

# GENERAL NOTES:

1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND BOUNDARY PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.
6. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON NDC-7 HAVING AN ELEVATION OF 5062.60 FEET ABOVE SEA LEVEL.

## DRAINAGE CERTIFICATION

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/24/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LEONARD MARTINEZ, NMPS 9801, OF THE FIRM ADVANCED ENGINEERING & CONSULTING, LLC AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE 13479

06/19/2007  
DATE



## EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

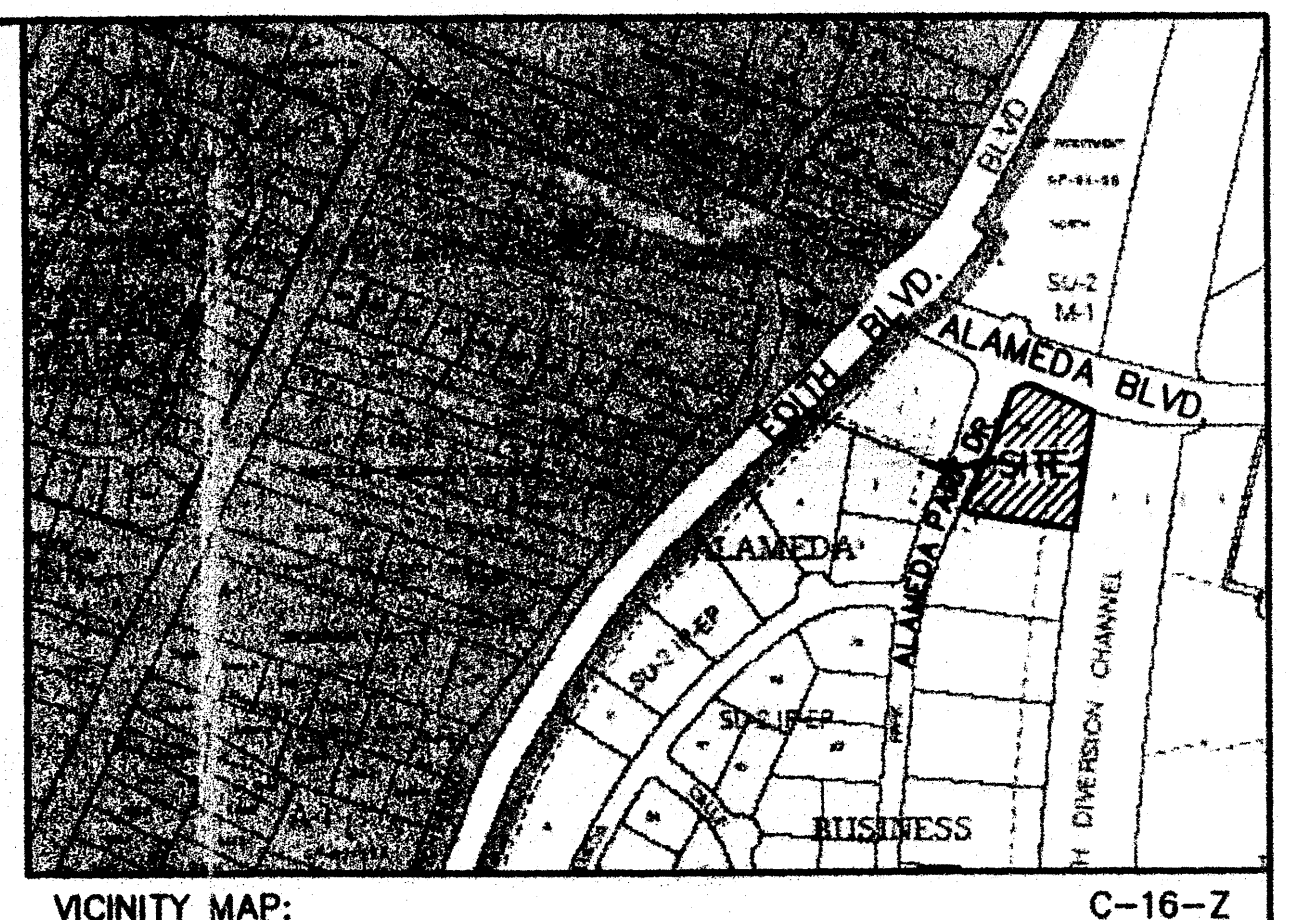
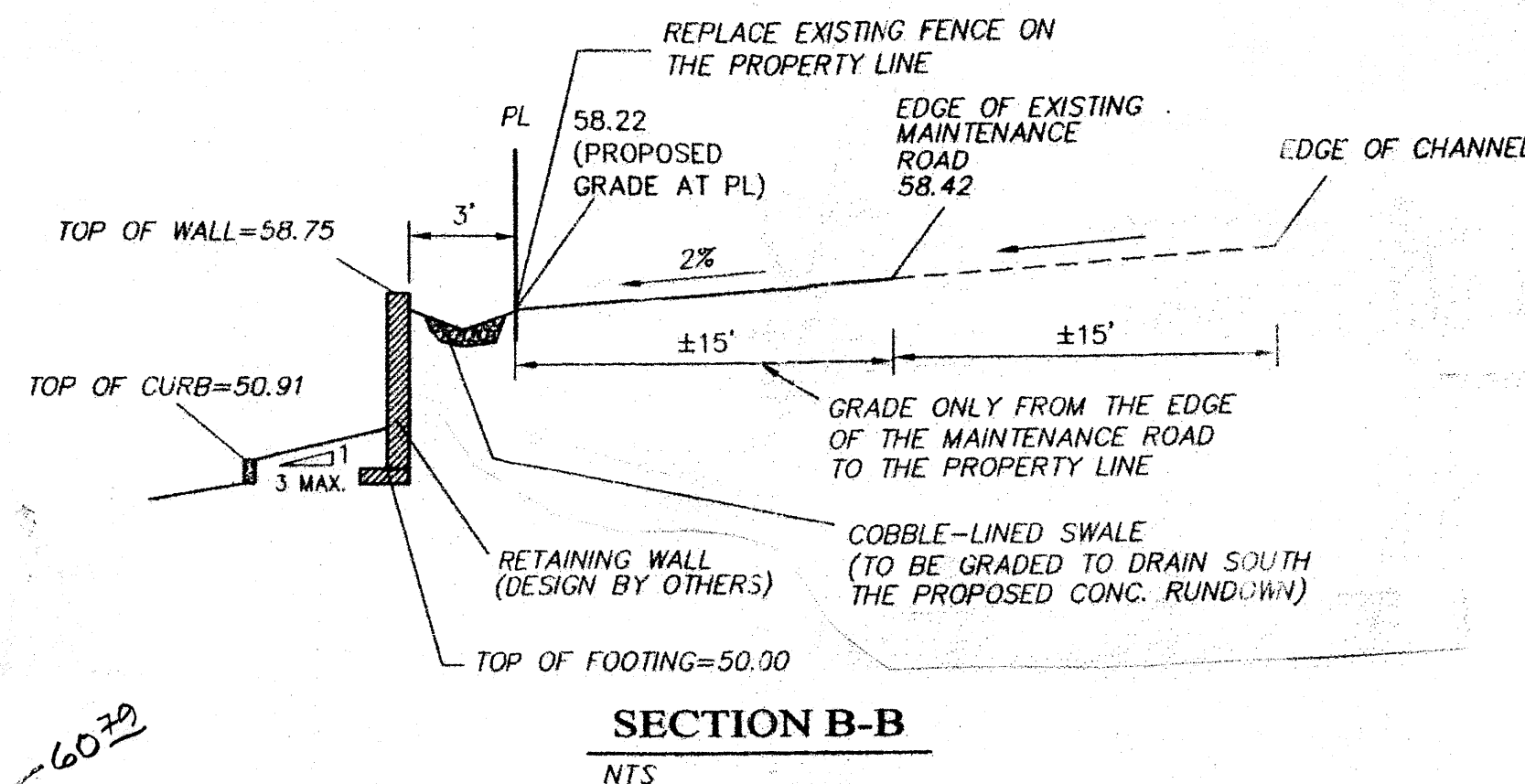
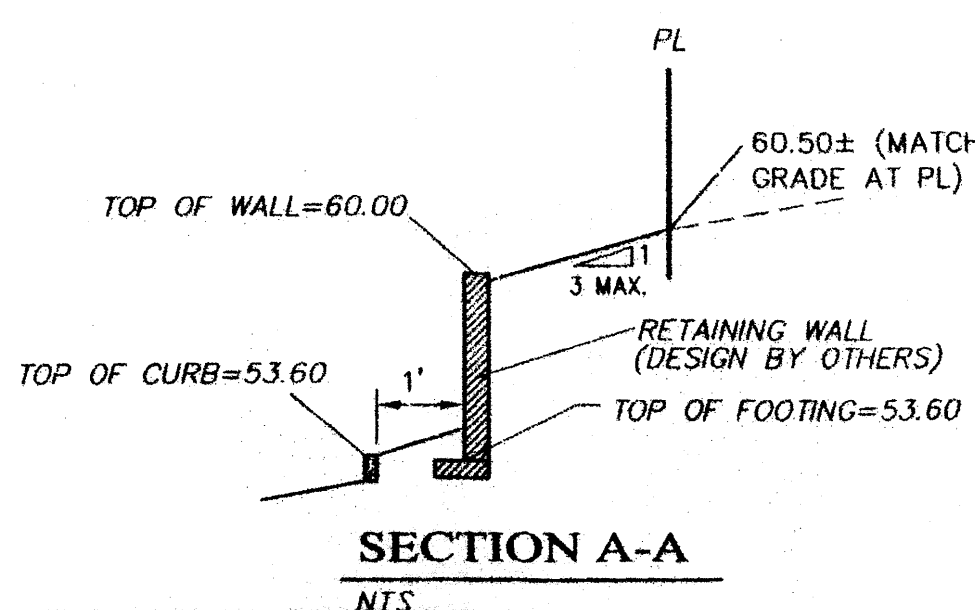
## NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

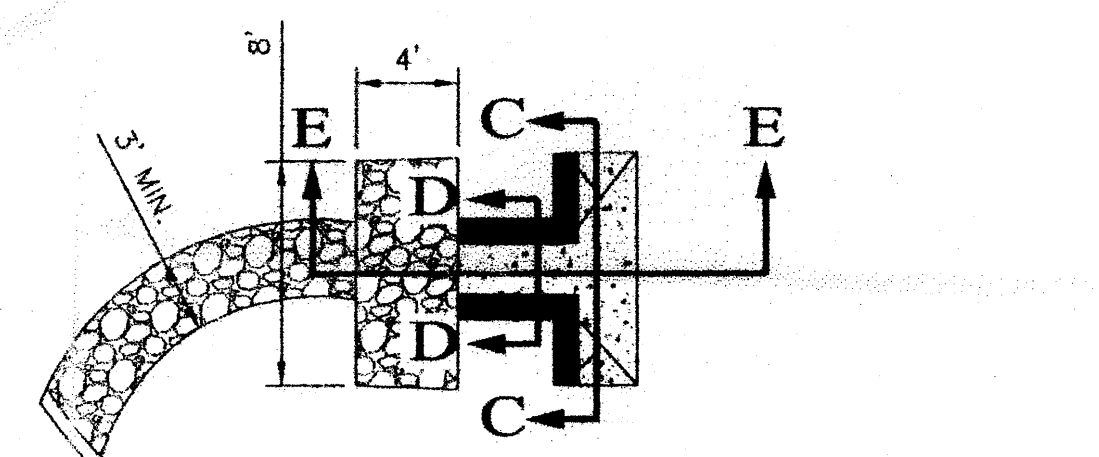
## LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING 8" SAS
- EXISTING SANITARY SEWER LINE
- EXISTING 16" WL
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- EXISTING DROP INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE
- EXISTING TEL RISER
- EXISTING ELEC METER

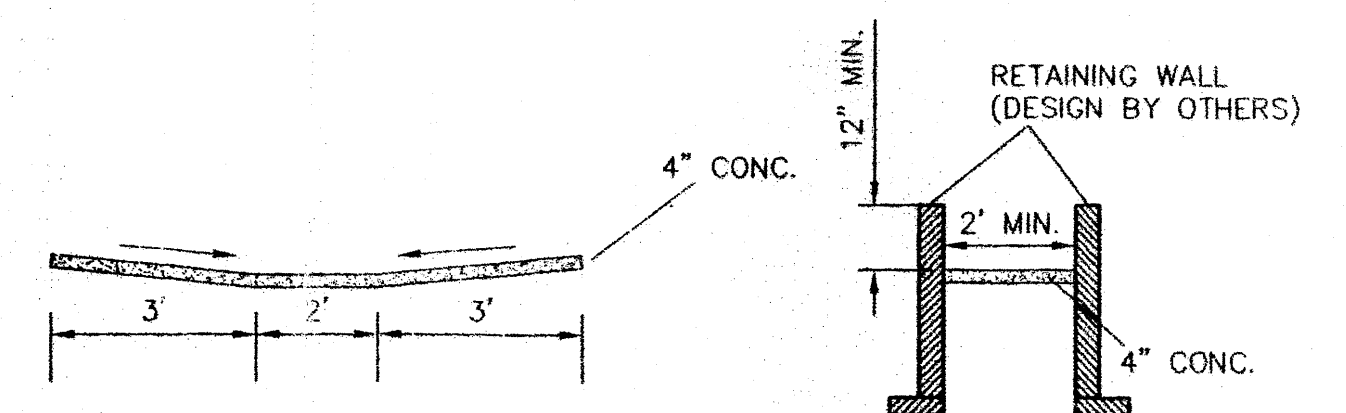
ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_



LEGAL DESCRIPTION:  
LOT 29, ALAMEDA BUSINESS PARK, ALBUQUERQUE, NEW MEXICO  
ZONING: SU-2 IP

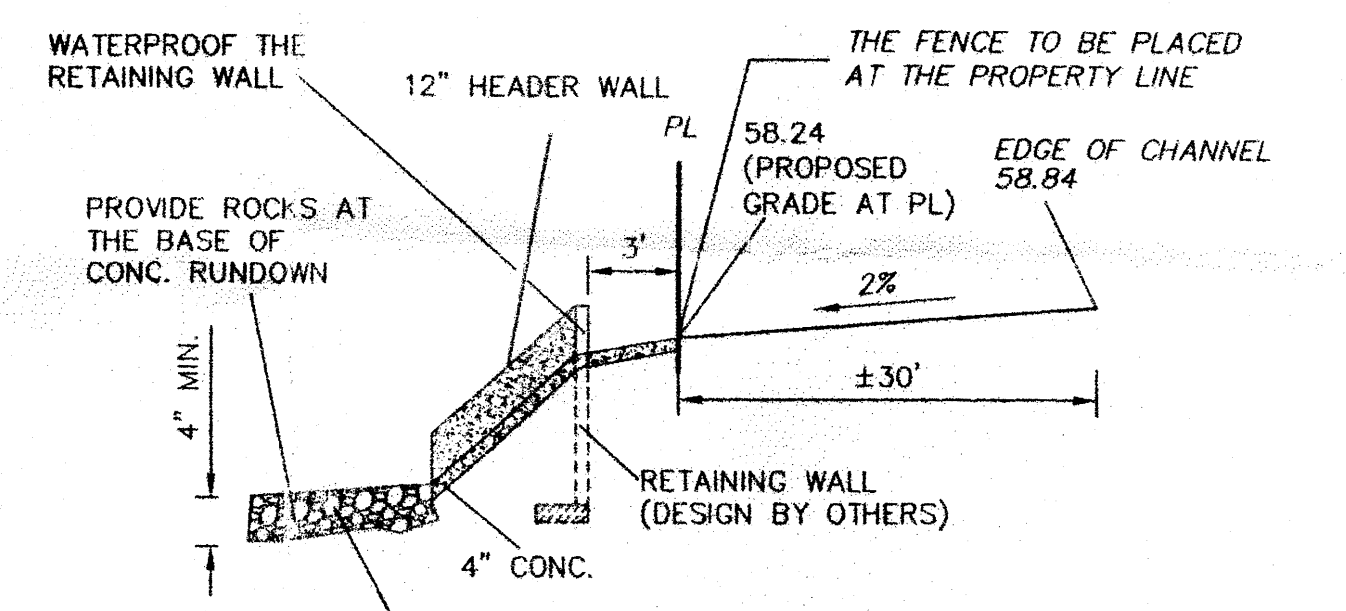


## CONCRETE RUNDOWN DETAIL



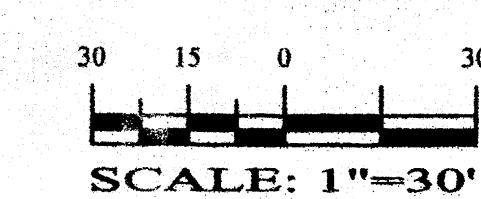
## SECTION C-C

## SECTION D-D



## SECTION E-E

## GRAPHIC SCALE

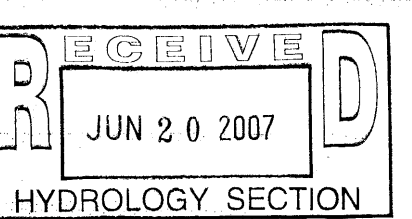


**ADVANCED  
ENGINEERING  
AND CONSULTING, LLC**

SHAHAB BIAZAR  
P.E. #13479

4416 ANAHEIM AVE., NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505) 899-5570

LOT 29, ALAMEDA BUSINESS PARK GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200519-GR-DWG	SB	04-21-05	3 OF 4





# GENERAL NOTES:

1. THIS SITE PLAN CONFORMS WITH THE REQUIREMENTS OF THE NORTH 1-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE IP, INDUSTRIAL PARK ZONE.
2. THIS SITE PLAN ALSO CONFORMS WITH THE APPROVED AMENDED MASTER DEVELOPMENT PLAN FOR THE ALAMEDA BUSINESS PARK DATED 08/04/99, DRB 98-223.
3. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
4. BUILDINGS:  
BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 26 FEET IN HEIGHT.  
BUILDING TYPES: BUILDINGS WILL BE STEEL FRAME WITH FLAT AND PCHED ROOF.  
BUILDINGS WILL BE STUCCO.  
BUILDING COLORS: SEE ELEVATION PLAN
5. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
6. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
7. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED, STEEL OR WOOD POLE MOUNTED, HIGH PRESSURE SODIUM, 400 WATTS. LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES. PARKING LOT FIXTURES ARE TO HAVE AN OVERALL HEIGHT OF SIXTEEN(16) FEET. WALKING LIGHTING FIXTURES ARE TO HAVE AN OVERALL MAXIMUM HEIGHT OF TWELVE (12) FEET.
8. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 24 SQUARE FEET AND THE HIGHT SHALL NOT EXCEED 6.00'
9. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTAIN SIGN. SEE THIS SHEET FOR MONUMENT SIGN DETAIL AND ELEVATION PLAN FOR MOUNTAIN SIGN DETAIL. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE.

## SITE DATA

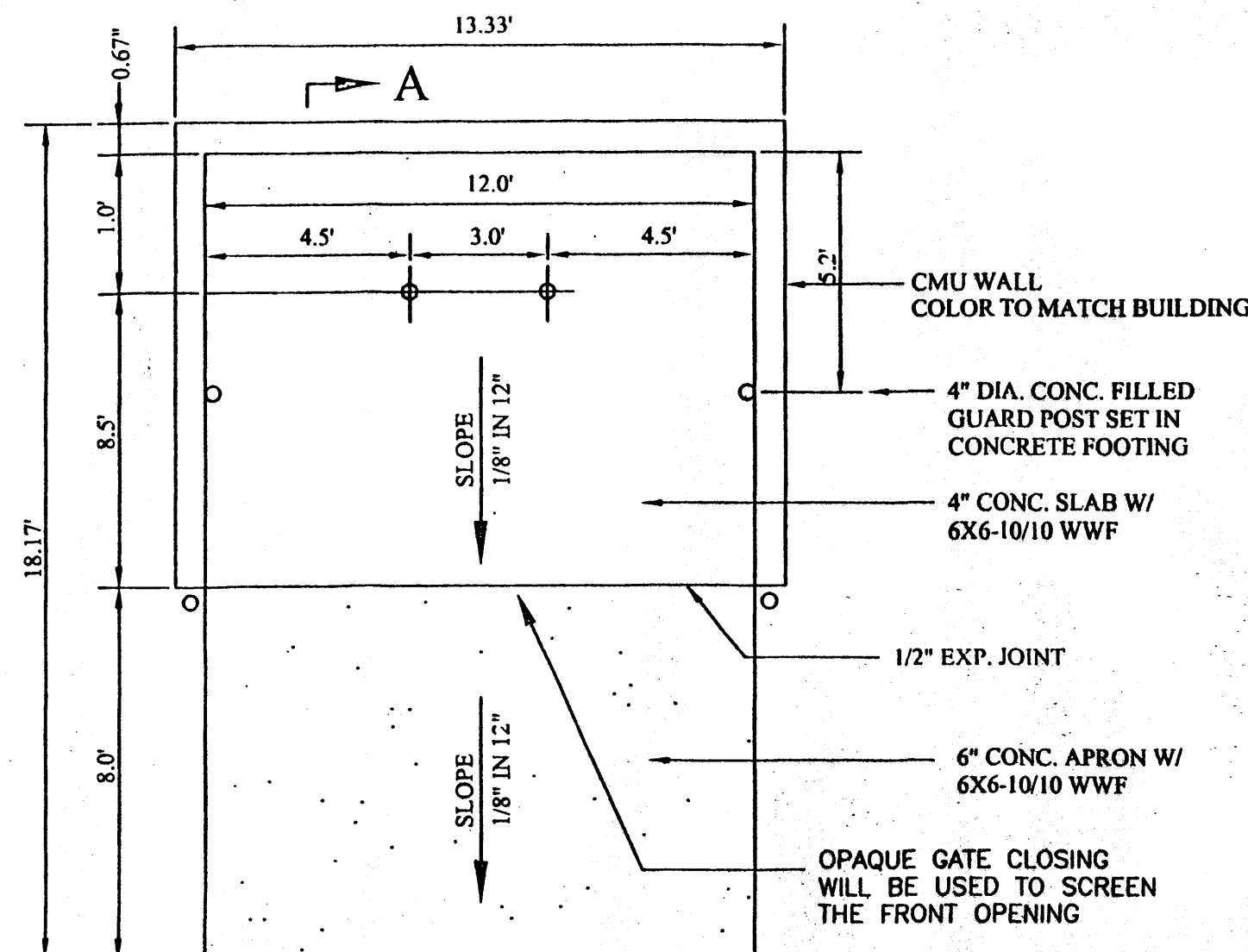
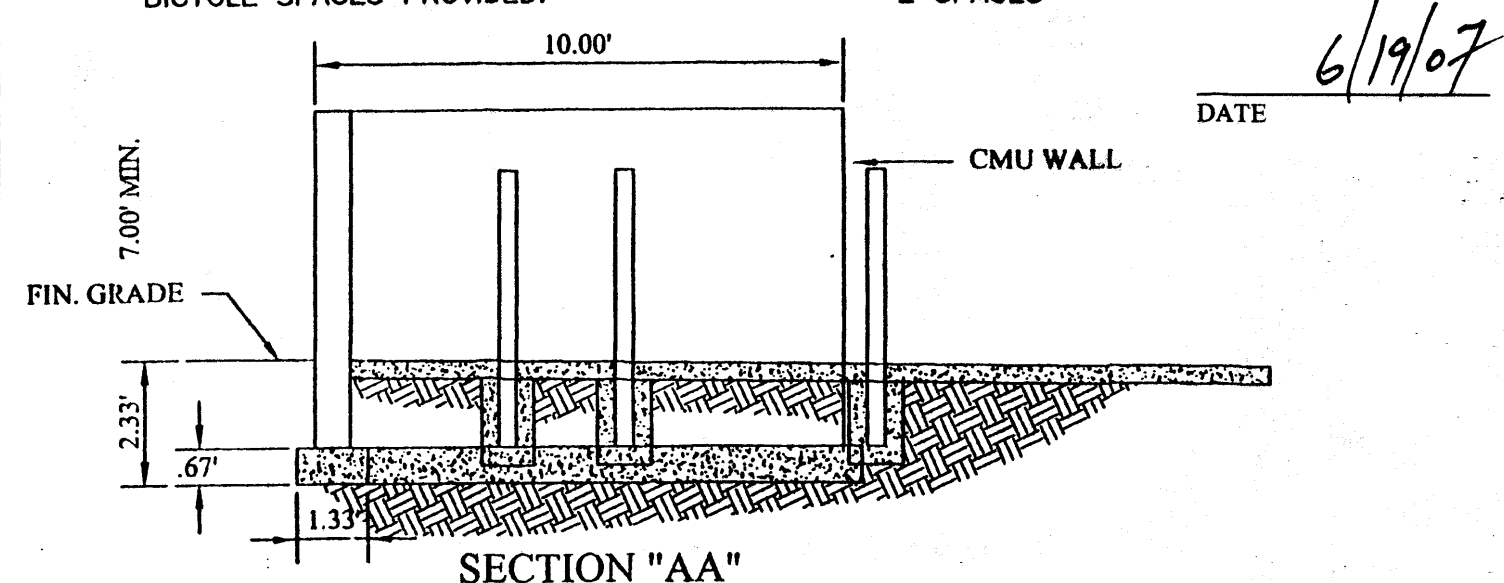
PROPOSED USAGE:	OFFICE/WAREHOUSE
LOT AREA:	85,673.50 S.F. (1.9668 ACRE)
OFFICE AREA:	5,000 S.F.
WAREHOUSE AREA:	25,754.46 S.F.
TOTAL BUILDING AREA:	30,754.46 S.F.

## LANDSCAPE CALCULATIONS:

NET LOT AREA	54,919 SF ±
LANDSCAPING REQUIRED:	8,237.85 SF ±
15% OF 54,919 SF	
LANDSCAPE PROVIDED	9,366.00 SF ±

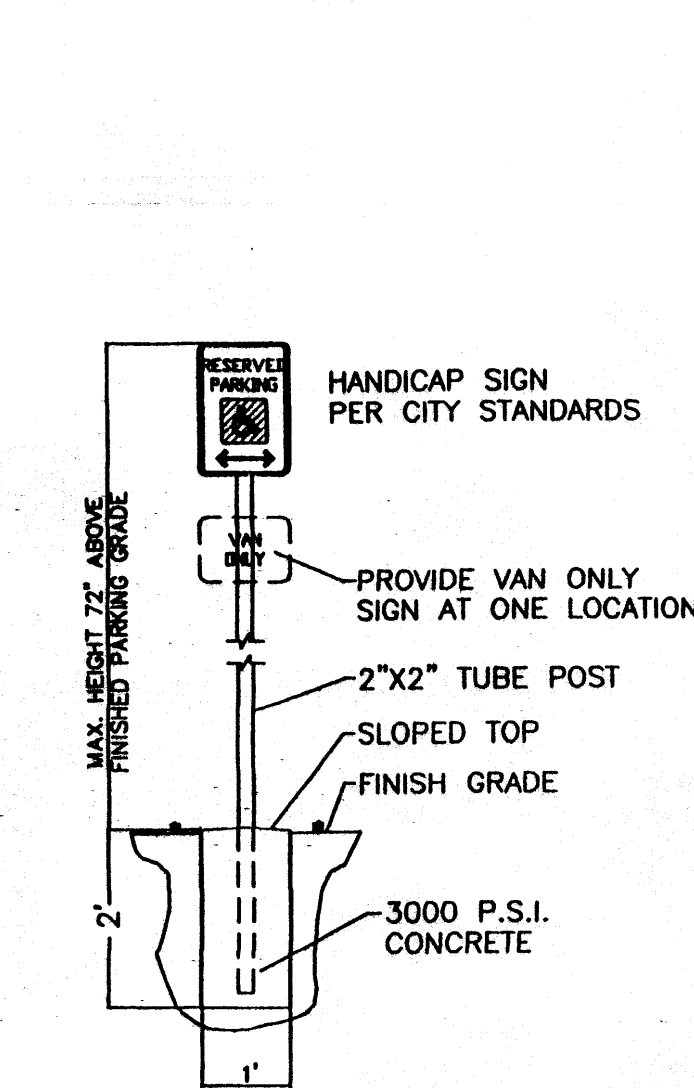
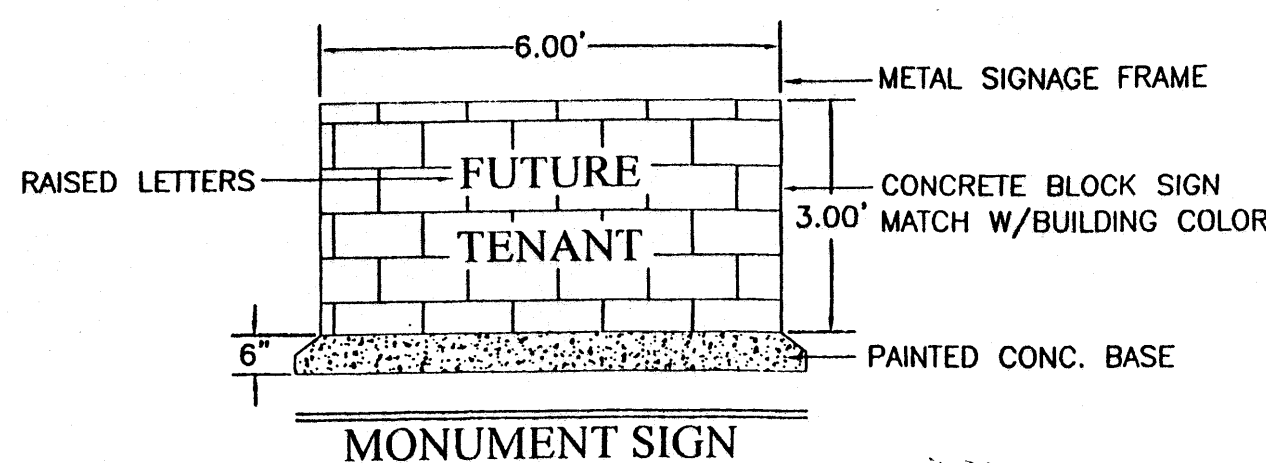
## PARKING CALCULATIONS:

PARKING REQUIRED:		
OFFICES	5,000 GSF / 200 GSF	25 SPACES
WAREHOUSE	25,754.46 GSF / 2,000 GSF	13 SPACES
TOTAL		38 SPACES
TOTAL PARKING PROVIDED:		40 SPACES
HC PARKING REQUIRED	3 SPACES (1 VAN)	
HC PARKING PROVIDED	4 SPACES (1 VAN)	
BICYCLE SPACES REQUIRED:	2 SPACES	
BICYCLE SPACES PROVIDED:	2 SPACES	



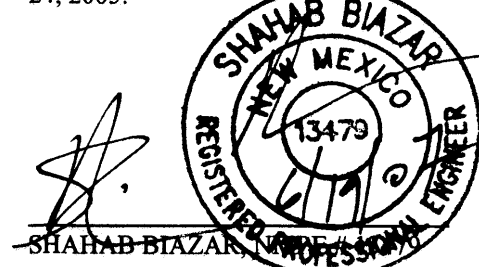
DUMPSTER ENCLOSURE DETAIL

NTS



HANDICAP SIGN DETAIL

I SHAHAB BIAZAR, A REGISTERED ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE APPROVED SITE PLAN (BY CITY TRANSPORTATION) DATED NOVEMBER 17, 2004. THE SITE WAS INSPECTED ON BEHALF OF RON SPRADLIN BY ADVANCED ENGINEERING AND CONSULTING, LLC ON JUNE 24, 2005.

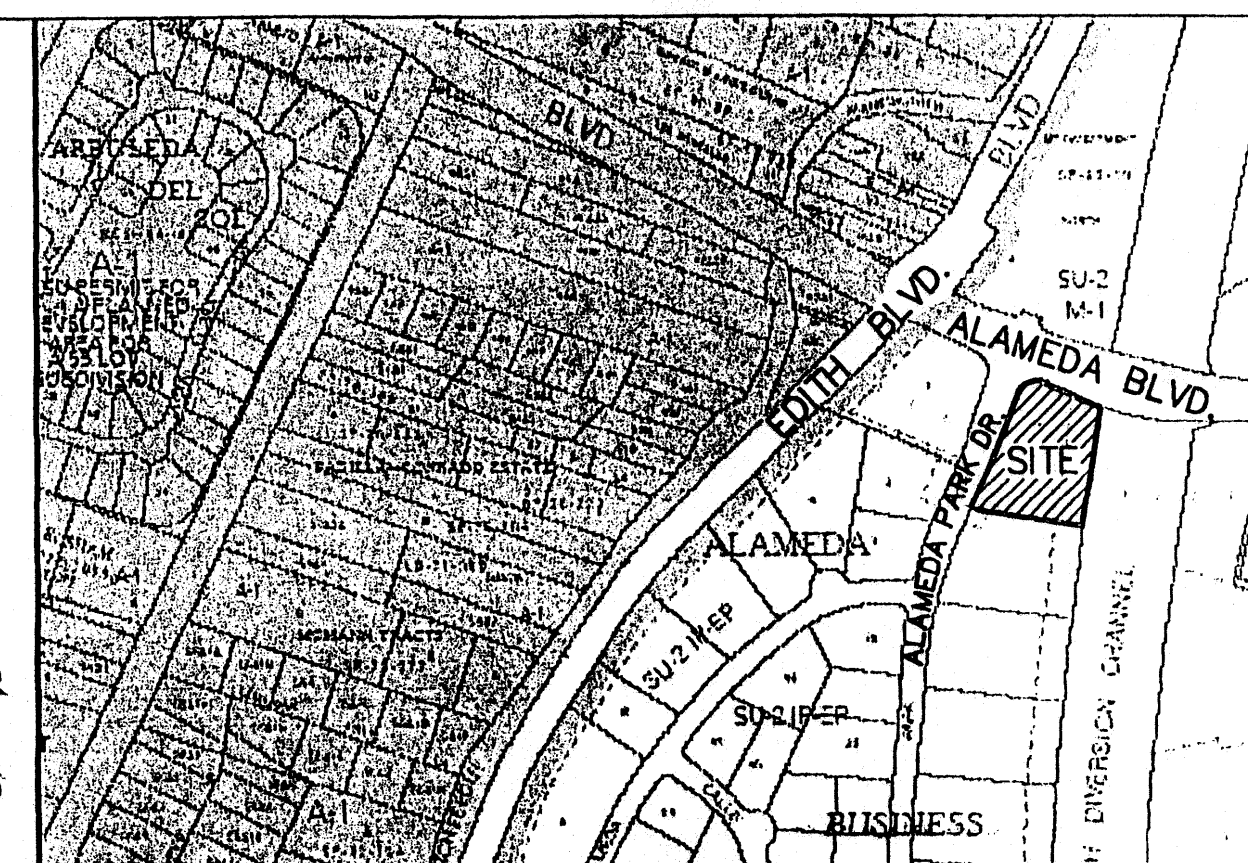


DATE 6/19/07

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD DIRECTION
C1	115.15	3738.88	57.58	1°45'52"	115.14	N23°59'57"E
C2	133.81	3742.88	66.91	2°02'54"	133.80	N20°52'29"E
C3	82.25	50.00	53.85	94°14'54"	73.28	S66°57'29"W
C4	18.34	543.00	9.17	1°56'07"	18.34	S66°51'05"E
C5	310.87	11552.53	155.44	1°32'30"	310.86	S08°56'00"W

## NOTES:

1. EXISTING ENTRANCE TO BE WIDEN PER COA STANDARD DRAWING #2426.
2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB AND GUTTER.
4. NEW ASPHALT PAVING AREA.
5. NEW STANDARD CURB AND GUTTER PER COA STANDARD DRAWING 2415A.
6. NEW TURNDOWN SIDEWALK.
7. NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
8. HANDICAP SIGN SEE DETAIL THIS SHEET.
9. MONUMENT SIGN SEE DETAIL THIS SHEET.
10. LANDSCAPED AREA.
11. TRASH ENCLOSURE.
12. 6' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
13. REMOVE EXISTING BILLBOARD.
14. NEW 6' SIDEWALKS PER COA STANDARD DRAWING 2430.
15. BICYCLE RACK.
16. SIDEWALK OBSTRUCTIONS PER COA STANDARD DRAWING 2431.
17. NEW CURB AND GUTTER PER COA STANDARD DRAWING 2415A.



VICINITY MAP:

## LEGAL DESCRIPTION:

LOT 29, ALAMEDA BUSINESS PARK, ALBUQUERQUE, NEW MEXICO  
ZONING: SU-2 IP

## SHEET INDEX

1. SITE PLAN
2. LANDSCAPING PLAN
3. GRADING AND DRAINAGE PLAN
4. ELEVATIONS

## LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

PROJECT NUMBER: 1004266

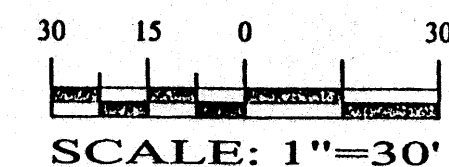
APPLICATION NUMBER: 05DRB-01017

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED , AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

## DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

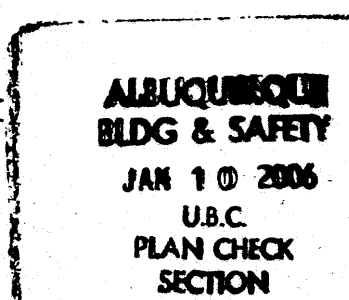
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	6-29-05
<i>Rogan A. Green</i>	DATE 6-29-05
UTILITIES DEVELOPMENT	DATE
<i>Christina Sandoval</i>	6/29/05
PARKS AND RECREATION DEPARTMENT	DATE 6/29/05
<i>Bridley A. Bingham</i>	DATE 6/29/05
CITY ENGINEER	DATE
<i>Michael Holton</i>	6-29-05
SOLID WASTE MANAGEMENT	DATE 6-29-05
<i>Debra M. Nelson</i>	DATE 6/30/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<i>Shahab Biazar</i>	June 28, 2007
ENVIRONMENTAL HEALTH DEPARTMENT	DATE

## GRAPHIC SCALE

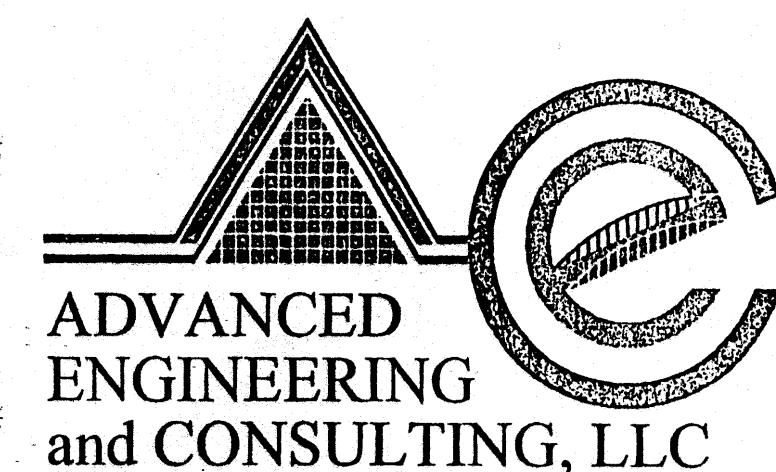


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## LOT 29, ALAMEDA BUSINESS PARK SITE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200519-ST.DWG	SHH	06-28-05	C-1 of 21

1 OF 4

