

# HYDROLOGY CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679, of the firm Brasher & Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 1-27-05. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow, NMPE 13679

8-16-05  
Date



8-16-05

CURVE	LENGTH	RADIUS	TANGENT	CHORD	DELTA
C1	149.99	12180.00	75.00	149.99	0°42'20"
C2	55.15	410.00	27.82	55.11	7°42'24"
C3	98.52	12330.00	49.26	98.52	0°27'28"

HYDROLOGY - AHYMO								
Precipitation Zone 2					P300 = 2.35 in			
Basin	Basin	Land Treatment (acre)				Ew	V100	Q100
	area (Ac)	A	B	C	D	(in)	(cfs)	(cfs)
Existing Conditions								
SITE	0.53	0.00	0.00	0.53	0.00	1.13	0.0499	1.87
OS - 1	0.20	0.00	0.00	0.05	0.15	1.87	0.0312	0.90
Developed Conditions								
SITE	0.52	0.00	0.03	0.04	0.45	1.95	0.0845	2.3
A	0.35	0.00	0.02	0.02	0.31	1.95	0.0569	1.6
B	0.17	0.00	0.01	0.02	0.14	1.95	0.0276	0.7
OS - 1	0.20	0.00	0.00	0.05	0.15	1.87	0.0312	0.90

## KEYED NOTES

- EXISTING STD CURB & GUTTER
- SAWCUT EXIST STD C & G. CONSTRUCT 24" DRIVEPAD PER COA STD DWG 2425
- CONSTRUCT 4" SIDEWALK
- CONSTRUCT HANDICAP RAMP. SEE SITE PLAN
- NO CURB AT ACCESSIBLE AREA. PROVIDE CONCRETE TIRE STOP AS SHOWN
- CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN
- CONSTRUCT 6" EXTRUDED CONCRETE CURB
- CONSTRUCT TURNDOWN SIDEWALK. SEE SITE PLAN
- INSTALL 6" HIGH CMU WALL. SEE SITE PLAN
- CONSTRUCT ASPHALT DRIVEPAD. SEE SITE PLAN
- PAINTED STRIPING PER COA CRITERIA
- DIRECTION OF ROOF DRAINAGE
- LANDSCAPING
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING CURB TO REMAIN
- REMOVE & DISPOSE OF EXISTING CONC CURB AS SHOWN
- MATCH EXISTING GRADE ALONG EDGE OF PAVEMENT
- EXISTING CMU WALL
- EXISTING CONC DRIVEPAD TO REMAIN
- EXISTING ASPHALT CHANNEL
- INSTALL GATE - SEE SITE PLAN
- CONSTRUCT STEPS AT FRONT ENTRY - SEE SITE PLAN

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB	—	—
STD CURB & GUTTER	—	—
DROP INLET	—	—
OVERHEAD ELEC	—	—
UNDERGROUND ELEC, GAS, TEL, TV	—	—
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.30 FL 98.80	TC 99.30 FL 98.80
SPOT ELEV.	X 18.7	18.7
SEWER SERVICE	—	—
POWER POLE (GUYED)	—	—
CENTERLINE	—	—
RETAINING WALL	—	—
TOP OF ASPHALT ELEV.	TA 18.2	TA 18.2
STREET LIGHT	—	☆
DIRECTION OF FLOW	—	→
DRAINAGE SWALE	—	—
DRAINAGE BASIN DIVIDE	—	—

## GRADING AND DRAINAGE PLAN

### PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Baker Office/Warehouse located at 8516 Calle Alameda NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

### EXISTING CONDITIONS

The project site is approximately 0.53 acres in size and is located at 8516 Calle Alameda NE, just north of Vista Alameda. The project site is particularly described as Lot 42, Alameda Business Park. The site is bounded by industrial properties on the east, north and south, and Calle Alameda on the west. Site topography slopes from east to west at approximately 2 percent, draining to Calle Alameda. The site is also bounded on the east by a Masterplan drainage channel that conveys runoff from an off-site basin consisting of Lots 33 thru 36 (2.05-acres) which discharges across lot 43 to Calle Alameda. As a result of a shared access agreement, Lots 41 and 42 share the existing south driveway. Off-site flows from lot 41 drain along the paved access road and exit thru the south driveway. From the site all on-site and off-site runoff drains to improvements provided by Alameda Business Park. Masterplan drainage improvements constructed for the development convey all runoff to an existing retention pond located to the north on Tract A. The retention pond drains by a sump pump to the AMAFCA North Diversion Channel.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

### PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of the Baker Office/Warehouse with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions. The drainage criteria for the site was established by the Drainage Masterplan for Alameda Business Park, prepared by Bohannon Huston, dated February 19, 1999.

All drainage flows will be managed on-site and discharge to the Masterplan drainage improvements that convey all runoff to an existing retention pond located to the north. Basin A drains to Calle Alameda thru the north driveway. Basin B and off-site Basin OS - 1 drain to Calle Alameda through the south driveway.

### EROSION CONTROL

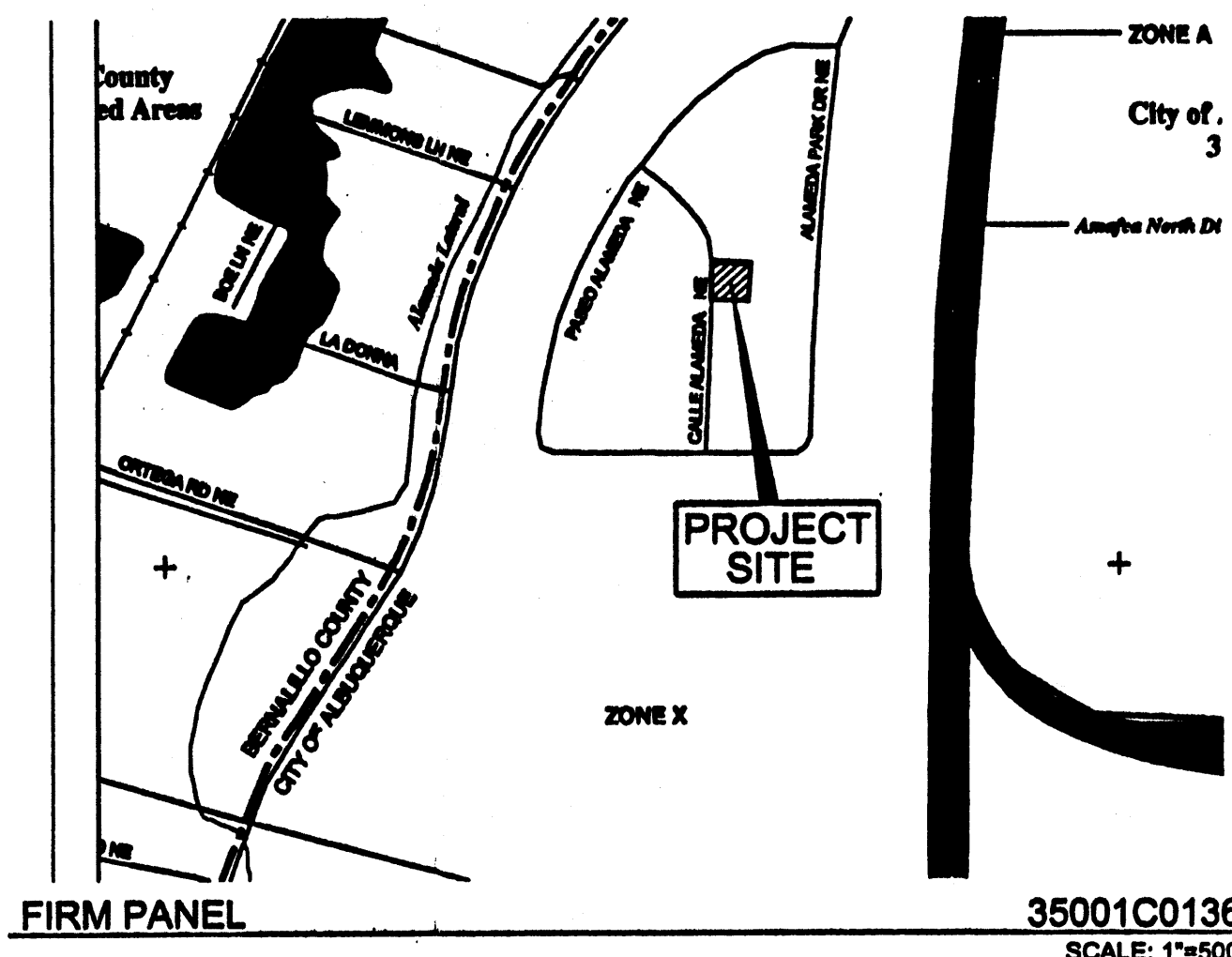
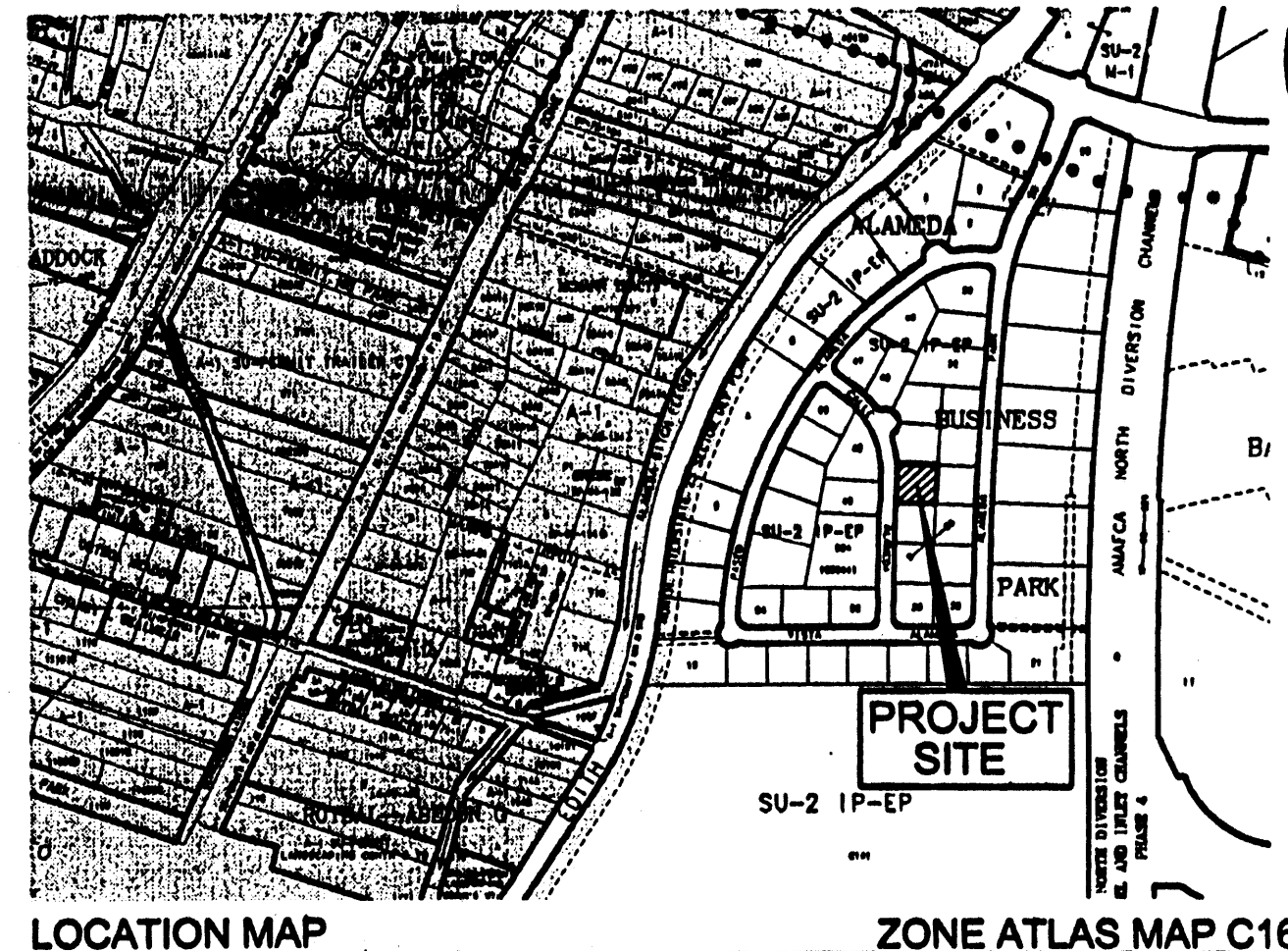
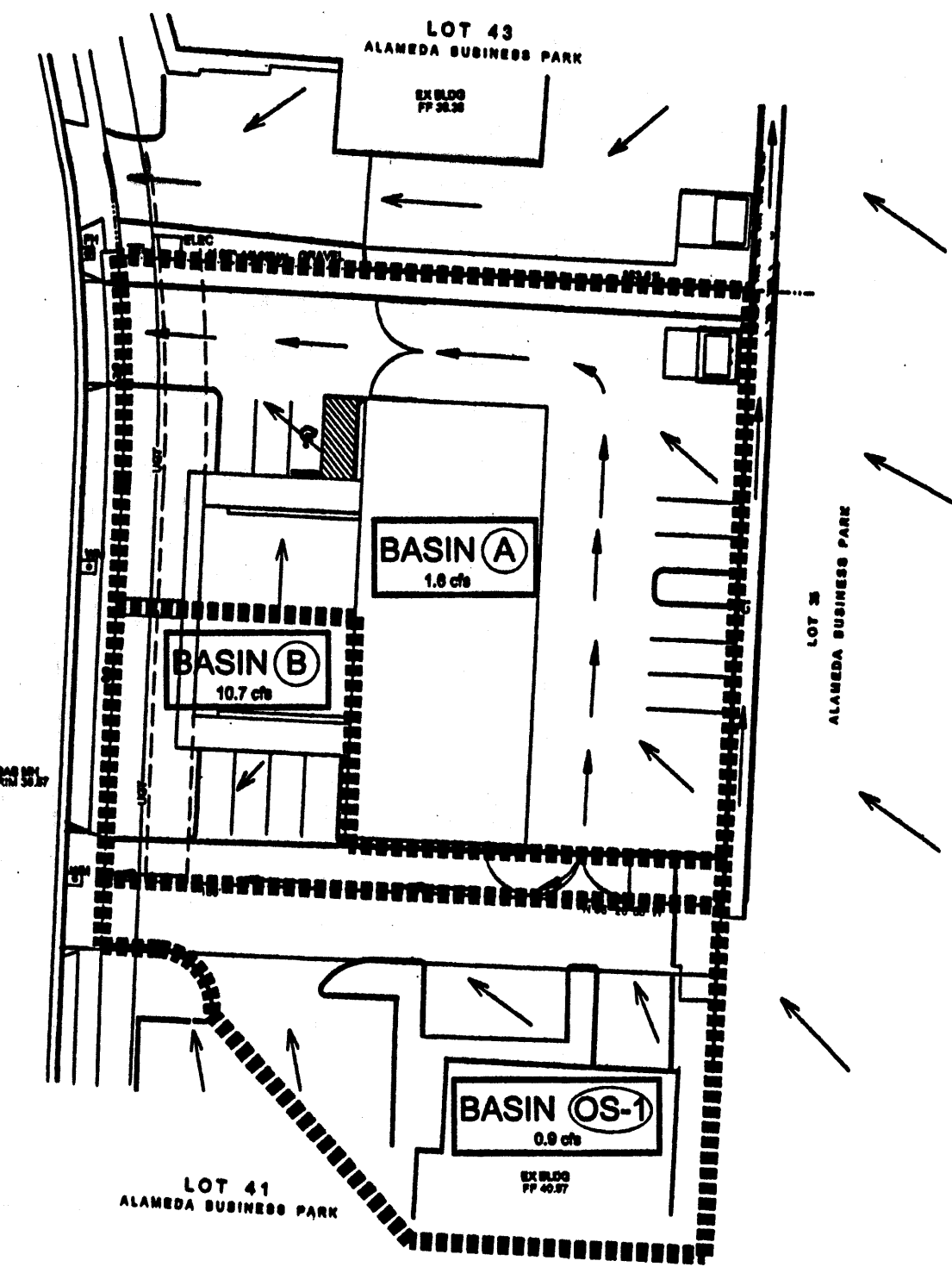
Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets. It is the contractors responsibility to properly maintain these facilities during the construction phase of the project. Since the site proposes to disturb less than 1.0 acre, a Storm Water Pollution Prevention Plan is not required.

### CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling within the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

## DRAINAGE BASIN DIVIDE PLAN

SCALE: 1" = 40'-0"



## DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown herein does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement or finish grade unless noted otherwise.

## PROPERTY ADDRESS

8516 Calle Alameda NE

## LEGAL DESCRIPTION

Lot 42, Alameda Business Park

## MAPPING

Topographic and Field Measurements by  
Brasher & Lorenz  
Dated January, 2005

## PROJECT BENCHMARK

AMAFCA BRASS TABLET "NDC-7-182"  
station is located along NDC west frontage  
road at STA 150+55, approx 0.4 mile south  
of Alameda Blvd. ELEV = 5064.40 feet MSLD

ALBUQUERQUE  
BUILDING & SAFETY  
MAR 1 8 2005  
IBC  
PLAN CHECK SECTION

BAKER CONSTRUCTION OFFICE/WAREHOUSE

LOT 42 CALLE ALAMEDA

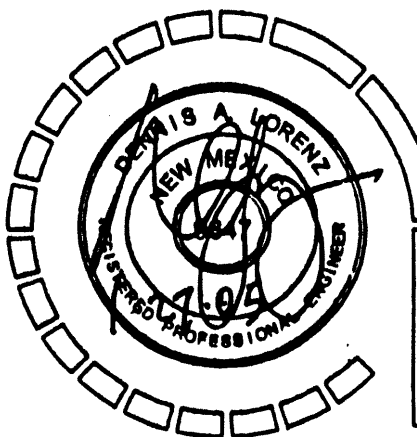
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C.

5921 LOMAS BLVD. NE SUITE B, ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

BRASHER & LORENZ  
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-588-0088 Fax: 505-588-6108



HYDROLOGY SECTION

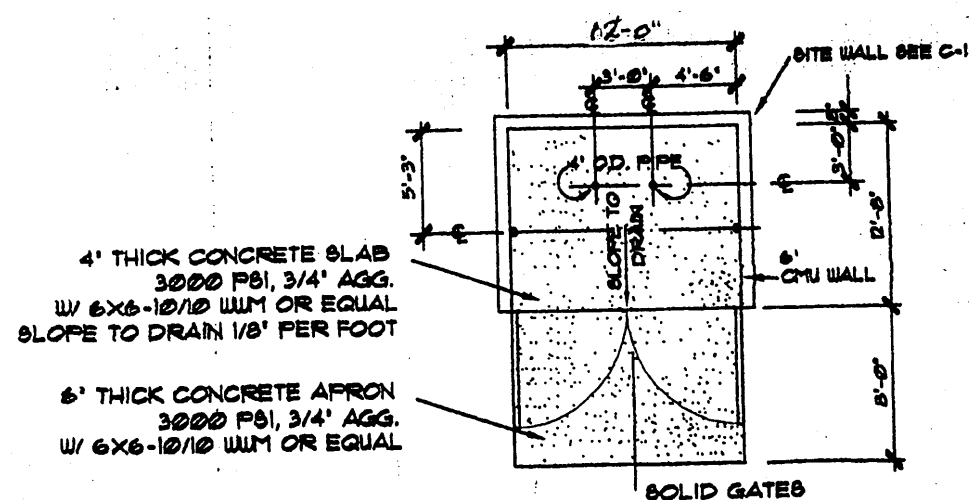
# GRADING & DRAINAGE PLAN

SCALE: 1" = 20'-0"



Project no. 0218  
sheet  
C-3





## ② DUMPSTER ENCLOSURE

NOT TO SCALE

EXTEND SIDEWALK  
TO NORTH BOUNDARY  
OF PROPERTY

CONSTRUCT DRIVEPAD  
PER COA DWG. 2425

CONSTRUCT SIDEWALK  
PER COA DWG. 2430

2' GUTTER

EXISTING WATER  
METER

EXISTING SEWER STUBOUT

CALLE ALAMEDA  
60' RIGHT OF WAY

EXISTING  
DRIVE  
CUT

## ① SITE PLAN

SCALE: 1" = 10'-0"

EXTERIOR LIGHT FIXTURES

NOTE: ALL EXTERIOR LIGHTING SHALL BE FULL CUT-OFF AND / OR  
ANGLED TO PREVENT LIGHT FROM GLARING ON ADJACENT  
PROPERTIES AND ROADWAYS.

TYPE 1: WALL PACK UP 10'-0"

TYPE 2: RECESSED OFFSET DOWNLIGHT

The roof for the office has a parapet which shields views of both the roof  
and all mechanical equipment. The warehouse portion has a pre-finished  
ribbed metal roof which shall not have a highly reflective surface  
per requirements of the Alameda Business Park Master Plan.

LOT 43

## LEGEND

ASPHALT PAVING

CONCRETE WALK

## LEGAL DESCRIPTION

LOT NUMBERED FORTY-TWO OF ALAMEDA BUSINESS PARK,  
(A REPLAT OF TRACT B-1-A-1, LANDS  
OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE,  
NEW MEXICO, AS THE SAME IS SHOWN  
AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF  
THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO  
ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

WAREHOUSE 44' X 107' = 4708 SF. 1 PARKING SPACE PER 2000 SF. = 3 SPACES  
OFFICE = 1800 SF. 1 PARKING SPACE PER 2000 SF. = 1 SPACE

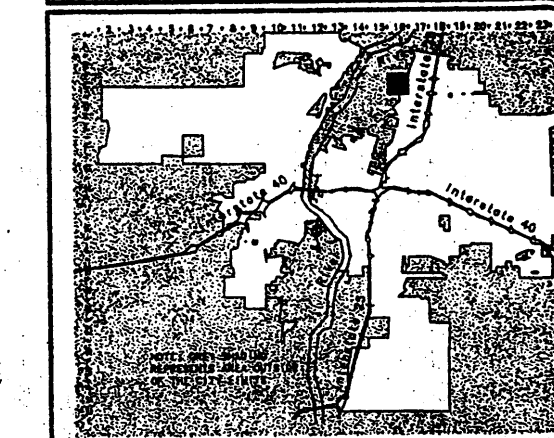
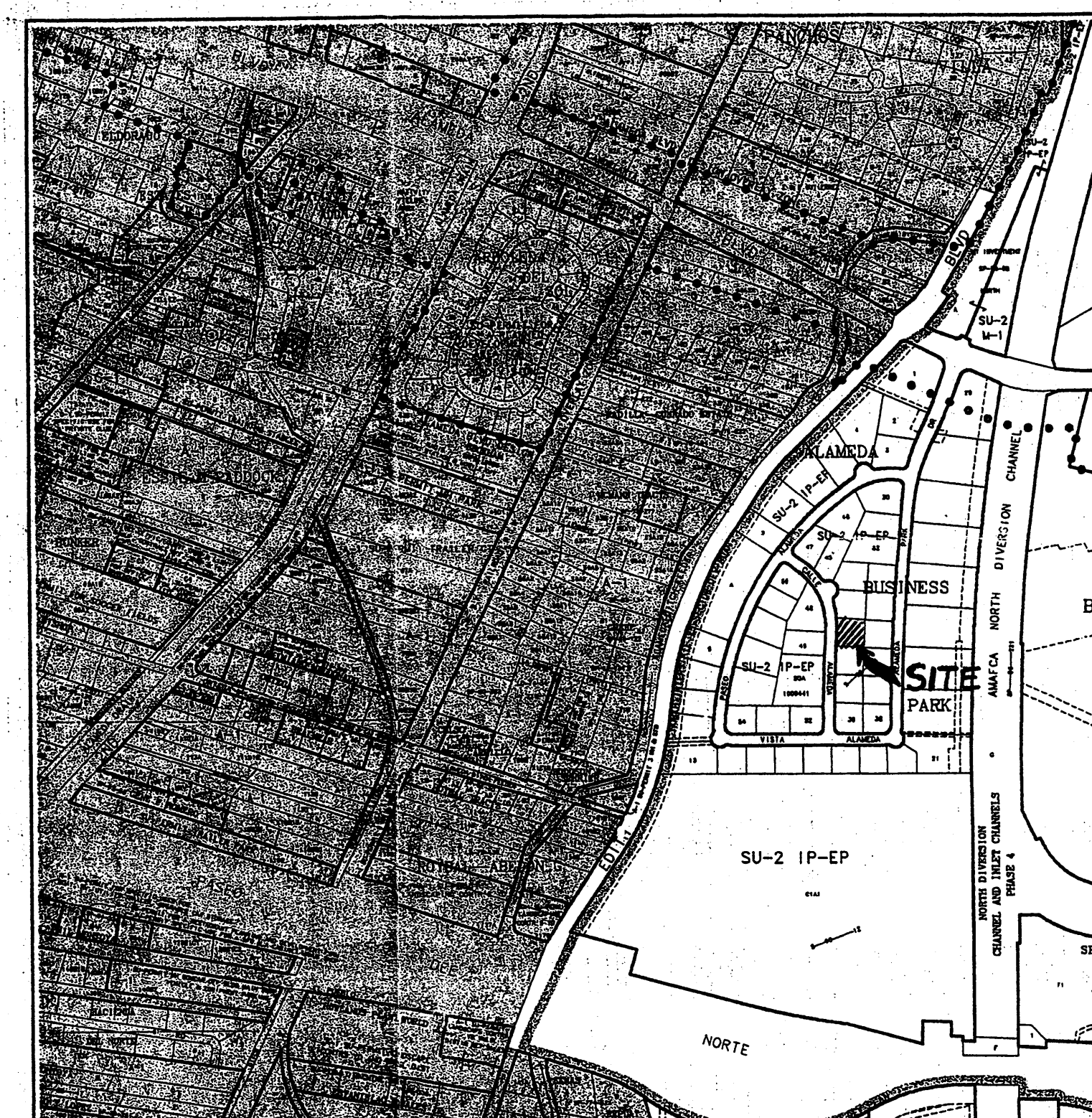
TOTAL REQUIRED 12 SPACES

TOTAL PROVIDED REG. CAR HANDICAP 11 SPACES 1 SPACE  
TOTAL 12 SPACES

THE TOTAL LANDSCAPED AREA REQUIRED SHALL EQUAL NOT LESS THAN 15%  
OF THE NET LOT AREA. NET = TOTAL AREA OF LOT MINUS THE AREA OF  
THE LOT COVERED BY BUILDINGS

LOT SIZE = 22,101 SF.  
-6520 SF. BUILDING FOOTPRINT  
16,581 SF.  
X15%  
2487 SF. LANDSCAPING REQUIRED

APD PLANS CHECKING OFFICE  
APPROVED 2-7-05  
SIGNATURE & DATE



GRAPHIC SCALE IN FEET  
250 0 750 1000  
Zone Atlas Page  
C-16-Z  
May Amend. Planning Department 12/16/03

PROJECT NUMBER 1003929 Application Number: 05-00205

This plan is consistent with the specific Site Development Plan approved by the  
Environmental Planning Commission (EPC), dated  
Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved  
DRC plans with a work order is required for any construction within Public Right-of-Way  
or for construction of public improvements.

DRS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

N/A	Date	2-7-05
Environmental Health	Date	2-16-05
Traffic Engineering	Date	2-16-05
Public Works	Date	2-16-05
City Engineer	Date	2-16-05
DRS Chairperson, Planning Department	Date	2-16-05

signature block 12/16/03

SITE PLAN FOR BUILDING PERMIT

BAKER CONSTRUCTION OFFICE/WAREHOUSE  
LOT 42 CALLE ALAMEDA  
ALBUQUERQUE, NEW MEXICO

project no. 0429  
C-1  
1 of 4  
date 2-2-05

SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040