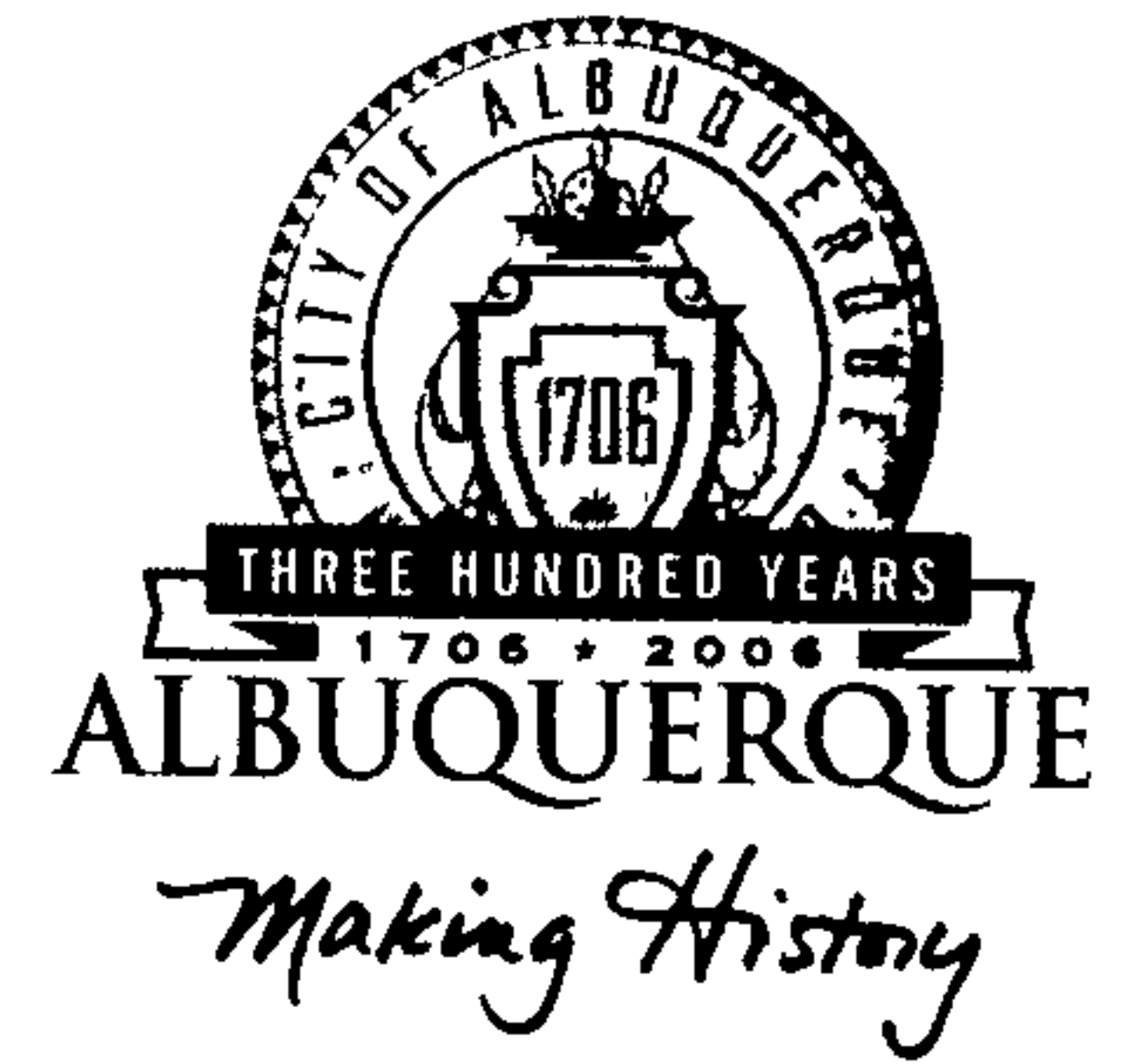


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 18, 2005

George Sanders, Registered Architect
5921 Lomas Blvd NE, Ste. B
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Baker Construction Office Warehouse, [C-16 / D6HH]
8516 Calle Alameda NE
Architect's Stamp Dated 08/15/05

Dear Mr. Sanders:

P.O. Box 1293

The TCL / Letter of Certification submitted on August 18, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

C-16/D6HH

SANDERS & ASSOCIATES ARCHITECTS, P. C.

5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE, NEW MEXICO 87110 [505] 255-5040 FAX [505] 255-5040
Architecture Landscape Architecture Interior Design

August 15, 2005

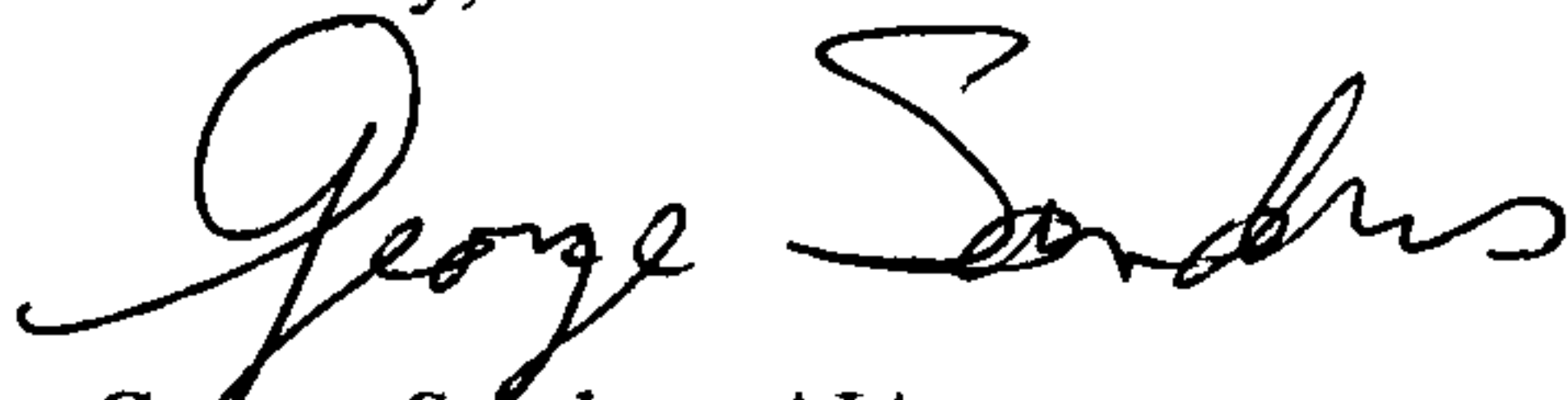
City of Albuquerque
Traffic Engineering
600 2nd Street N.W.
Albuquerque, N.M. 87102

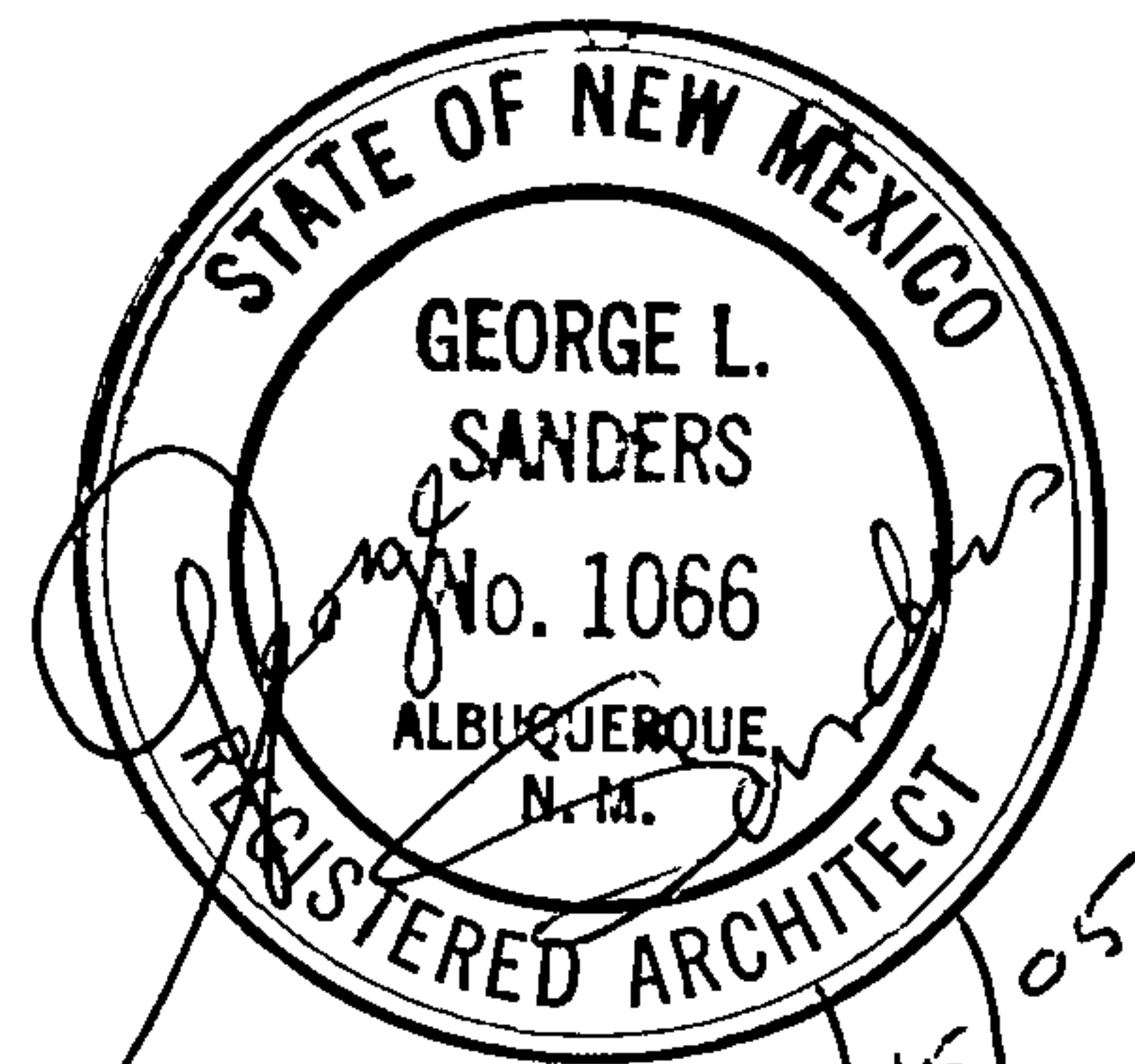
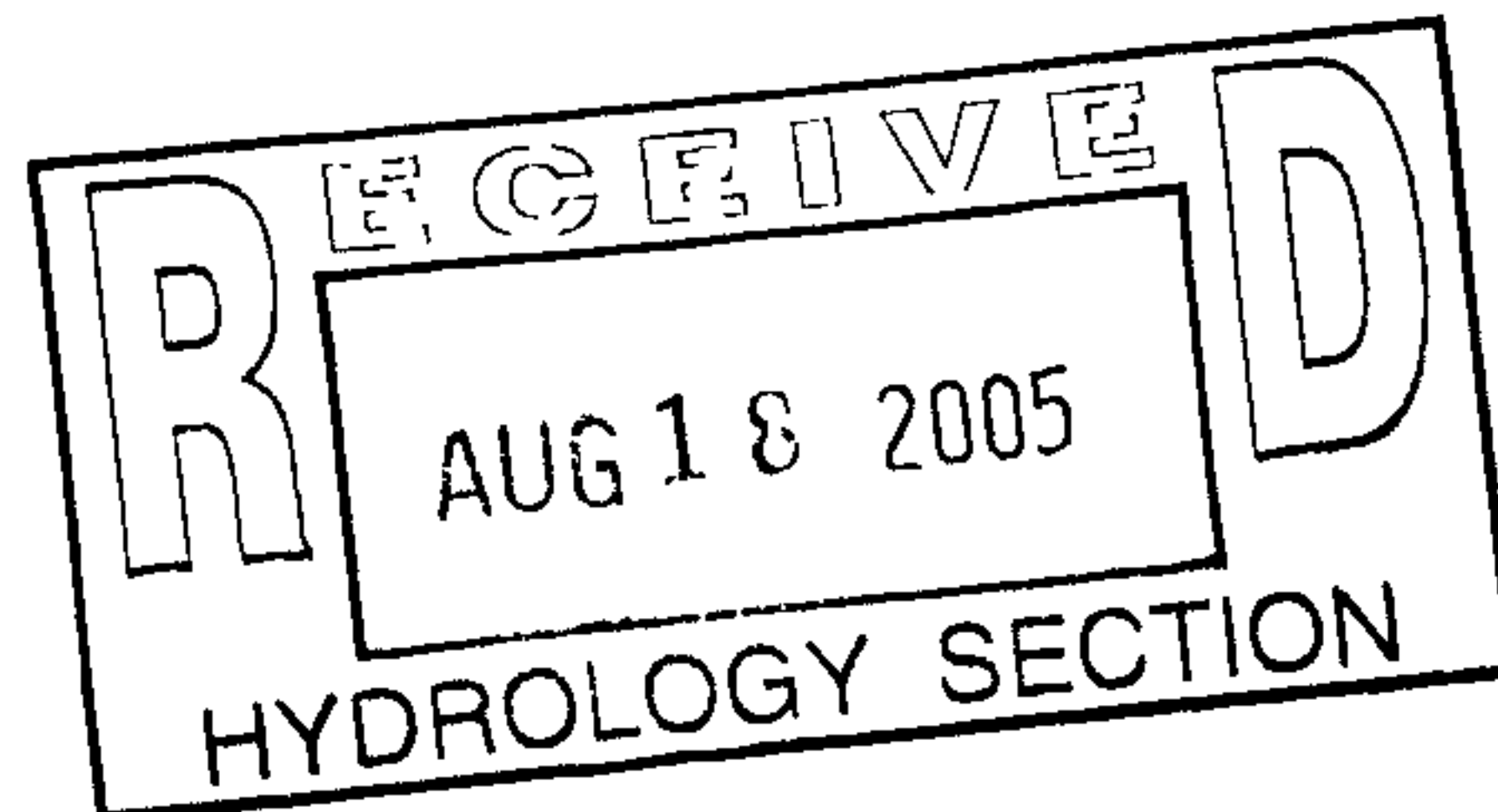
To Whom It May Concern

I George Sanders, AIA license number 1066, of the firm Sanders & Associates Architects, P.C., hereby confirm that this project has in substantial compliance with and in accordance with the design intent of the approved plan dated 2/17/05. The record information edited onto the original design document has been obtained by N/A. I further confirm that I have personally visited the project site on 8/1/05 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,


George Sanders, AIA



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: BAKER CONSTRUCTION OFFICE WAREHOUSE ZONE MAP/DRG. FILE # C16 / D6H4
 DRB#: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: LOT42, ALAMEDA BUSINESS PARK
 CITY ADDRESS: 8516 CALLE ALAMEDA NE

ENGINEERING FIRM: BRASHER & LORENZ CONTACT: D. LORENZ
 ADDRESS: 2201 SAN PEDRO NE BLDG 1 SUITE 1200 PHONE: 888-6088
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: BAKER CONSTRUCTION CONTACT: M. BAKER
 ADDRESS: PO BOX 92227 PHONE: 898-0100
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87199

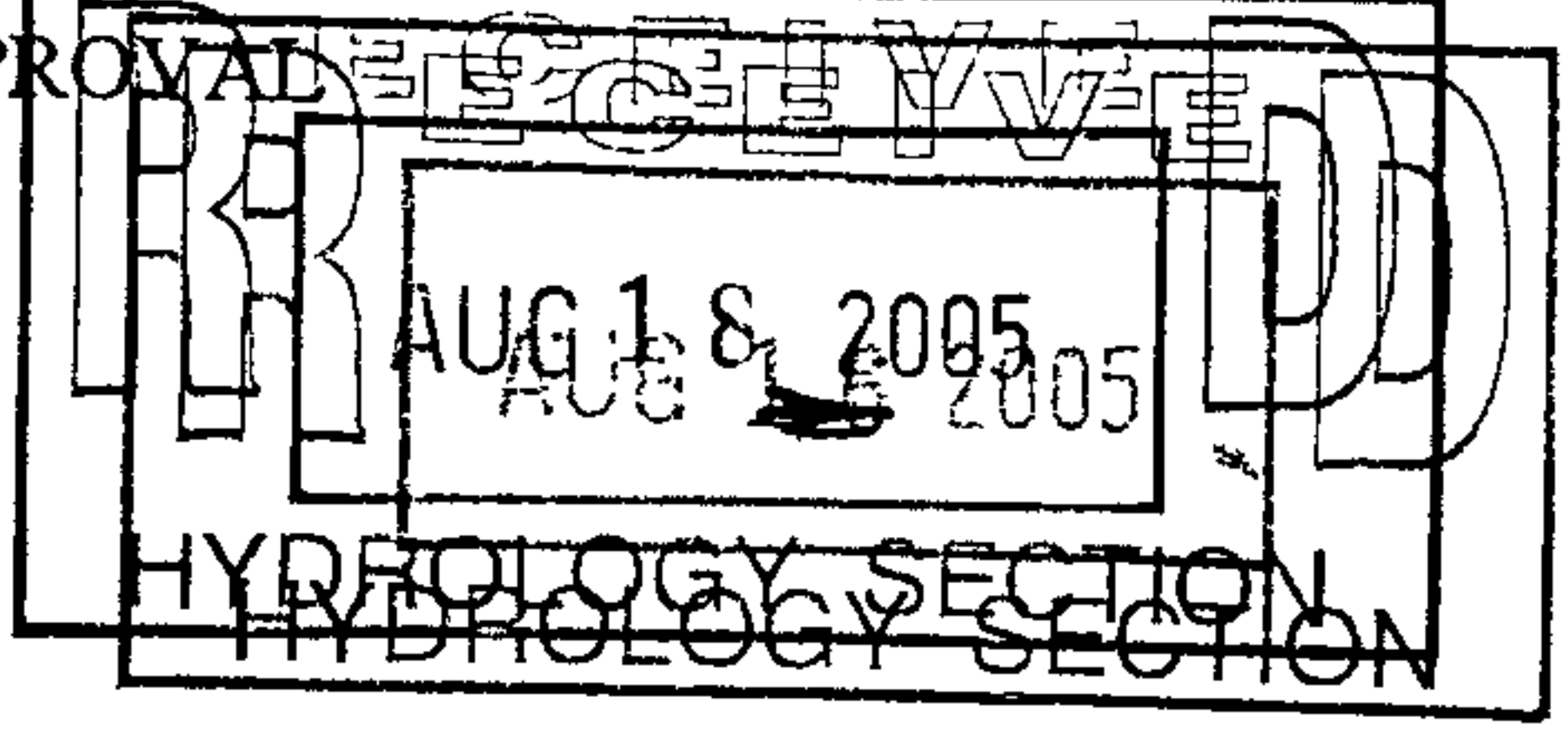
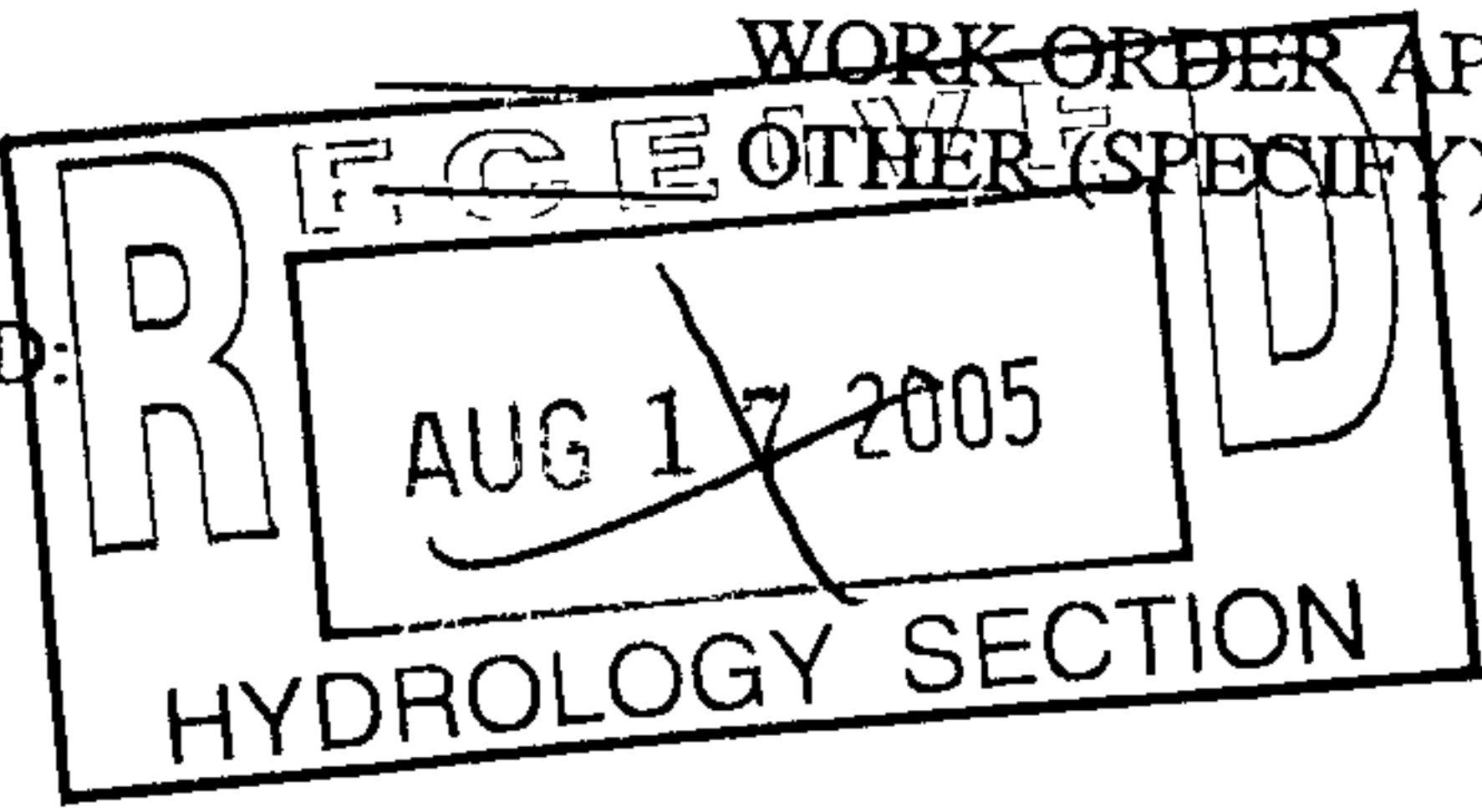
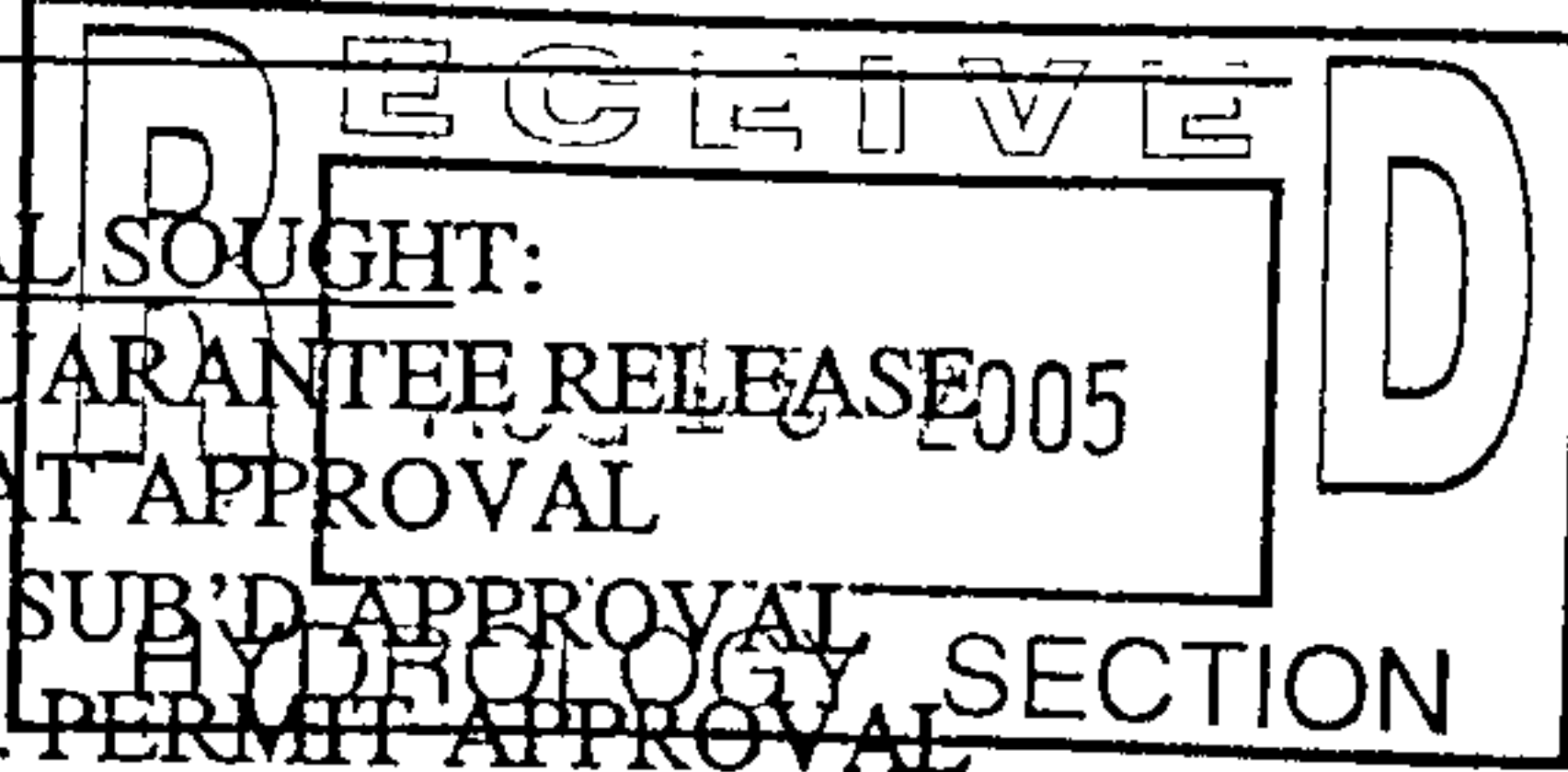
ARCHITECT: SANDERS & ASSOCIATES ARCHITECTS CONTACT: G. SANDERS
 ADDRESS: 600 CENTRAL SW SUITE 111 PHONE: 842-8413
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87102

SURVEYOR: NA CONTACT: NA
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: SAME AS OWNER CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)



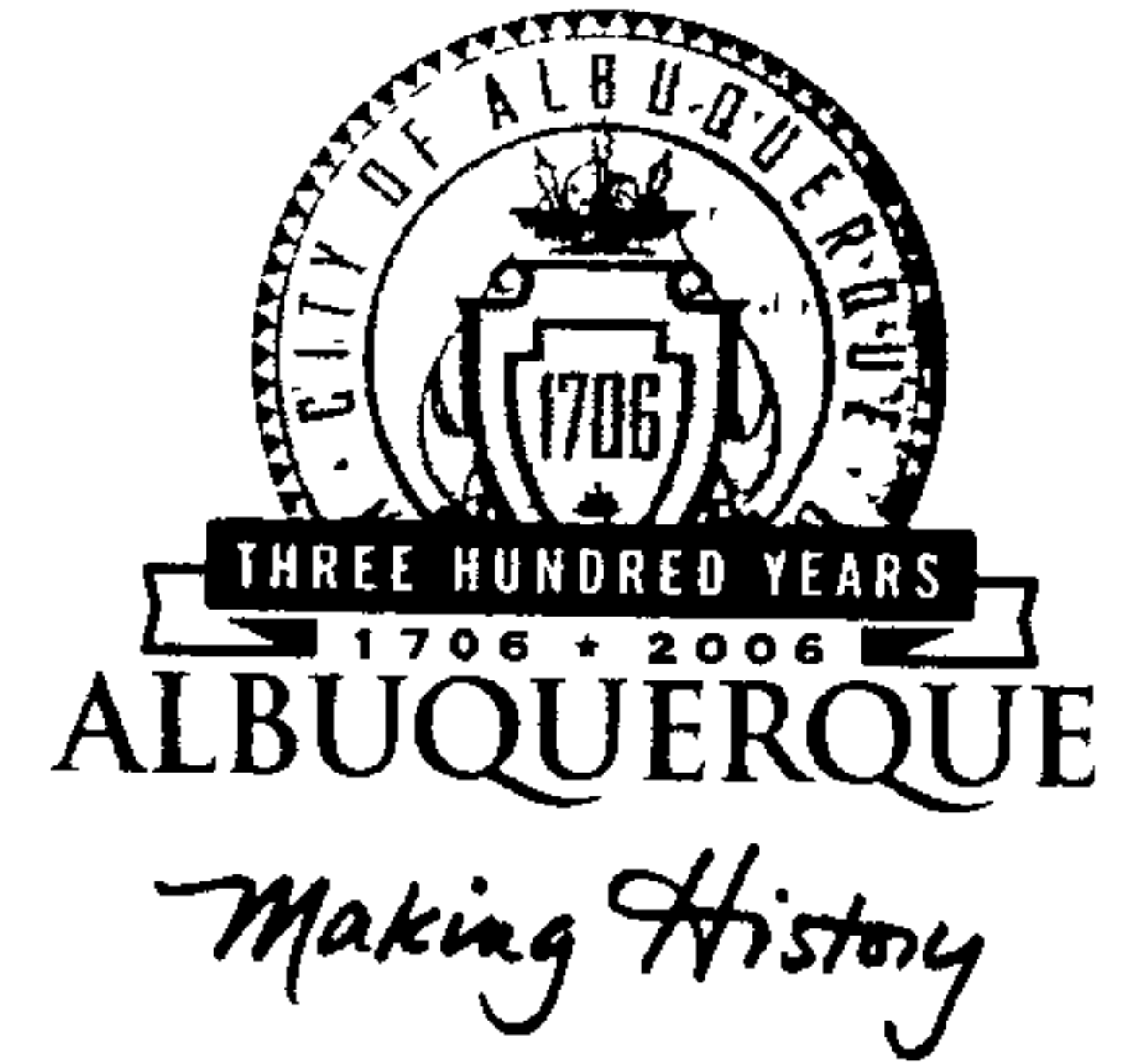
WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

SUBMITTED BY: STEVE MORROW DATE: 8-12-05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 16, 2005

Mr. Steve Morrow, P.E.
BRASHER & LORENZ, LLC
2201 San Pedro Dr. NE
Albuquerque, NM 87110

Re: ALAMEDA BUSINESS PARK, LOT 42 – BAKER CONSTRUCTION
8516 Calle Alameda NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 01/27/2005 (C-16/D6HH)
Certification dated 08/16/2005

Dear Steve:

P.O. Box 1293

Based upon the information provided in your submittal received 08/16/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

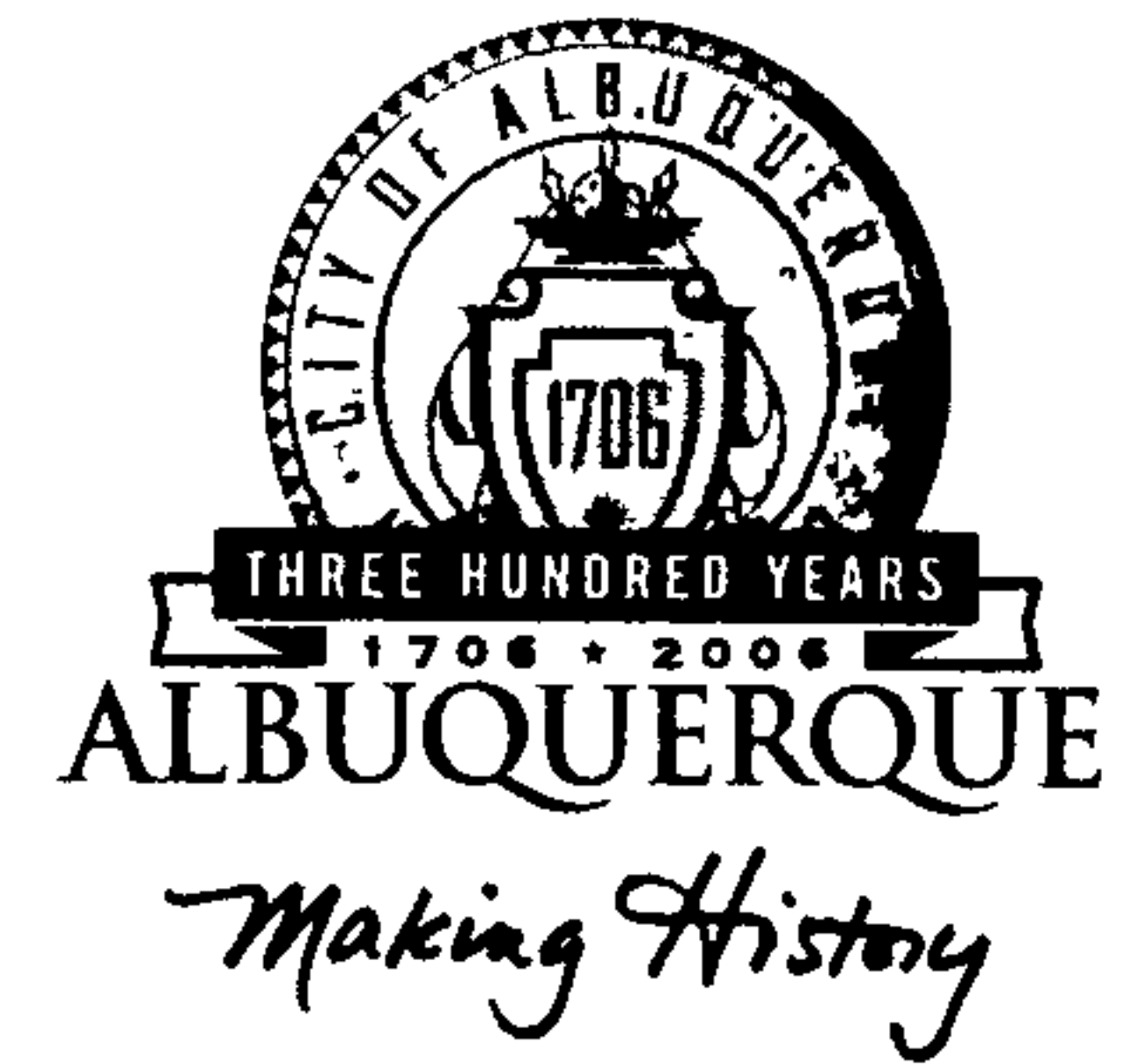
Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: Phyllis Villanueva
File

CITY OF ALBUQUERQUE



March 18, 2005

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Baker Construction Office/Warehouse, 8516 Calle Alameda NE, Grading
and Drainage Plan - Engineer's Stamp dated 1-27-05 (C16 - D6HH)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 1-24-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

BLB

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: BAKER CONSTRUCTION MN OFFICE WAREHOUSE
DRB #: NA EPC#: NA

ZONE MAP/DRG. FILE #: C16/D6HH
WORK ORDER#: NA

LEGAL DESCRIPTION: LOT 42, ALAMEDA BUSINESS PARK
CITY ADDRESS: 8516 CALLE ALAMEDA NE

ENGINEERING FIRM: BRASHER & LORENZ
ADDRESS: 2201 SAN PEDRO NE BLDG 1 SUITE 1200
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: BAKER CONSTRUCTION
ADDRESS: PO BOX 92227
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: M. BAKER
PHONE: 898-0100
ZIP CODE: 87199

ARCHITECT: SANDERS & ASSOCIATES ARCHITECTS
ADDRESS: 600 CENTRAL SW SUITE 111
CITY, STATE: ALBUQUERQUE, NM

CONTACT: G. SANDERS
PHONE: 842-8413
ZIP CODE: 87102

SURVEYOR: NA
ADDRESS:
CITY, STATE:

CONTACT: NA
PHONE:
ZIP CODE:

CONTRACTOR: NA
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

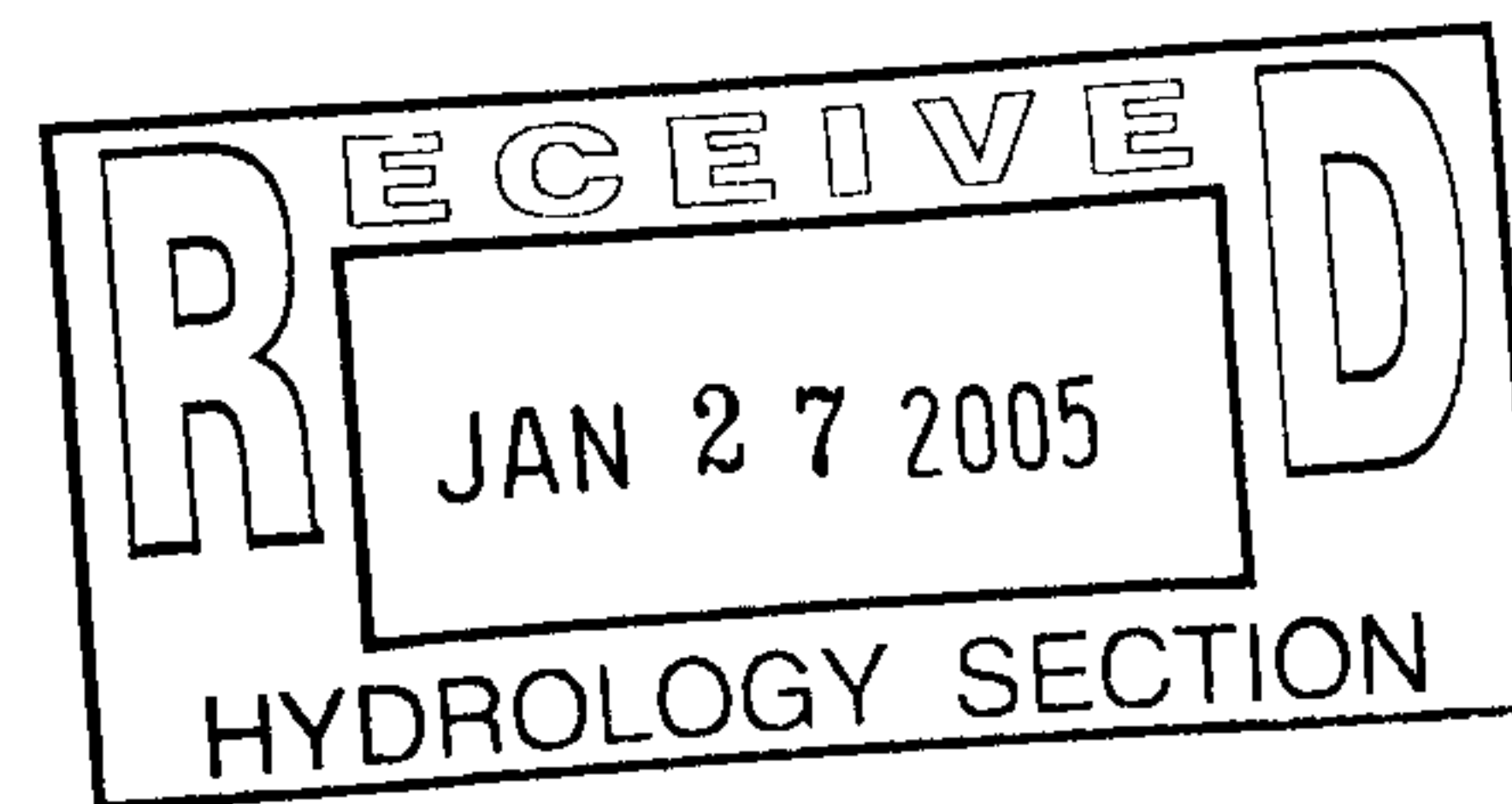
- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: January 24, 2005

BY: DENNIS LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
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