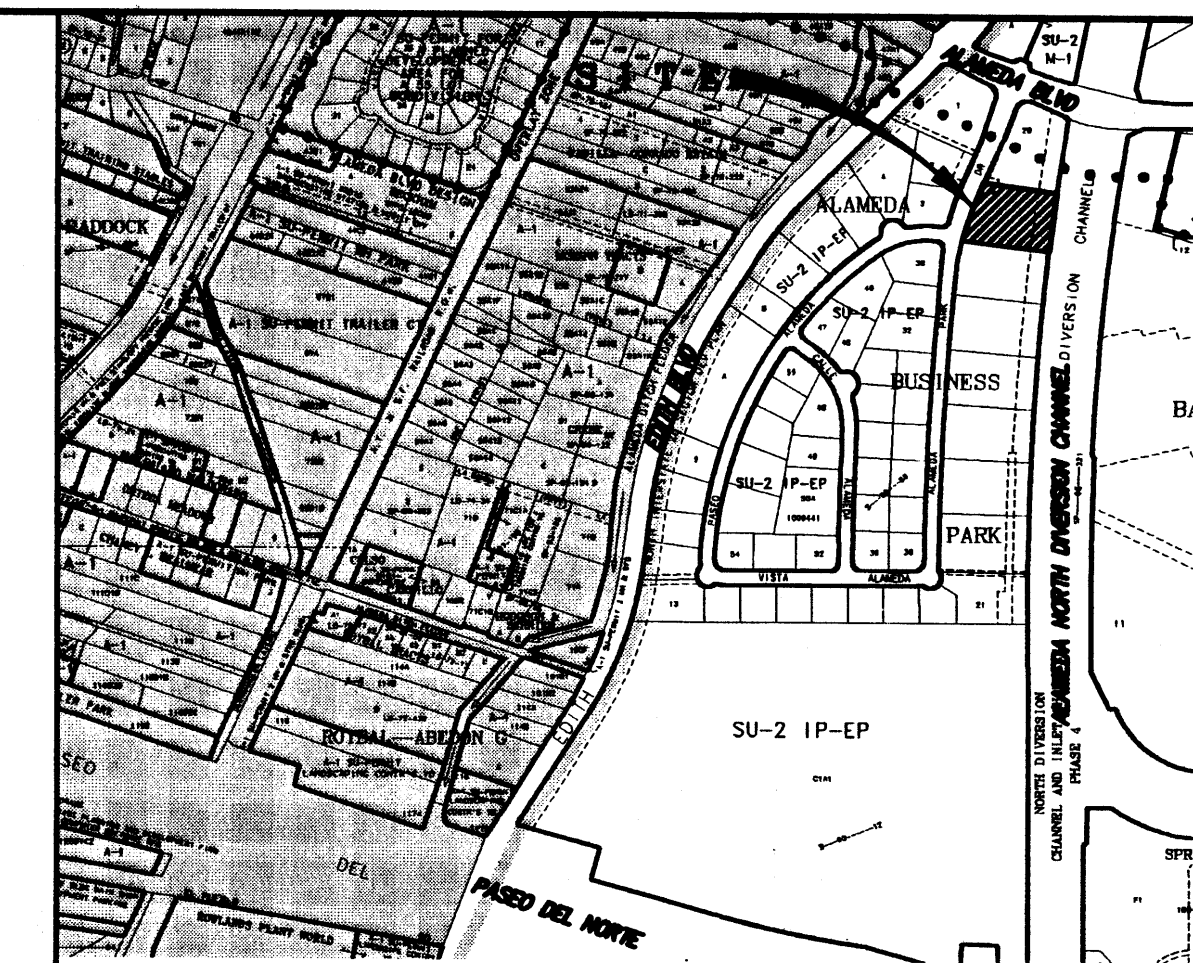
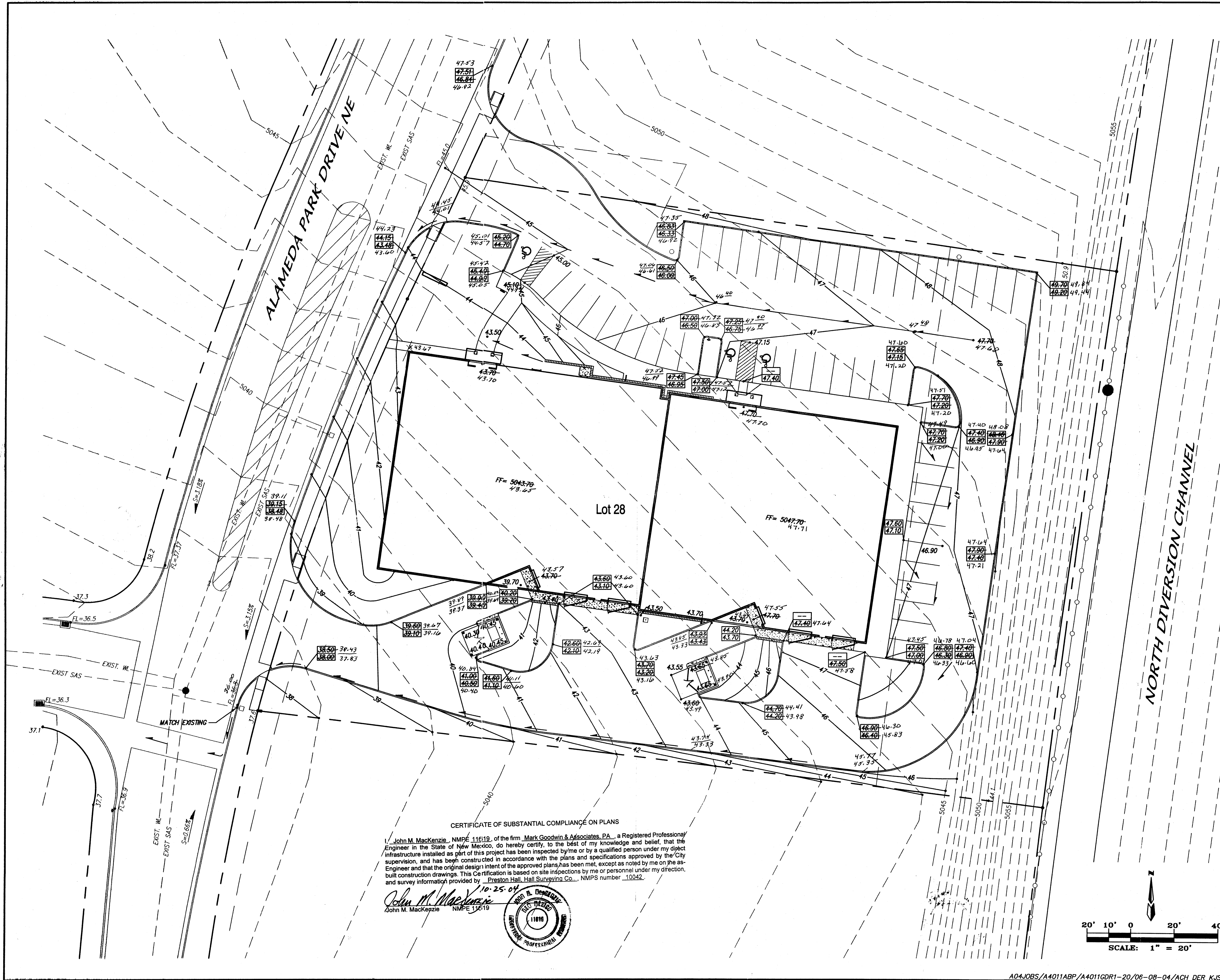
REVISIONS:

12 April 2004



Site Plan

PROJECT 0406 SHEET **SDP-2** OF 5



VICINITY MAP ZONE MAP: C-16-Z

ACS BENCHMARK

BENCHMARK FOR THIS PROJECT IS AN AMAFCA BRASS TABLE STAMPED "NOC7-182", SET ON CONCRETE POST PROJECTING 0.3 FEET ABOVE GROUND LOCATED SOUTH OF THE RICHFIELD ROAD BRIDGE OVER THE AMAFCA NORTH DIVERSION CHANNEL. X= 383,931.76, Y= 1,520,664.05 (NAD 1927). ELEVATION= 5,064.4 (SLD 1929)

LEGAL DESCRIPTION

LOT 28, ALAMEDA BUSINESS PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

John M. MacKenzie
6/8/04

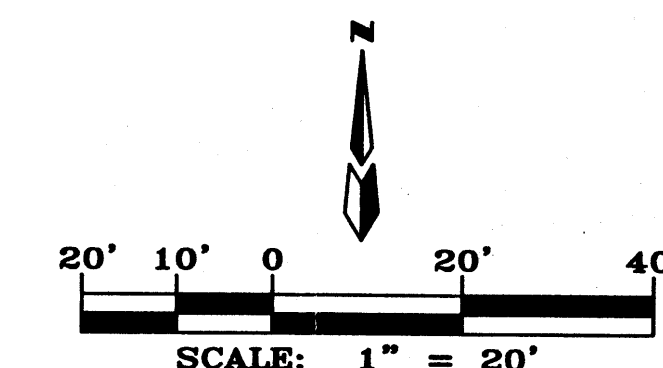
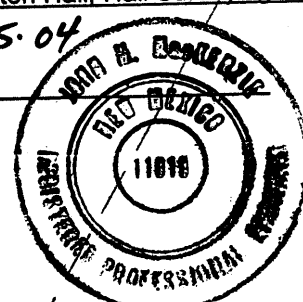
LEGEND

- 5064 EXISTING CONTOUR MINOR
- 5065 EXISTING CONTOUR MAJOR
- EXISTING CURB & GUTTER
- EXISTING INLET
- EXISTING SANITARY SEWER LINE
- EXIST. SAS EXISTING SANITARY SEWER MANHOLE
- EXIST. WL EXISTING WATERLINE
- EXISTING GATE VALVE
- EXISTING WATER SERVICE METER
- EXISTING FENCE
- FL=36.8 EXISTING FLOWLINE ELEVATION
- 37.6 EXISTING SPOT ELEVATION
- 48 PROPOSED CONTOUR LINE
- 85.00 PROPOSED RETAINING WALL/WALL
- PROPOSED SPOT ELEVATION
- PROPOSED TOP CURB ELEVATION
- PROPOSED FLOWLINE ELEVATION

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John M. MacKenzie, NMPE 116119, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Preston Hall, Hall Surveying Co., NMPS number 10042.

John M. MacKenzie
John M. MacKenzie NMPE 116119



8700 ALAMEDA PARK WAREHOUSE GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JSD Drawn: DER Checked: DMG
Scale: 1" = 20' Date: 06-08-04 Job: A04011 Sheet 1 of 1

A04JOBS/A4011ABP/A4011GDR1-20/06-08-04/ACH DER KJS