

EXISTING FIRE HYDRANT

The map shows a section of San Francisco with a grid of streets. A large area is labeled 'SITE' with a black arrow pointing to a specific location. Other labels include 'BUSINESS PARK', 'PARK', 'SIL-2', 'IP-EP', and 'P-EP'. A scale bar at the bottom indicates distances in feet and miles.

LANDSCAPING REQUIREMENTS	
LOT AREA	= 22,500 S.F.
BUILDING AREA	= -6,692 S.F.
NET LOT AREA	= 15,808 S.F.
REQUIRED:	
15,808 x .15% = 2,371 S.F. OF LANDSCAPING	
PROVIDED:	
2,600 S.F. OF LANDSCAPING	

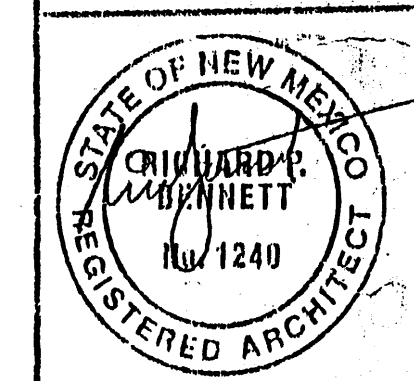
PARKING CALCULATIONS	
OFFICE (NET)	= 2,421 S.F./200 = 12 SPACES
WAREHOUSE (NET)	= 3,688 S.F./2000 = 2 SPACES
TOTAL PARKING REQUIRED = 14 SPACES	
PROVIDED	
15,808 x .15% = 2,371 S.F. OF LANDSCAPING	
PROVIDED:	
14 SPACES (1 H.C. VAN SPACE)	

PROJECT DATA:	
CONSTRUCTION TYPE: AND CLASSIFICATION	V-B, TABLE 503 B, OFFICE AND S-2, WAREHOUSE
ALLOWABLE HEIGHT AND BUILDING AREA	TABLE 503 2 STORY, 9,000 S.F.
SQUARE FOOTAGE	OFFICE = 2,765 S.F.
	WAREHOUSE = 3,927 S.F.
	COVERED AREA = 568 S.F.
	TOTAL = 7,260 S.F.
FIRE-RESISTANCE RATING REQUIREMENTS OCC. B AND S-2	NOT REQUIRED PER SECTION 302.3.1, NON-SEPARATED USES
OCCUPANT LOAD	
OFFICE:	2,765 SF/100 = 28 OCCUPANTS
WAREHOUSE:	3,927 SF/500 = 8 OCCUPANTS
ROOF LIVE LOAD	20 PSF (NON-REDUCABLE)
WIND LOAD	75 MPH
EXPOSURE	C
SEISMIC ZONE	2B

OWNER:	1 016 064 383 179 40121 WASHINGTON ST. INVESTMENTS LL 8813 SND ST NW ALBUQUERQUE, NM 87114
ARCHITECT	RICK BENNETT ARCHITECTS 1104 PARK AVENUE SW ALBUQUERQUE, NM 87102
SITE ADDRESS:	3416 VISTA ALAMEDA NW ALBUQUERQUE, NM 87106
LEGAL DESCRIPTION:	
LOT 17 PLAT OF ALAMEDA BUSINESS PARK (A REPLAT OF TRACT B-1-A-1 LANDS OF SPRINGER BUILDING MATERIALS CORPORATION) CONT .5165 AC	

OFFICE/WAREHOUSE BUILDING
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
3416 VISTA ALAMEDA NE
ALBUQUERQUE, NM
PROJECT #0425

REVISION DATE
07-21-04

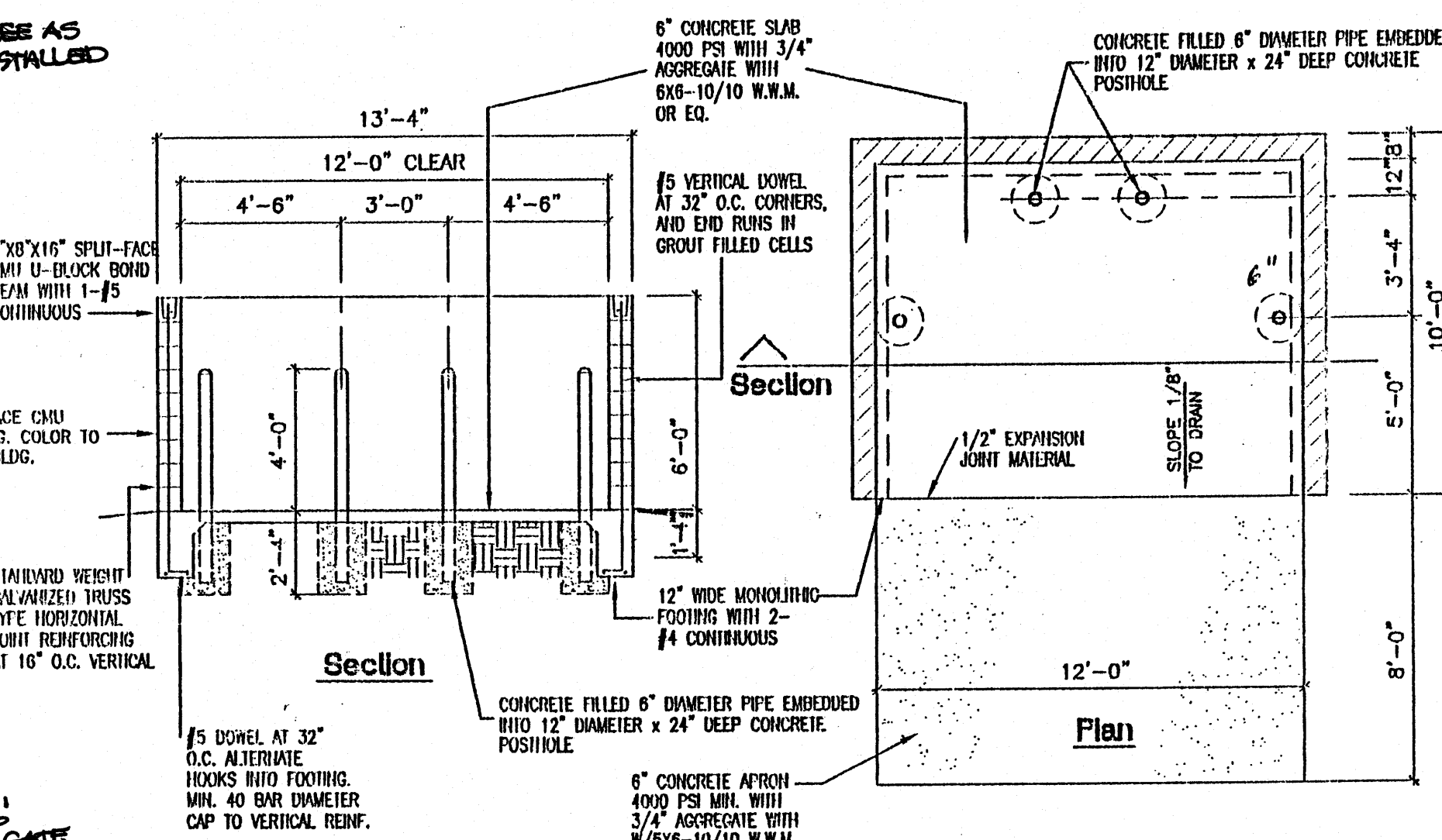
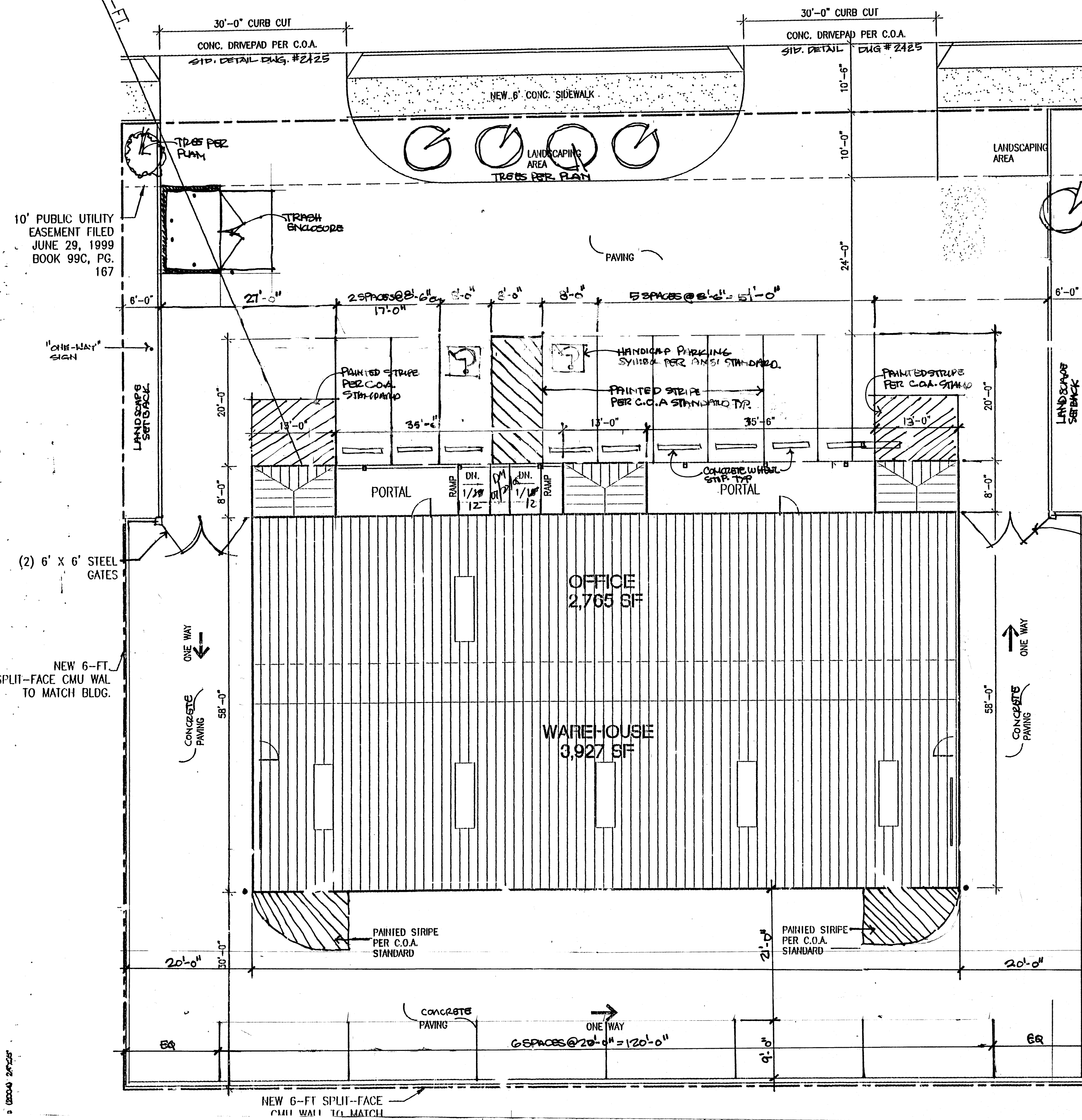


**rick
bennett
ARCHITECTS**

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 (505) 342-1859 • Fax (505) 342-6630
www.rickbennett.com

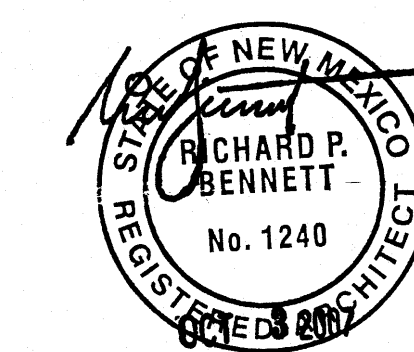
DATE 06-23-04

SHEET NUMBER



TYPICAL SLAB AT DUMPSTER

NEW 6-FT. SPLIT-FACE CMU
WALL
TO MATCH BUILDING



PROJECT NUMBER: 1003524
APPLICATION NUMBER: 04DRB-01012

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

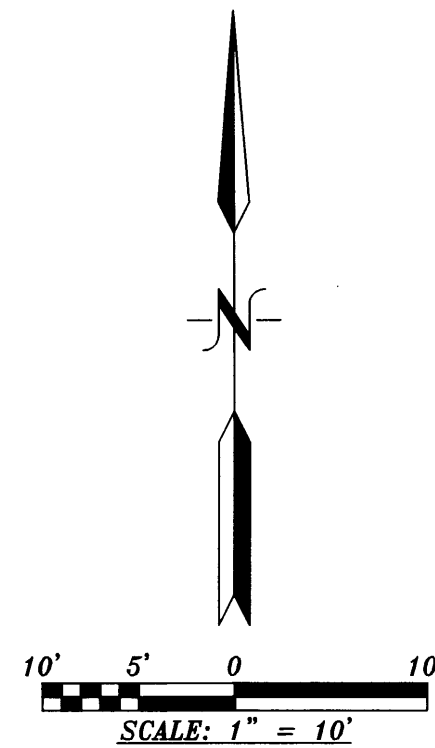
DNB Site Development Plan Approval:

8-3-04	
Date	7-28-04
Triglo, Eugene Inc. - Inspector in Division	Date
Utilities Development	Date
Christine Dandoul	7/28/04
Parks and Recreation Department	Date
Bradley D. Brigham	7/28/04
City Engineer	Date
Exempt - See DRB File	8/4/04
*Environmental Health Department - Conditional	Date
Michael Herten	7-23-04
Solid Waste Management	Date
Matthew	3/4/04
Wild Child person, Fleeting Department	Date

ALBUQUERQUE
BLDG & SAFETY
JUN 24 2009
U.S.C.
PLAN CHECK
SECTION

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
Sign 7.26.04
SIGNATURE & DATE

RECEIVED
OCT 04 2007
HYDROLOGY SECTION



KEYED NOTES

1. NEW ASPHALT PAVEMENT: CONCRETE PAVEMENT THROUGHOUT.
2. NEW 6" CURB.
3. LANDSCAPING.
4. PROPERTY LINE.
5. CONC. CURB & GUTTER.
6. BUILD NEW RETAINING WALL ON TOP OF EXISTING RETAINING WALL, IF FEASIBLE.
7. ACCESSIBLE PARKING SP. W/ 8.0' ACCESS AISLE.
8. COVERED ENTRY.
9. CONCRETE VALLEY GUTTER. (SEE DETAIL SHT. 2 OF 2)
10. TREATED TIMBER RET. WALL, AS REQUIRED.
11. NEW CONCRETE SIDEWALK.
12. NEW DRIVEPAD.

EROSION CONTROL NOTES:

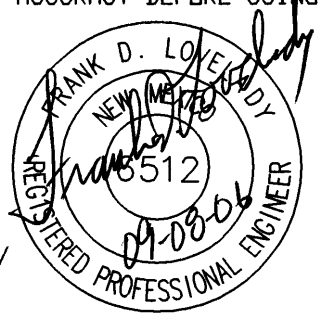
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE FOLLOWING:
1. NO SEDIMENT-BEARING WATER SHALL BE ALLOWED TO DISCHARGE FROM THE SITE DURING CONSTRUCTION.
 2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED, ALL ADJACENT PROPERTY, RIGHTS-OF-WAY, AND EASEMENTS SHALL BE PROTECTED FROM FLOODING BY RUNOFF FROM THE SITE.
 3. SHOULD THE CONTRACTOR FAIL TO PREVENT SEDIMENT-BEARING WATER FROM ENTERING PUBLIC RIGHT-OF-WAY, HE SHALL PROMPTLY REMOVE FROM THE PUBLIC RIGHT-OF-WAY ANY AND ALL SEDIMENT ORIGINATING FROM THE SITE.
 4. CONTROL OF SEDIMENT-LADEN WATERS WILL BE ACCOMPLISHED BY USE OF A COMPACTED EARTH BERM OF ADEQUATE HEIGHT. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETER OF THE PROPERTY.

DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD

I, FRANK D. LOVELADY, NMPE 6512 OF THE FIRM OF FRANK D. LOVELADY P.E. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09-14-2004. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRANT OF PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

FRANK D. LOVELADY, P.E.
NMPE 6512
09-08-06
DATE



FIREHYDRANT
45.1500

WATER VALVE
41.5134

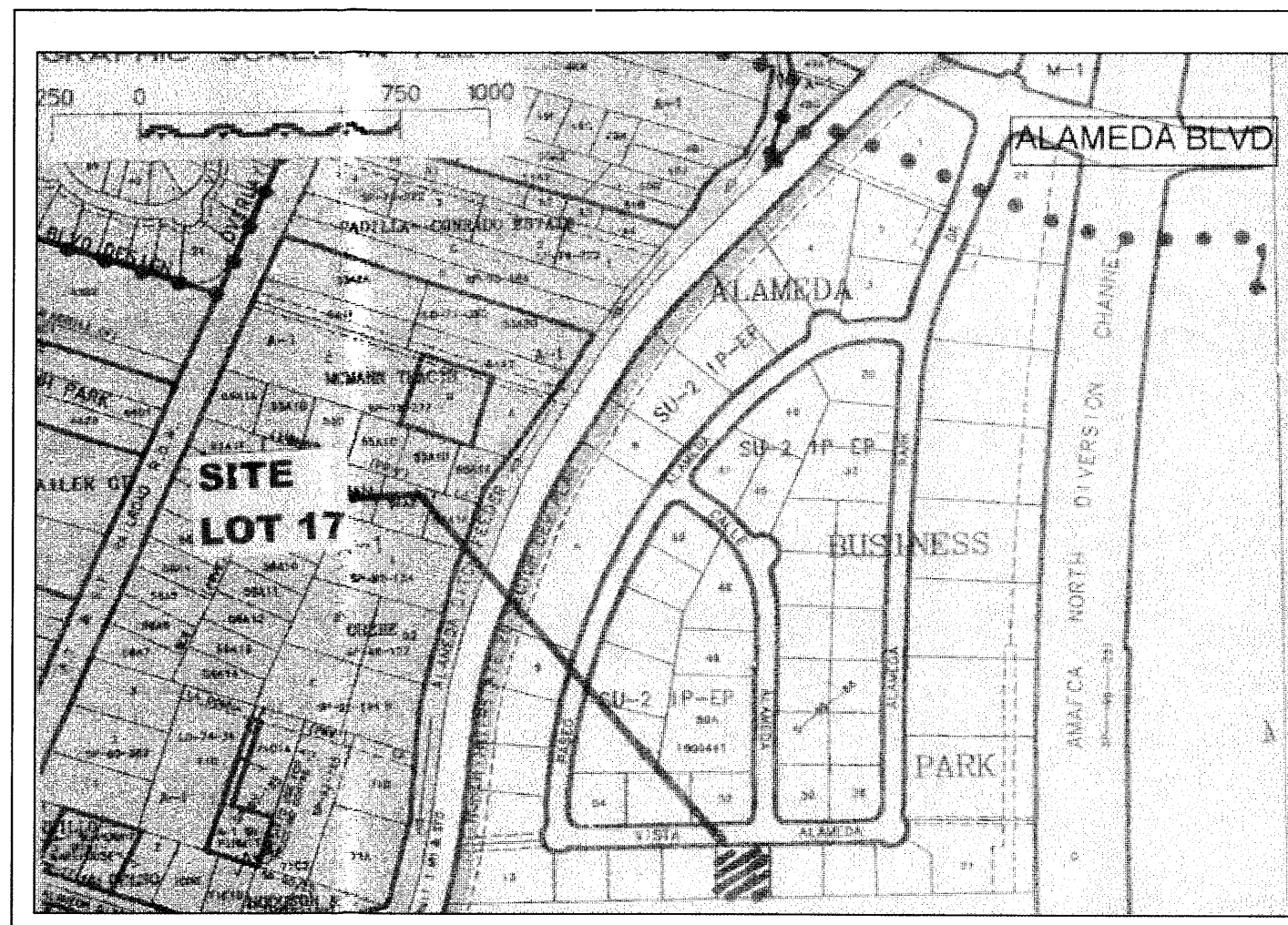
SANITARY SEWER
41.9055

TEMPORARY BENCH MARK (TBM):

N. RIM OF SAS MANHOLE
ELEVATION = 5041.9055

BENCH MARK AND GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "NDC 7-1B2", HAVING AN ELEVATION OF 5064.40.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.



VICINITY MAP

ZONE ATLAS NO. C-16

LEGEND:

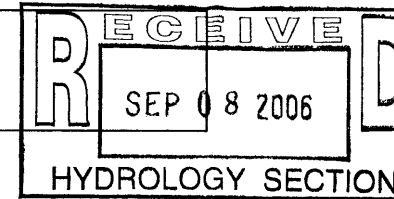
EXISTING	NEW	DESCRIPTION
40.50	40.00	CONTOUR
40.50	40.00	SPOT ELEVATION
---	---	PROPERTY LINE
---	---	SLOPE (FEET PER FT)
---	---	SWALE
---	---	SLOPE (FEET PER FOOT)
---	---	SHEET FLOW
---	---	ROOF FLOW
---	---	DOWNSPOUT
---	---	BOC = BACK OF CURB
---	---	DC = DRIVE CUT
---	---	EA = EDGE OF ASPHALT
---	---	EC = EDGE OF CONCRETE
---	---	FL = FLOW LINE
---	---	TC = TOP OF CURB/CONCRETE
---	---	TA = TOP OF ASPHALT
---	---	G = GROUND
---	---	FP = FENCE POST

FLOOD MAP:

NO FLOOD ZONES IMPACT THIS SUBDIVISION.

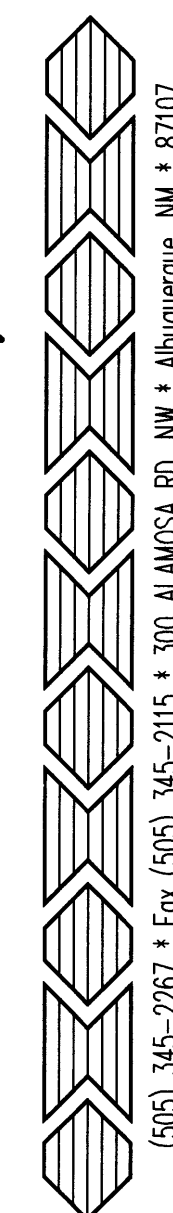
LEGAL DESCRIPTION:

LOT 17, PLAT OF ALAMEDA BUSINESS PARK.



CERTIFIED GRADING AND DRAINAGE PLAN
OFFICE/WAREHOUSE
LOT 17, ALAMEDA BUSINESS PARK
ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.



JOB NO. 671

DATE: September 8, 2006

REVISIONS

NO.	DESCRIPTION

SHEET NO.

C-3