



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 17, 2002

Shahab Biazar, P.E.
Advanced Engineering
10205 Snowflake Ct NW
Albuquerque, New Mexico 87114

RE: ALAMEDA BUSINESS PARK LOT 57 (C-16/D6J)
(8524 Paseo Alameda NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 6/3/2002
ENGINEERS CERTIFICATION DATED 9/12/2002

Dear Mr. Biazar:

Based upon the information provided in your Engineers Certification submittal dated 9/13/2002, the above referenced site is approved for Permanent Certificate of Occupancy. This Certificate of Occupancy will include the new addition as well as the 2nd building addition which was originally labeled "future addition".

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

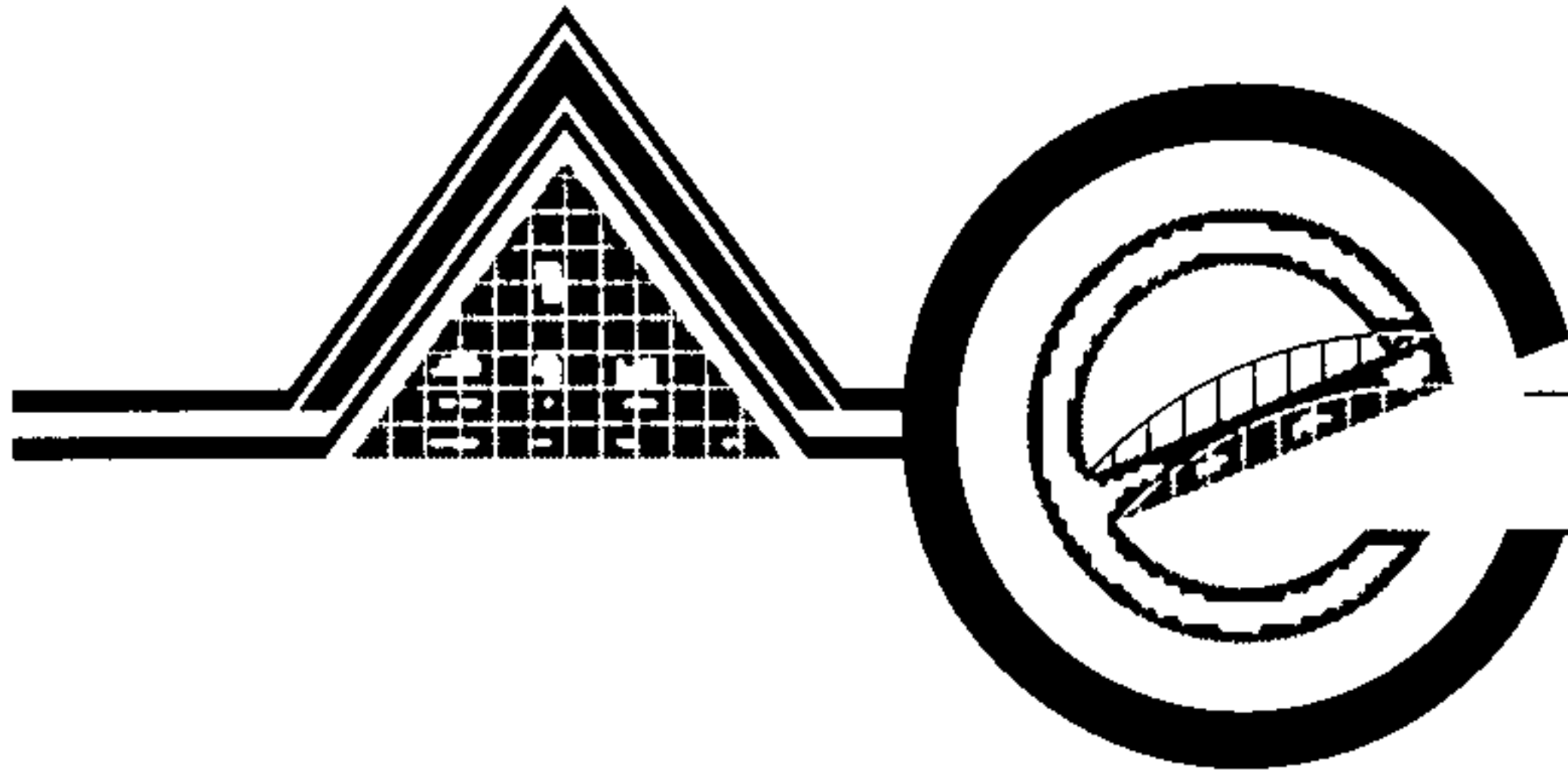
Teresa A. Martin

Hydrology Plan Checker

Development & Bldg. Ser. Division

BWS

C: Certificate of Occupancy Clerk, COA
✓ drainage file
approval file



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

September 12, 2002

Mr. Carlos A. Montoya, P.E.
City Floodplain Administrator, PWD
Development and Building Services
Plaza Del Sol-2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

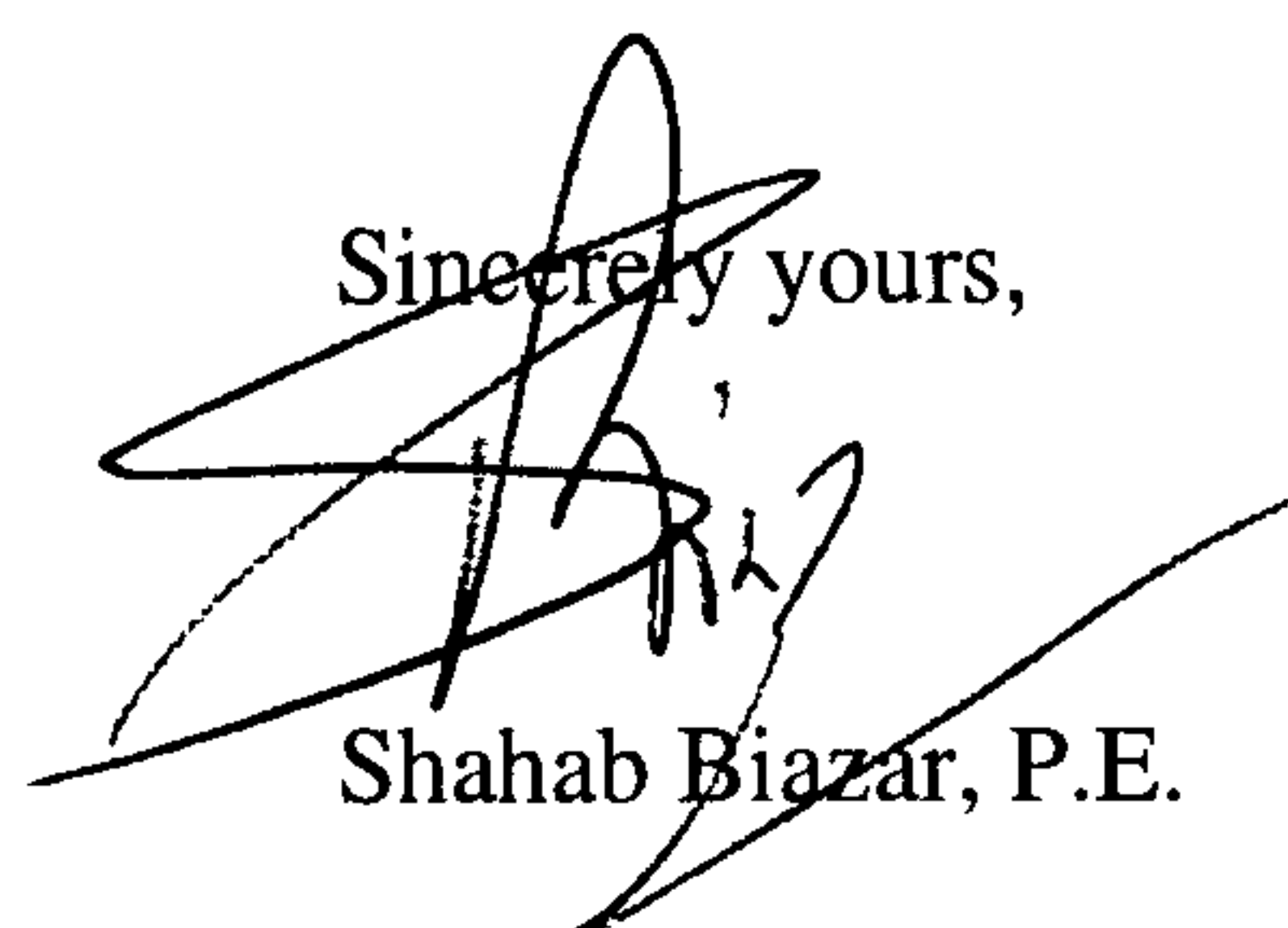
RE: As-Built Certification For City Drainage Number C16 / D06J

Dear Mr. Montoya:

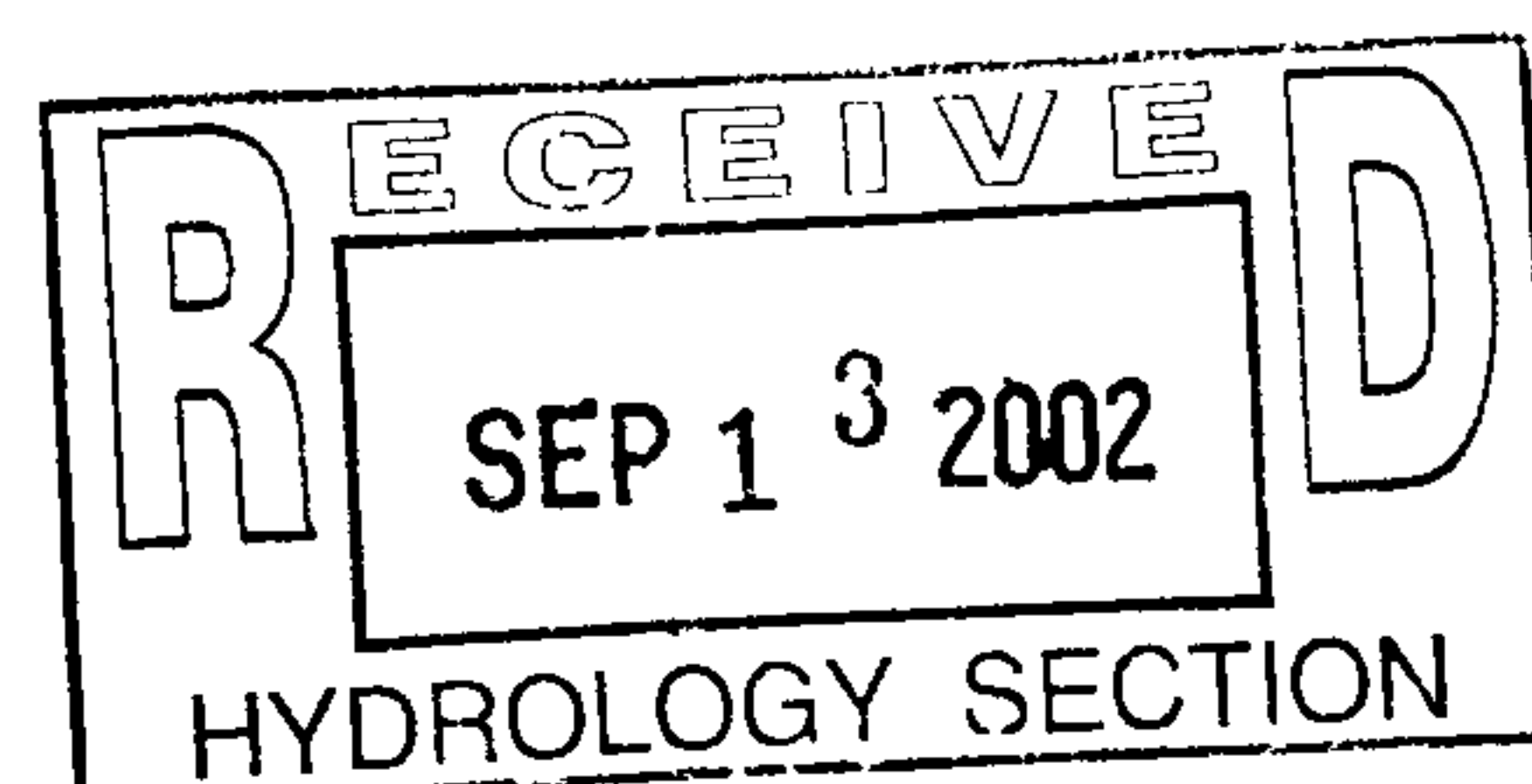
Enclosed please find one copy of the as-built Grading Plan for the above mentioned site. The grades are built according to the approved grading & drainage plan with engineering stamp date of 06/03/2002. The as-built was done on 09/03/2002. The actual stamped date of the submitted grading plan is 06/03/2002, but you had mentioned that the stamped date is 05/25/2002 on the approved grading plan. Please let me know if the actual submitted grading plan is 06/03/2002, because this is the only grading plan in our file.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,



Shahab Biazar, P.E.



DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

C-16/065

PROJECT TITLE: Lot 57, Alameda Business Park ZONE ATLAS/DRG. FILE #: ~~C-16/D006D~~
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 57, Alameda Business Park
CITY ADDRESS: 8524 PASEO ALAMEDA NE

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
ADDRESS: 10205 Snowflake Ct. NW
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar
PHONE: (505) 899-5570
ZIP CODE: 87114

OWNER: Sadler Southwest Ltd.
ADDRESS: P. O. Box 21640, Alb., NM 87154-1640
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

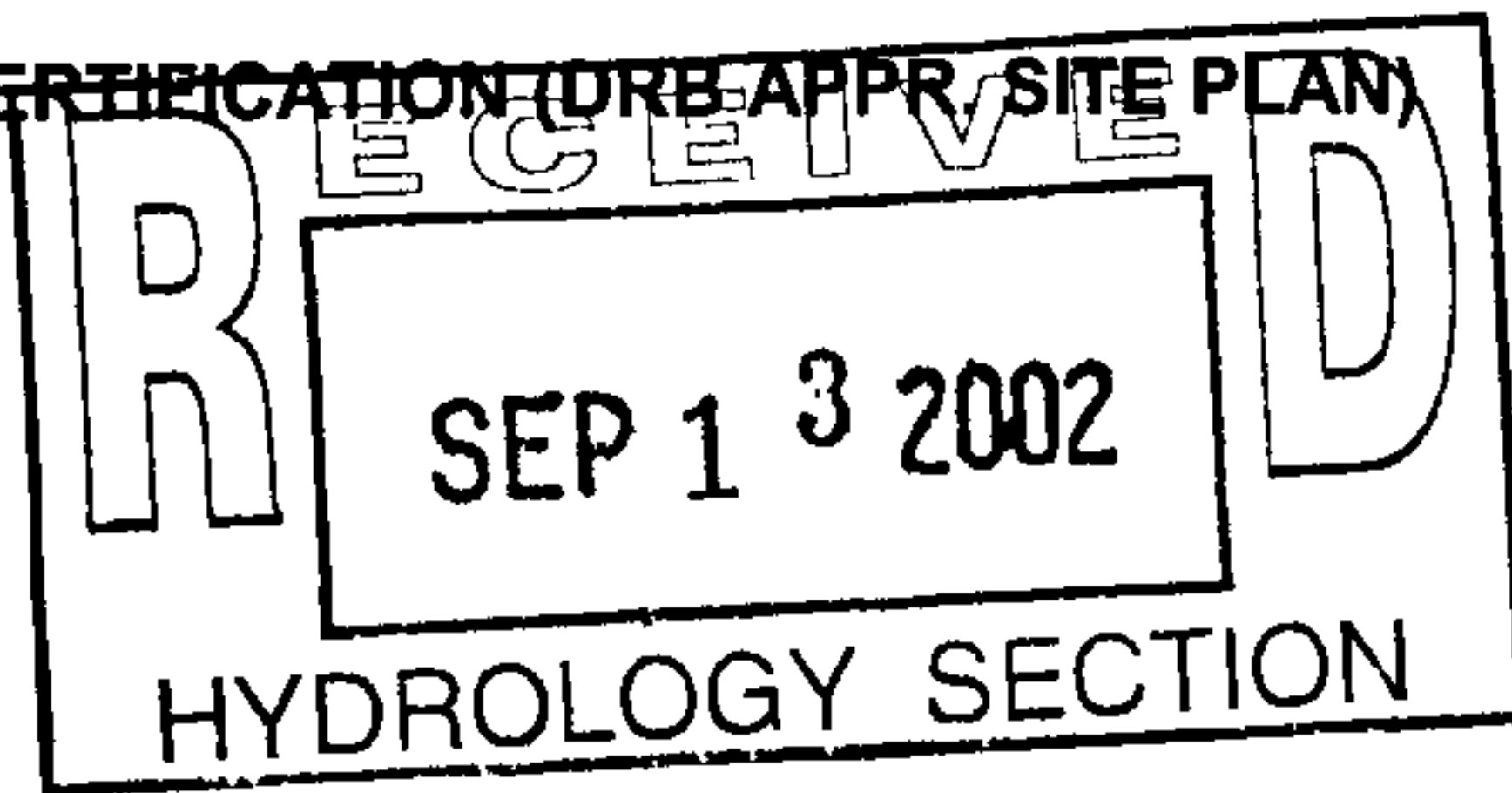
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 09 / 12 / 02 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 12, 2002

Shahab Biazar
Advanced Engineering and Consulting, LLC
10205 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: Lot 57, Alameda Business Park Addition Grading Plan (C16-D6J)
Engineer's Stamp Dated April 25, 2002**

Dear Mr. Biazar:

The above referenced grading plan received June 4, 2002 is approved for Site Development Plan for Building Permit, Grading Permit, and Building Permit. The engineer will submit grading certification per the DPM to Hydrology upon completion of the project.

If you have any questions please call me at 924-3982

Sincerely,

Carlos A. Montoya
City Floodplain Administrator



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 11, 2000

Shahab Biazar PE
Advanced Engineering and Consulting
10205 Snowflake Ct NW
Albuquerque, NM 87114

Re: Lot 57, Alameda Business Park Drainage Report
Engineer's Stamp dated 10-4-00 (C16/D06J)

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 10-5-00, the above referenced site is approved for Site Development Plan for Building Permit, Building Permit and Grading Permit.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer Hydrology

C: file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: <u>Lot 57, Alameda Business Park</u>	ZONE ATLAS/DRNG. FILE #: <u>C-16 / D0068 J</u>
DRB #: _____	EPC #: _____
WORK ORDER #: _____	
LEGAL DESCRIPTION: <u>Lot 57, Alameda Business Park</u>	
CITY ADDRESS: _____	
ENGINEERING FIRM: <u>Advanced Engineering and Consulting, LLC</u>	CONTACT: <u>Shahab Biazar</u>
ADDRESS: <u>10205 Snowflake Ct. NW Alb., NM 87114</u>	PHONE: <u>(505) 899-5570</u>
OWNER: <u>Sadler Southwest Ltd.</u>	CONTACT: <u>Lou Sadler</u>
ADDRESS: <u>P. O. Box 21640, Alb., NM 87154-1640</u>	PHONE: _____
ARCHITECT: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
CONTRACTOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

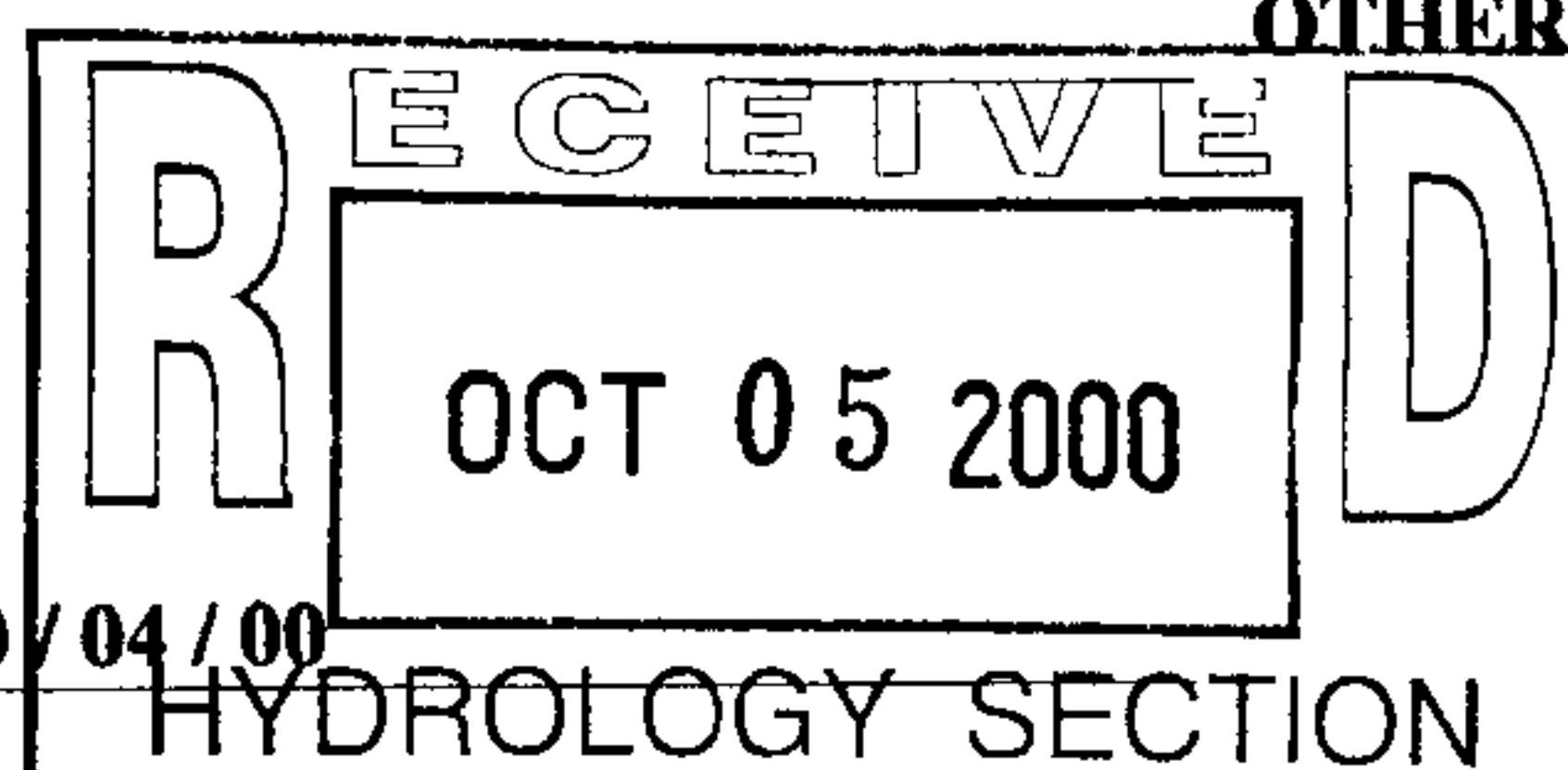
_____ **DRAINAGE REPORT**
_____ **DRAINAGE PLAN**
_____ **CONCEPTUAL GRADING & DRAINAGE PLAN**
☒ **GRADING PLAN**
_____ **EROSION CONTROL PLAN**
_____ **ENGINEER'S CERTIFICATION**
_____ **OTHER**

PRE-DESIGN MEETING:

_____ **YES**
_____ **NO**
_____ **COPY PROVIDED**

CHECK TYPE OF APPROVAL SOUGHT:

_____ **SKETCH PLAN APPROVAL**
_____ **PRELIMINARY PLAT APPROVAL**
_____ **S. DEV. PLAN FOR SUB'D. APPROVAL**
☒ **S. DEV. PLAN FOR BLDG. PERMIT APPROVAL**
_____ **SECTOR PLAN APPROVAL**
_____ **FINAL PLAT APPROVAL**
_____ **FOUNDATION PERMIT APPROVAL**
☒ **BUILDING PERMIT APPROVAL**
_____ **CERTIFICATE OF OCCUPANCY APPROVAL**
☒ **GRADING PERMIT APPROVAL**
_____ **PAVING PERMIT APPROVAL**
_____ **S. A. D. DRAINAGE REPORT**
_____ **DRAINAGE REQUIREMENTS**

OTHER**DATE SUBMITTED:**10 / 04 / 00**BY:**SHAHAB BIAZAR



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 20, 2000

Shahab Biazar PE
Advanced Engineering and Consulting
10205 Snowflake Ct NW
Albuquerque, NM 87114

Re: Lot 57, Alameda Business Park Drainage Report
Engineer's Stamp dated 8-30-00 (C16/D06J)

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 8-30-00, the above referenced site is conditionally approved for Site Development Plan for Building Permit, Building Permit and Grading Permit. Conditions of approval include:

- There shouldn't be any walls traversing the channel. It would not be prudent to keep part of the channel behind a locked wall.
- The channel will need 6" extruded asphalt sides.
- Certification and acceptance by the City of the new sidewalk culvert and channel will be required prior to Certificate of Occupancy.

If your client plans to pave the "gravel paving storage area", a new drainage plan will be required. I will be looking for these changes on the grading plan submitted with the Building Permit plans. If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer Hydrology

C: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

September 17, 2002

James Clark, Registered Architect
516 Eleventh Street NW
Albuquerque, NM 87102-1806

Re: Certification Submittal for Final Building Certificate of Occupancy for
Office Building for Sadler Southwest Ltd, [C16-D6J]
8524 Paseo Alameda NE
Architect's Stamp Dated 09/10/02

Dear Mr. Clark:

The TCL / Letter of Certification submitted on September 17, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety section.

Sincerely,

Richard Dourte, PE
Traffic Engineer
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: SADLER OFFICE BLDG.

DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: C-16/065

WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 57 ALAMEDA BUSINESS PARK

CITY ADDRESS: 8524 PASEO ALAMEDA NE

ENGINEERING FIRM: ADVANCED ENGINEERING

ADDRESS: 10205 SUDWILLAKE CT. NW.

CITY, STATE: ALBQ. N.M. 87114

CONTACT: SHANBIB BIAZAR

PHONE: 899-5570

ZIP CODE: 87114

OWNER: LOUIS S. SADLER

ADDRESS: 1564 EAGLE RIDGE CT. NE.

CITY, STATE: ALBQ. N.M.

CONTACT: LOUIS SADLER

PHONE: 856-7939

ZIP CODE: 87122

ARCHITECT: MASTERWORKS ARCHITECTS.

ADDRESS: 516 11th N.W.

CITY, STATE: ALBQ. N.M.

CONTACT: JIM CHARK.

PHONE: 242 1566

ZIP CODE: 87102-1806

SURVEYOR: SAVE AS ABOVE ENGINEER

ADDRESS _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: SADLER SOUTHWEST.

ADDRESS: P.O. Box 21640

CITY, STATE: ALBQ. N.M.

CONTACT: LOUIS SADLER

PHONE: 505 856-7939

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

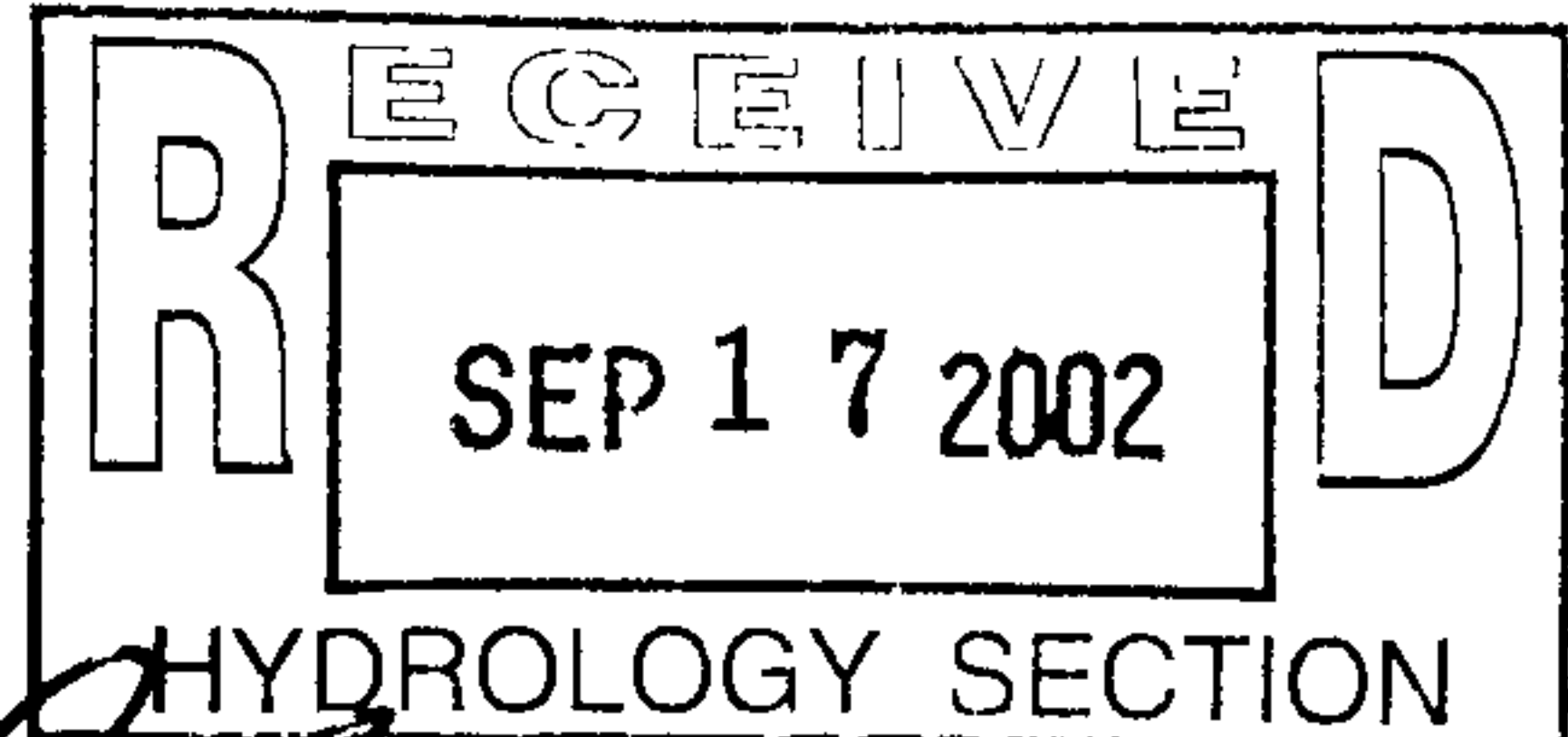
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 9/17/02

BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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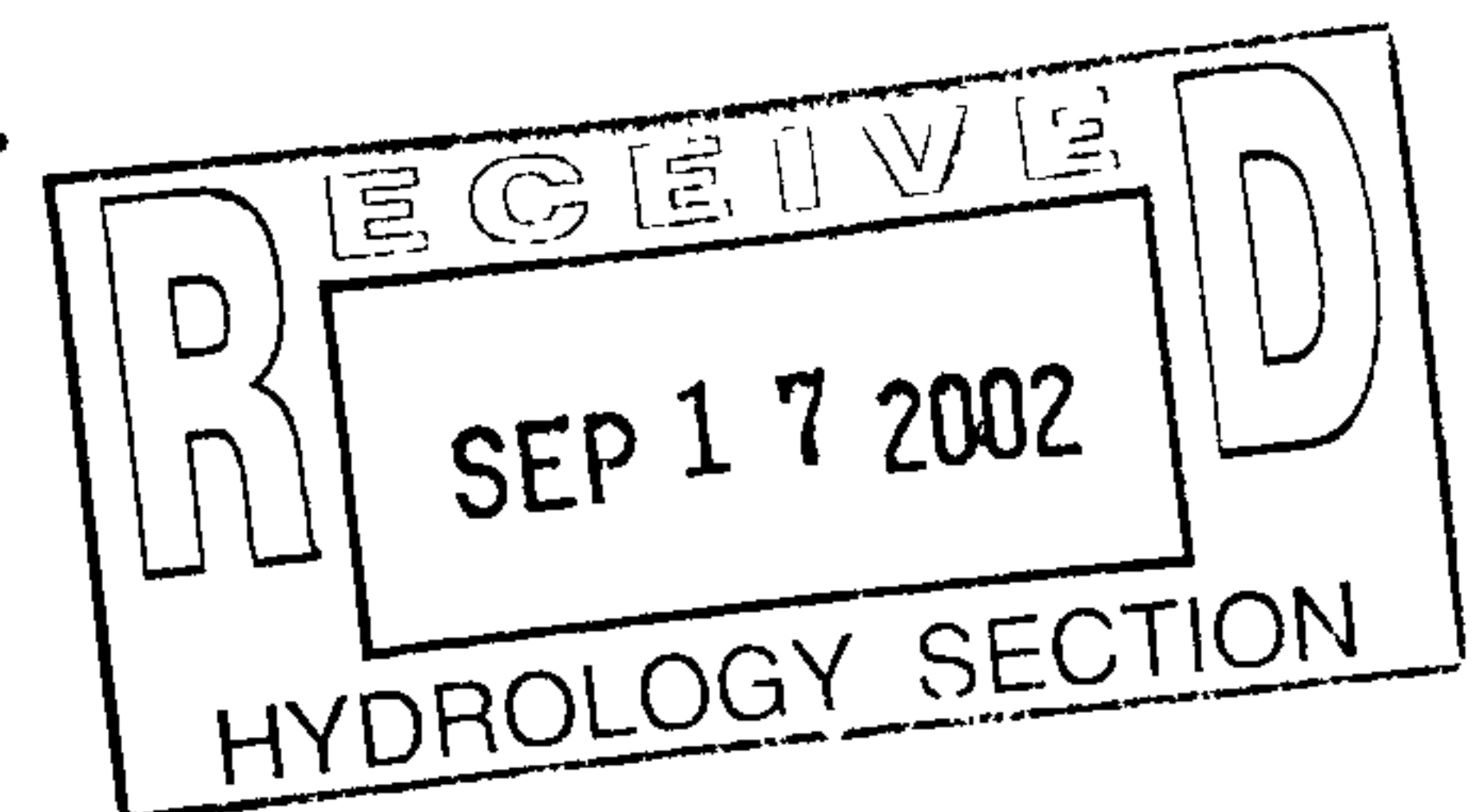
10 September 2002
Project 0040

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Letter of Certification

Project: Office Building for Sadler Southwest Ltd.
8524 Paseo Alameda NE
Albuquerque, New Mexico

Contractor: Sadler Southwest, Ltd.
P.O. Box 21640
Albuquerque, NM 87154-1640



Dear Mr. Zamora:

On 9 September 2002, I conducted a Site Observation Visit of the completed facility to confirm the construction of the site improvements.

My observation reveals that the site improvements are in substantial compliance with the City of Albuquerque approved Traffic Circulation Plan.

Three field changes are noted which do not alter the requirements of the TCL:

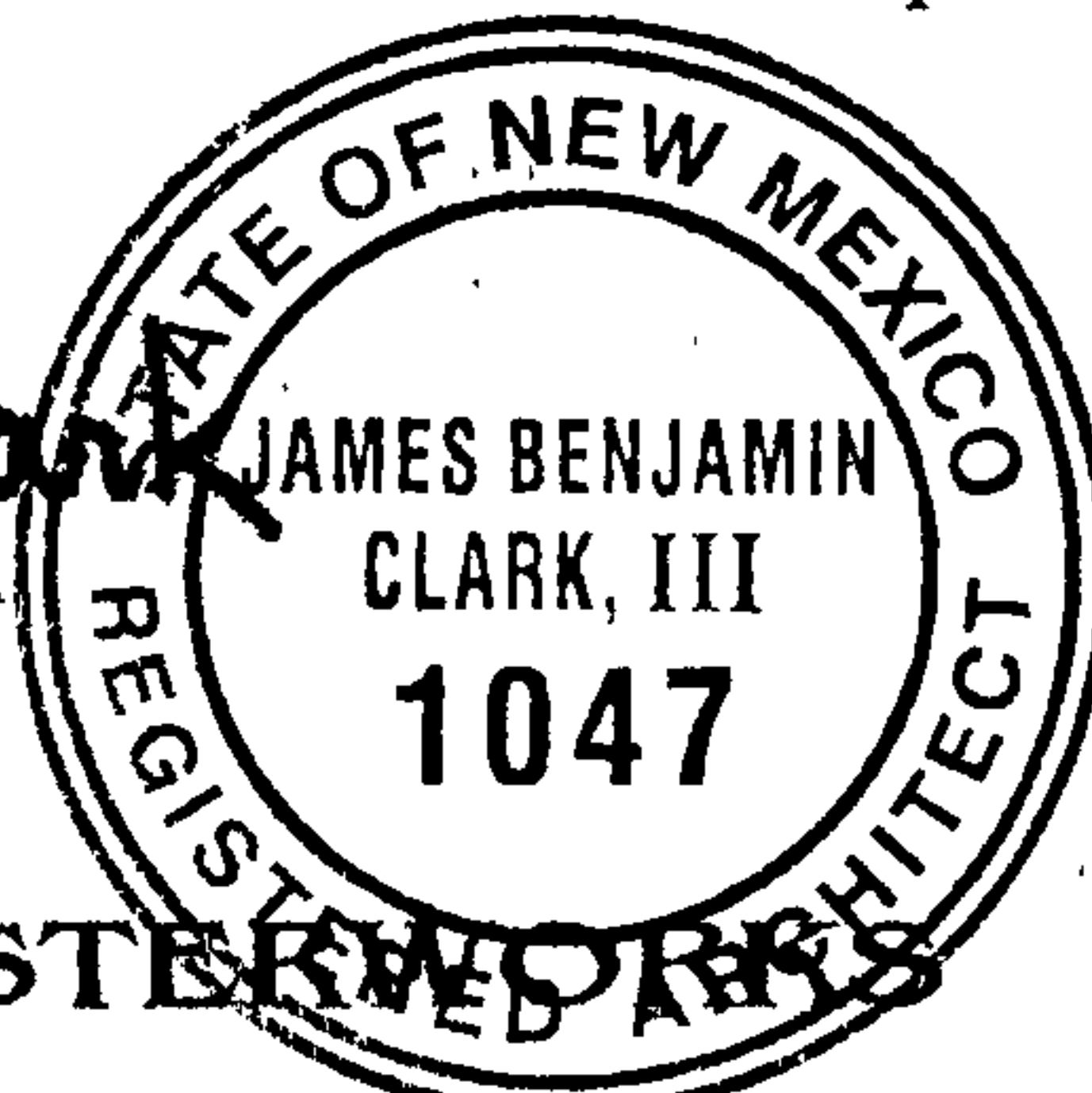
- a. The north fence was constructed on the south side of the drainage channel, 6' south of the north property line, instead of on the property line;
- b. The vehicle gate into the east side loading area was changed from a 24' rolling gate to a double 12' swing gate;
- c. The accessible path to the right of way was relocated 12' +/- north of the location shown on the permit drawings.

If you need any additional information, please call.

Sincerely,

James B. Clark

James B. Clark, RA
Vice President



MASTERWORKS ARCHITECTS, INC.

RETURN TO THE STANDARDS OF THE MASTER BUILDERS

516 Eleventh St. NW, Albuquerque, NM 87102-1806

(505) 242-1866 FAX (505) 242-1802