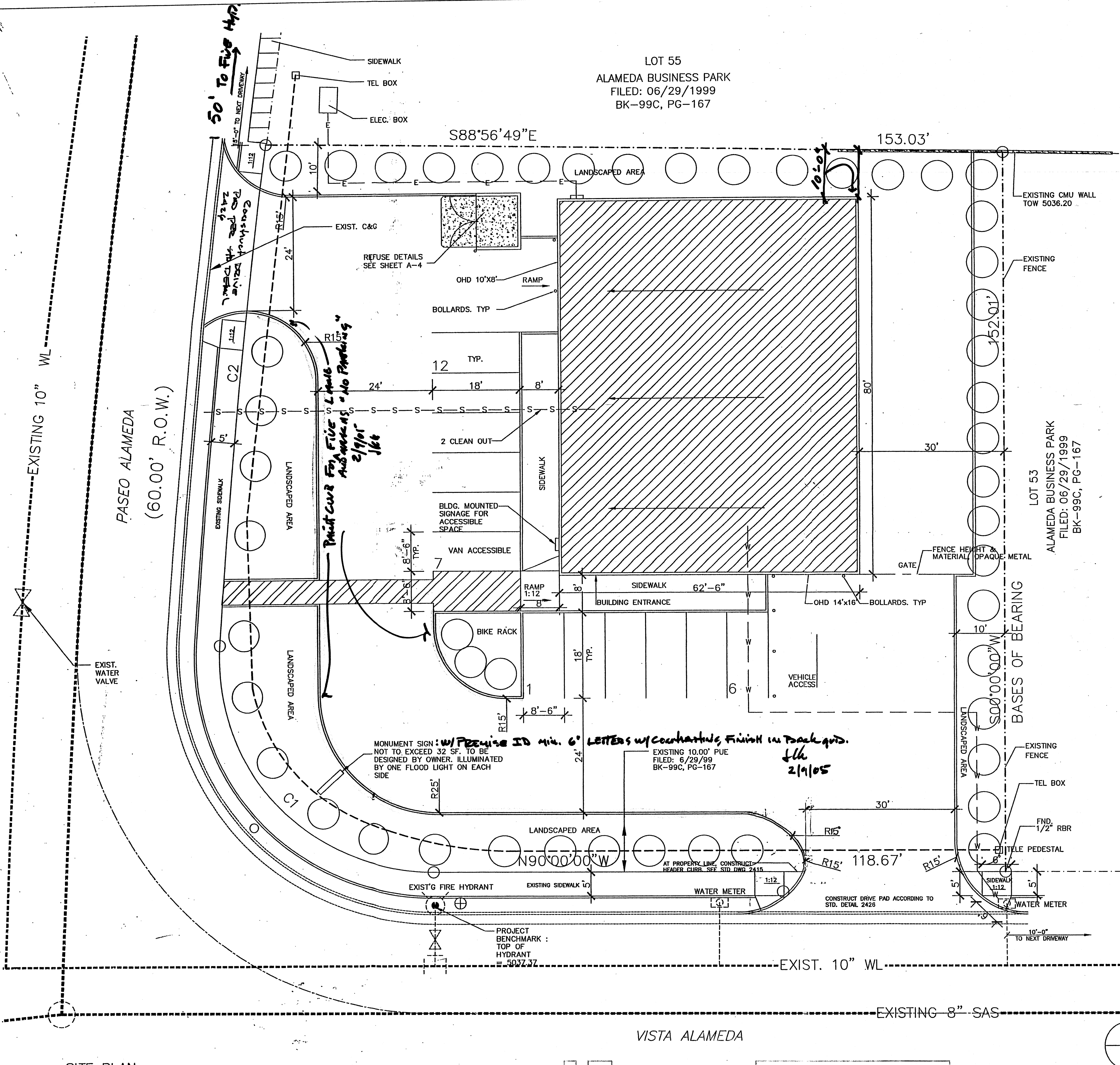




LOT 55
ALAMEDA BUSINESS PARK
FILED: 06/29/1999
BK-99C, PG-167

BUILDING DATA

STEPHEN'S SIGN STOP
8500 PASEO ALAMEDA
ALAMEDA BUSINESS PARK LOT #54
ALBUQUERQUE, NM 87109

DESIGN DATA

- I. APPLICABLE CODES AND REGULATIONS:
UNIFORM BUILDING CODE, 1997
ANSI
GUIDELINES, 1998
NFPA, 1997 / IFC, 1997
- II. BUILDING FLOOR AREA (UBC SEC. 504)
OFFICE B 2015 SF
WAREHOUSE S1 2985 SF
TOTAL BUILDING AREA 5,000 SF
- III. OCCUPANCY GROUP (UBC TABLE 5A)
OFFICE B
WAREHOUSE S1
- IV. EXTERIOR WALLS AND OPENINGS
UBC TABLE 5A
- V. BUILDING HEIGHT
BUILDING 1 - ONE STORY 24'-0"
- VI. TYPE OF CONSTRUCTION
UBC TABLE 5A OFFICE-TYPE V-N
WAREHOUSE-TYPE V-N
- VII. BASIC ALLOWABLE FLOOR AREA
UBC TABLE 5B: OFFICE-B-8,000 S.F.
WAREHOUSE-S1-8,000 S.F.

VIII. FIRE RESISTIVE REQUIREMENTS

UBC TABLE 6-A: TYPE V-N

IX. OCCUPANT LOAD

UBC TABLE 10-A

X. EXIT REQUIREMENTS

A. NUMBER OF EXITS: UBC TABLE 10-A

B. WIDTH: UBC 1003.2.3

XI. SEISMIC ZONE: 2B

XII. WIND SPEED: 75 MPH

XIII. EXPOSURE: C

XIV. SOIL BEARING CAP. 1500 PSF

XV. ROOF LOAD(TOTAL) 40 PSF

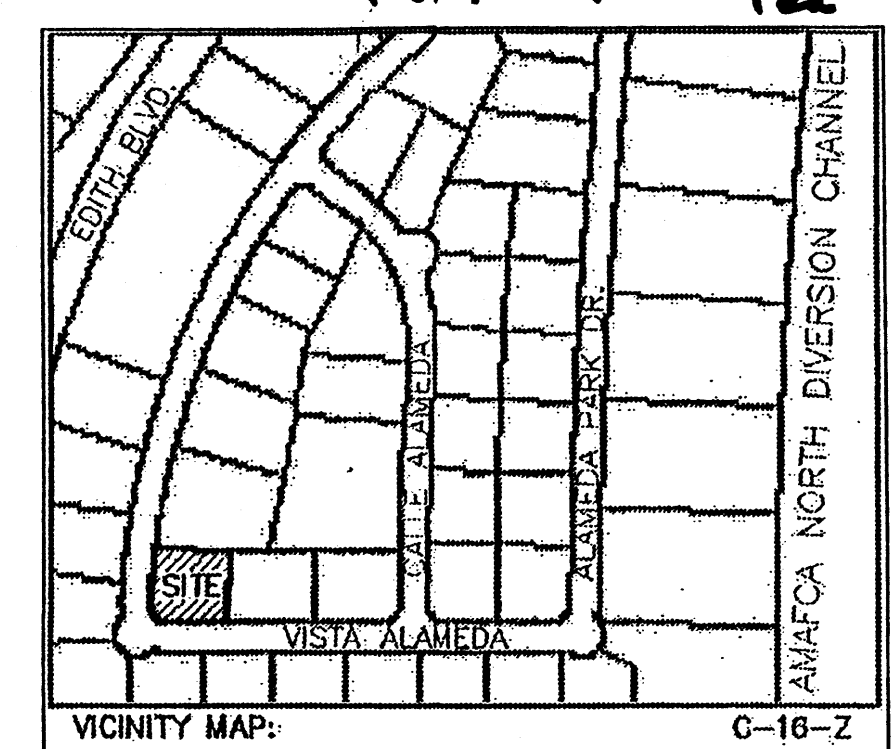
BLDG. OCCUPANCY 5,000 SQ. FT.

OFFICE 2015 SQ. FT. 2015/1000= 20

WAREHOUSE 2985 SQ. FT. 2985/500= 6

EXIT REQUIREMENTS TOILET REQUIREMENTS

TOILET REQUIREMENTS



VICINITY MAP
SCALE: NTS

SPECIFICATIONS

- CONC. SLAB: 4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WMM OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.
- APRON: 6" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WMM OR EQ. 12'X8'X6" WITH 1/2" EXPANSION JOINT
- FOOTING: AS REQUIRED PER DESIGN
- BOLLARDS: 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"

PARKING REQUIREMENTS (CALC'S)

NET OFFICE/ SERVICE AREA:	1800 SF
1800/200 = 9	
17/2 = 8	
= 3 REQUIRED PARKING SPACES	
NET WAREHOUSE:	2800 SF
2800/2000 = 3	
= 3 REQUIRED PARKING SPACES	
PARKING PROVIDED:	
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE	
SURFACE PARKING:	
HANDICAPPED	1 CAR
REGULAR AND COMPACT	11 CARS
TOTAL ON SITE PARKING PROVIDED	12 CARS
TOTAL REQUIRED PARKING:	12 CARS

PROJECT NUMBER: 1003428

Application Number: 04-00716

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	9-29-04 Date
<i>[Signature]</i> Utilities Development	5/26/04 Date
<i>[Signature]</i> Parks and Recreation Department	5/26/04 Date
<i>[Signature]</i> City Engineer	5/26/04 Date
N/A Environmental Health Department (conditional)	
<i>[Signature]</i> Solid Waste Management	9-22-04 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	9/24/04 Date

*Environmental Health, if necessary

12-18-03

ALBUQUERQUE
BLDG & SAFETY
JAN 24 2005
U.B.C.
PLAN CHECK
SECTION



bill.buckley
LAS CRUCES, NM

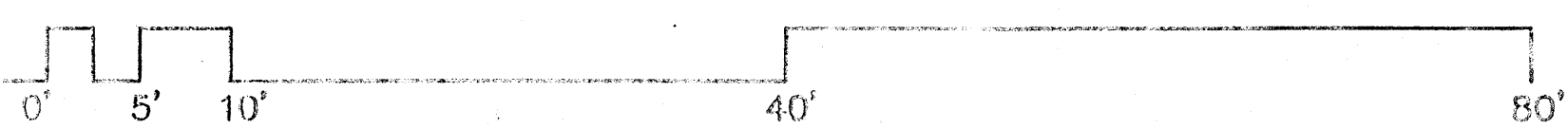
RECEIVED
MAR 01 2007
HYDROLOGY SECTION

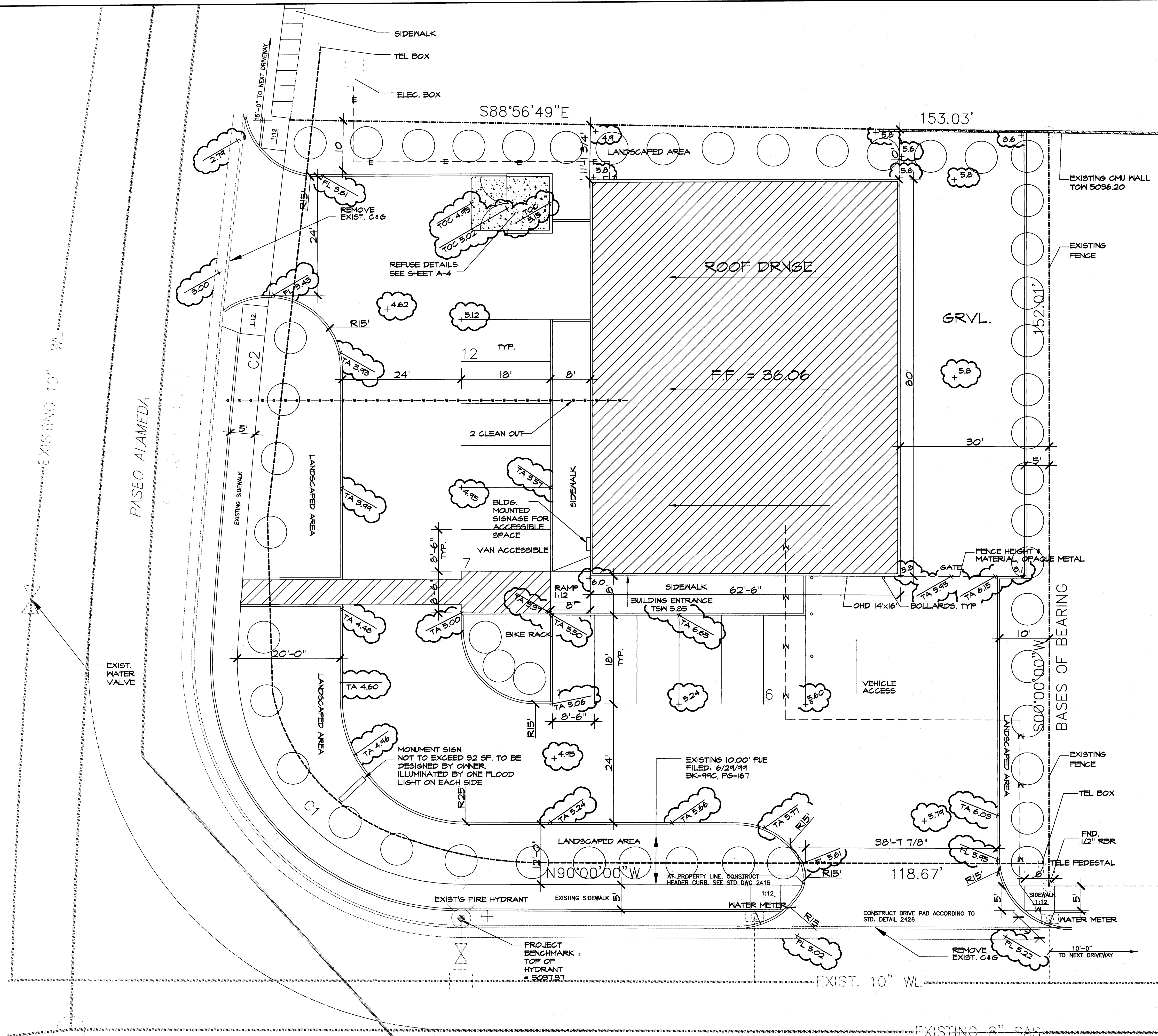
ARCHITECTS + ENGINEERS
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: STEPHEN'S SIGN STOP			
REVISION: 05-25-04	FILE NAME	JOB NO.	DATE 03-23-04
SHEET TITLE: SITE PLAN DEVELOPMENT PLAN FOR BUILDING PERMIT			DRAWN BY: AU

A-1

SITE PLAN
SCALE: 1"=10'-0"





- GENERAL NOTES**
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
 - ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
 - THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING STEPHEN'S SIGN STOP ARE CONTAINED HEREIN:

1. VICINITY MAP
2. DRAINAGE CALCULATIONS

STEPHEN'S SIGN STOP LTD

BUILDING AREA	= 5,000 SF = 0.12 ACRE
LANDSCAPE AREA	= 9,312 SF = 0.21 ACRE
PARKING/ASPHALT AREA	= 10,023.71 SF = 0.22 ACRE
GRAVELED SIDE YARD	= 2,250 SF
TOTAL SITE	= 0.555 ACRES (24, 175.71 SF)
PRECIPITATION 360	= 2.35 IN.
1440	= 9.45 IN.
100A	= 3.95 IN.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0.56 AC.	0 AC.
TREATMENT B 0 AC.	0.21 AC.
TREATMENT C 0 AC.	0 AC.
TREATMENT D 0 AC.	0.35 AC.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 IN.	0 CFS/AC.
TREATMENT B 0.78 IN.	0.16 CFS/AC.
TREATMENT C 1.13 IN.	0 CFS/AC. 0.74 CFS/AC.
TREATMENT D 2.12 IN.	

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = $(0.53 \times 0) + (1.13 \times 0.178) + (1.13 \times 0) + (2.12 \times 0.74) = 1.591$
V100 = $1.57(0.6/12) = 0.785$ ACFT.

EXISTING PEAK DISCHARGE:

Q100 = $5.05 \times 5.55 = 2.8$ CFS

PROPOSED PEAK DISCHARGE

Q100 = $5.05 \times 6 = 3.0$ CFS

BENCHMARK:

PROJECT BENCHMARK OF 37.67 LOCATED ON TOP OF FIRE HYDRANT

- EROSION CONTROL MEASURES**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN
 - A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.555 ACRES AND IS LOCATED NORTH OF VISTA ALAMEDA NE. AND EAST OF PASEO ALAMEDA NE. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

PROJECT TO DRAIN DIRECT DISCHARGE SOUTH TO EAST VISTA ALAMEDA AND NORTH WEST TO PASEO ALAMEDA. DISCHARGE GOES TO EXISTING STORM WATER CATCHMENT BASIN, LOCATED NORTH WEST OF SUBJECT PROPERTY ON WEST SIDE OF PASEO ALAMEDA.

THERE ARE NO OFFSITE FLOWS

CERTIFIED: That the project was constructed as shown hereon:

[Signature]

RIO GRANDE SURVEY

RECEIVED

JAN 26 2007

HYDROLOGY SECTION

SCALE

0 5 10 20

scale 1"=10' feet

NORTH

VICINITY MAP:

C-16-Z

VICINITY MAP (D-17)

NOT TO SCALE

REK J. VOGEL

NEW MEXICO

10466

REGISTERED PROFESSIONAL SURVEYOR

HAROLD L. BENNETT

C.J. & L. ENGINEERS

RECEIVED

JAN 26 2007

HYDROLOGY SECTION

SCALE

0 5 10 20

scale 1"=10' feet

NORTH

GRADING & DRAINAGE PLAN

SCALE: 1"=10'-0"

VISTA ALAMEDA

EXISTING 8" SAS

EXISTING SD

HLB

HAROLD L. BENNETT

P.E.

JOB TITLE:	STEPHEN'S SIGN STOP
REVISION:	12-21-04
FILE NAME:	C-1
JOB NO.:	323.04
DATE:	3.23.04
SHEET TITLE:	AS BUILT GRADING & DRAINAGE PLAN
DRAWN BY:	AU

C-1