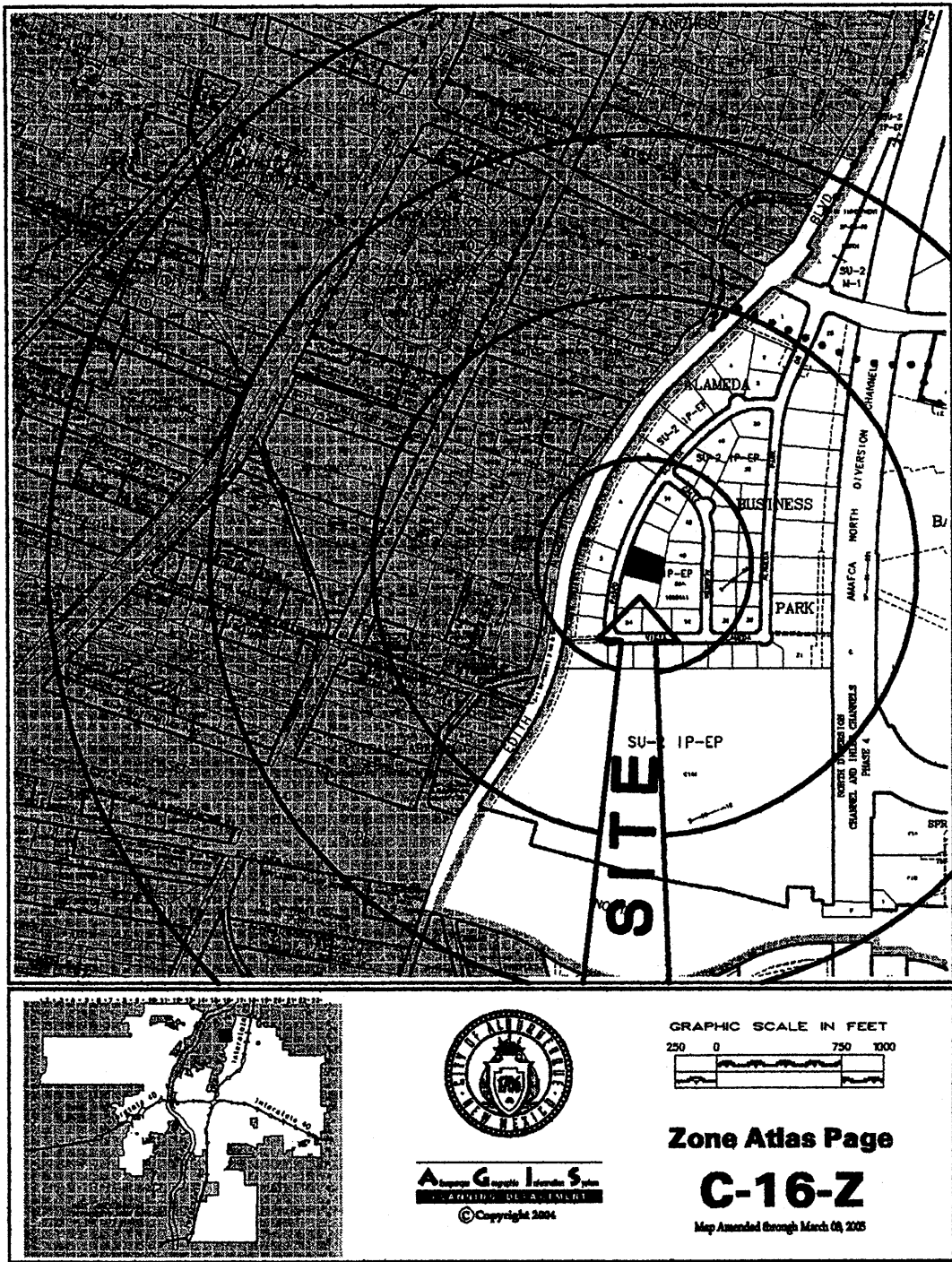
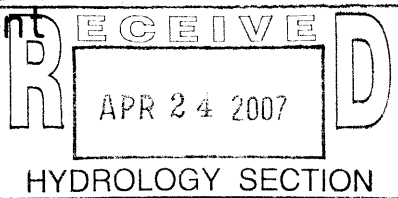


PROJECT NUMBER: 1005023
Application Number: 06 DRB - 01010

DRB SITE DEVELOPMENT PLAN APPROVAL:

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-Of-Way or for construction of public improvements.

7-20-06
Date
7-19-06
Date
7/19/06
Date
7/19/06
Date
N/A
*Environmental Health (conditional)
(See Stamp Below)
Solid Waste Management
DRB Chairperson, Planning Department



ZONE ATLAS MAP
1/2" = 1 MILE

Cheshire Office/Warehouse
8516 Paseo Alameda N.E.
Albuquerque, NM

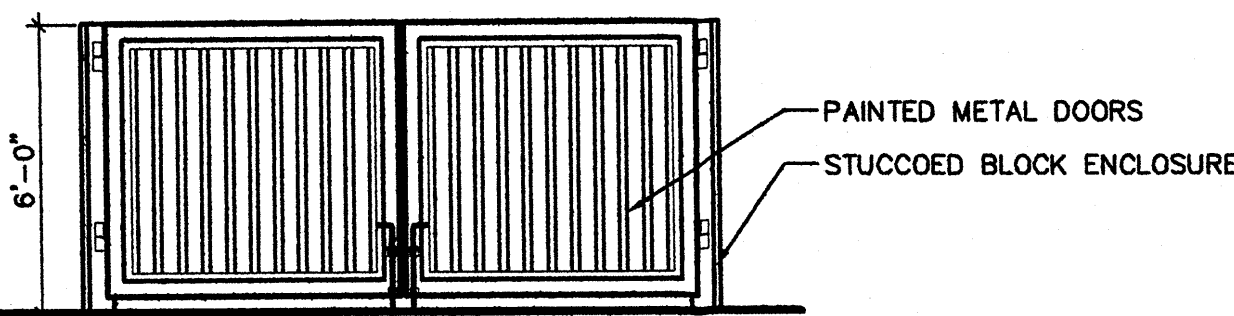
G. DONALD DUDLEY AIA
ARCHITECT
SIMMS TOWER STUDIO 850
400 GOLD AVENUE SW
ALBUQUERQUE, NEW MEXICO
8 7 1 0 2
TEL 505.243.8100
FAX 505.843.6820

date: JULY 10, 2006

drawn by: GDD, eh

DRB-1

sequence no. of



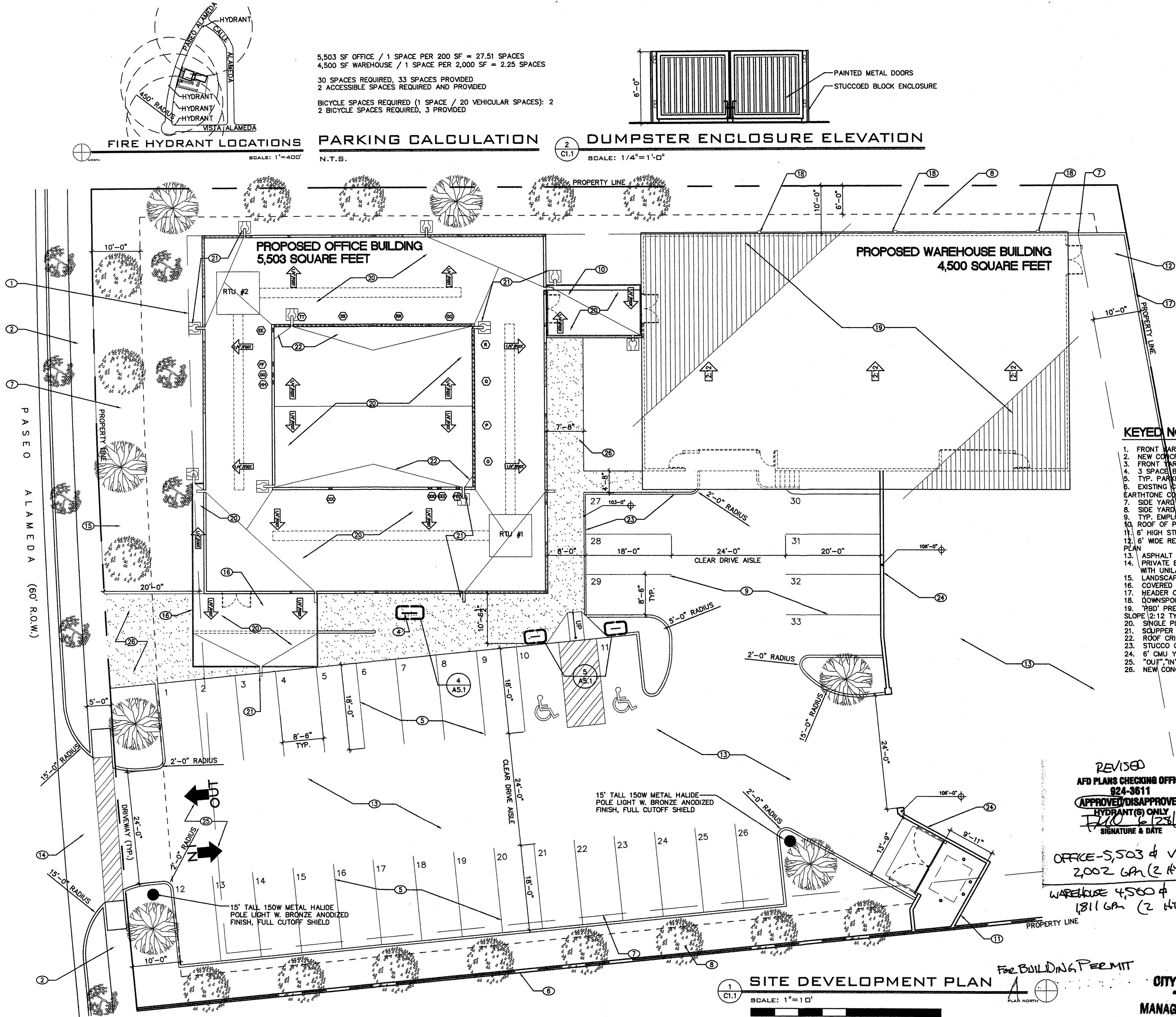
DUMPSTER ENCLOSURE ELEVATION

2
C1.1 SCALE: 1/4"=1'-0"

5,503 SF OFFICE / 1 SPACE PER 200 SF = 27.51 SPACES
4,500 SF WAREHOUSE / 1 SPACE PER 2,000 SF = 2.25 SPACES
30 SPACES REQUIRED, 33 SPACES PROVIDED
2 ACCESSIBLE SPACES REQUIRED AND PROVIDED
BICYCLE SPACES REQUIRED (1 SPACE / 20 VEHICULAR SPACES): 2
2 BICYCLE SPACES REQUIRED, 3 PROVIDED

PARKING CALCULATION
N.T.S.

FIRE HYDRANT LOCATIONS
SCALE: 1"=400'



KEYED NOTES

1. FRONT YARD BUILDING SETBACK
2. NEW CONCRETE SIDEWALK, PER STANDARD DWG 2430
3. FRONT YARD LANDSCAPING BUFFER
4. 3 SPACE BICYCLE RACK
5. TYP. PARKING STALL
6. EXISTING CMU WALL TO REMAIN-NEW STUCCO (LIGHT EARTHTONE COLOR)
7. SIDE YARD BUILDING SETBACK
8. SIDE YARD LANDSCAPING BUFFER
9. TYP. EMPLOYEE PARKING STALL
10. ROOF OF PEDESTRIAN WALK
11. 6' HIGH STUCCO TRASH ENCLOSURE
12. 6' WIDE REAR YARD PLANTING BUFFER PER LANDSCAPE PLAN
13. ASPHALT DRIVE LOT
14. PRIVATE ENTRANCE DETAIL PER COA STD DWG 2426 WITH UNILATERAL ACCESS RAMPS.
15. LANDSCAPE AREA
16. COVERED ENTRY
17. HEADER CURB
18. DOWNSPOUT AND GUTTER, TYP.
19. 'PBD' PRE-FINISHED METAL ROOF PANEL SYSTEM. SLOPE 2:12 TYP.
20. SINGLE PLY MODIFIED BITUMEN ROOFING.
21. SOUPPER WITH SPLASHBLOCK BELOW.
22. ROOF CRICKET
23. STUCCO ON CAST-IN-PLACE CONCRETE
24. 6' CMU YARD WALL, STUCCO
25. 'OUT' 'IN' ARROWS AND TEXT PAINTED ON PAVING.
26. NEW CONCRETE SIDEWALK

REVISED
AFD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
7/10/06
SIGNATURE & DATE

OFFICE-5,503 & VB
2,002 GPM (2 HRS)
WAREHOUSE 4,500 & V-B
1,811 GPM (2 HRS)

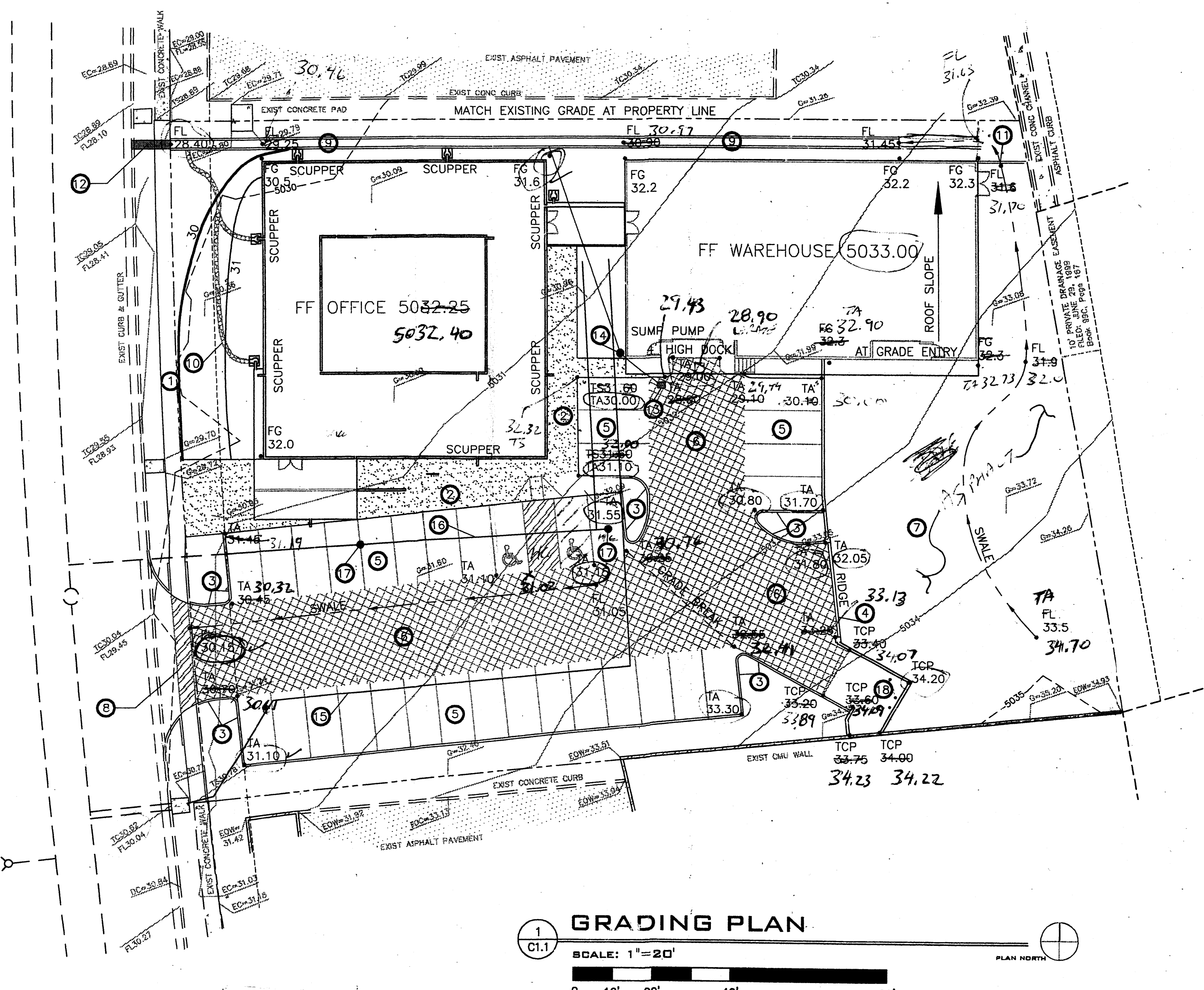
AFD PLANS CHECKING OFFICE
824-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
7/10/06
SIGNATURE & DATE

VB Cont
2700gpm
3 hydrants.
10003

SITE DEVELOPMENT PLAN

SCALE: 1"=1'-0"
0 5' 10' 20' 40'

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 6/28/06
A.H.

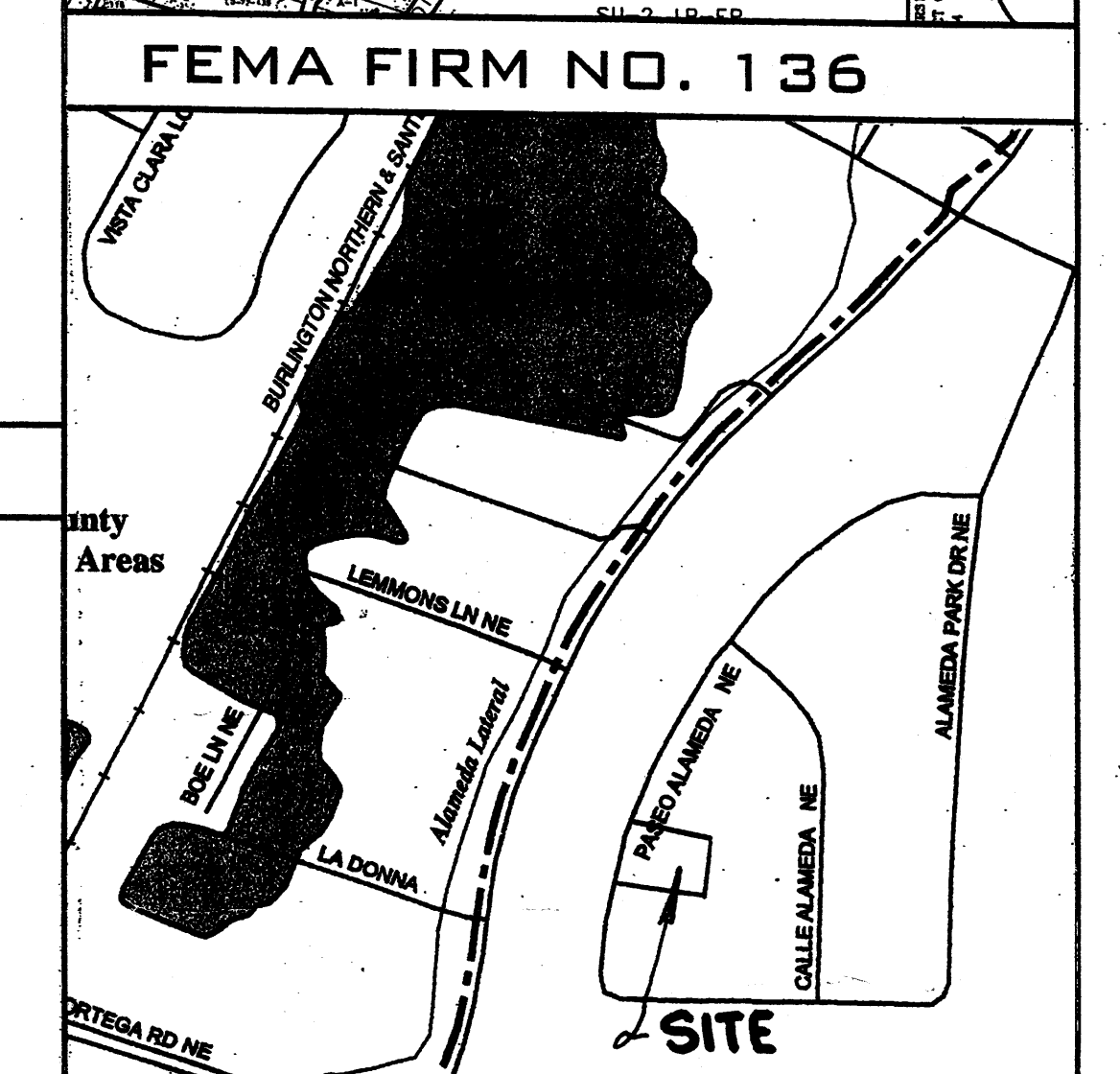
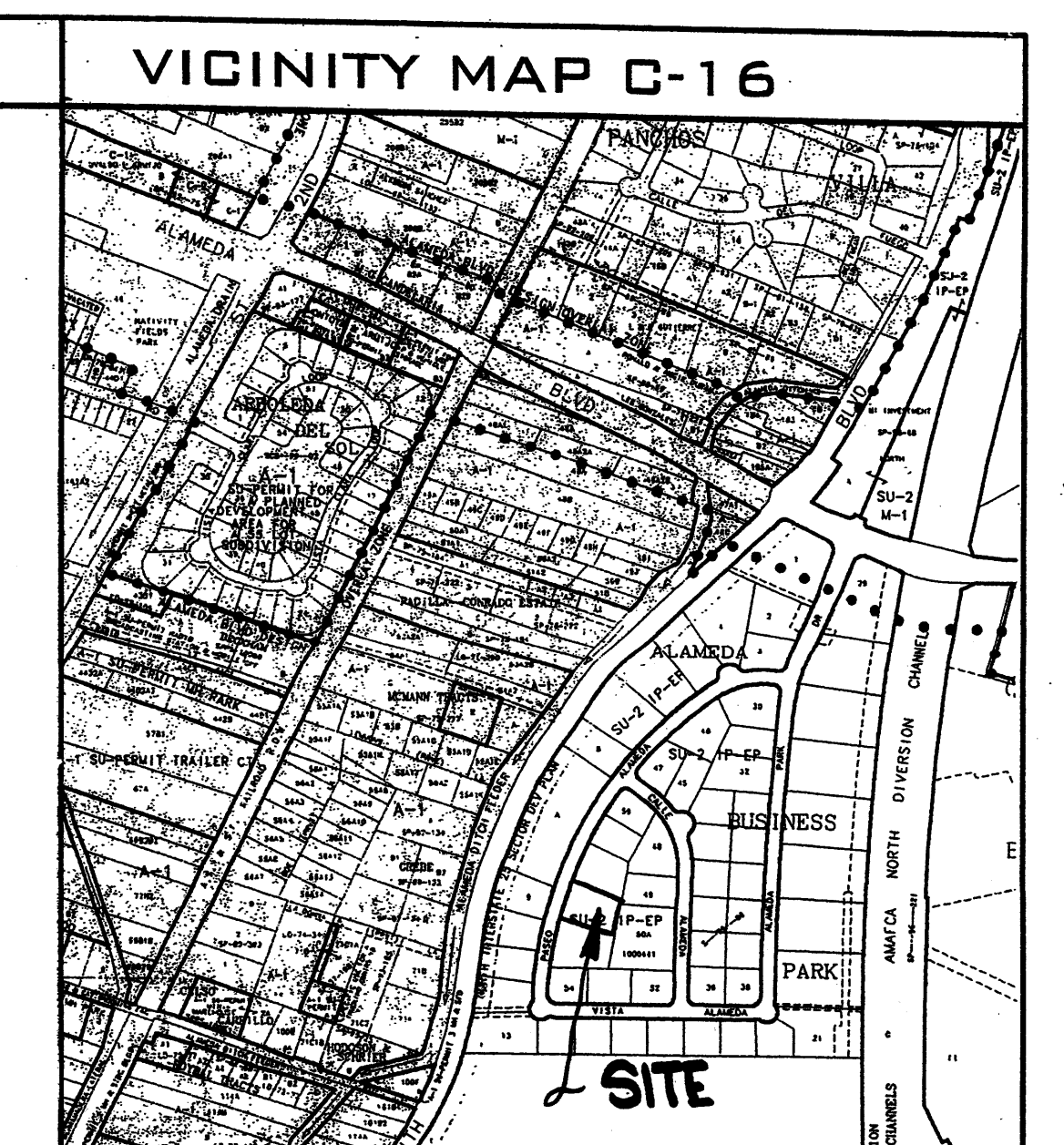


SANDIA LAND SURVEYING
IS CASA TERRENOS
PLATAS, N.M. 87043
867-1241
ANDREW S. MCBOINA
PLS 12649
Publ MCL 4-19-07

- ### OKEYED NOTES
1. CITY SIDEWALK. SEE CITY OF ALBUQUERQUE STD. DWG. 2430.
 2. TURNDOWN SIDEWALK. SEE DETAIL SHEET C1.2.
 3. HEADER CURB. SEE DETAIL SHEET C2.
 4. CUT-OFF WALL. USE HEADER CURB. TOP OF CURB FLUSH w/ TOP OF ASPHALT.
 5. ASPHALT PAVEMENT - LIGHT DUTY. SEE DETAIL SHEET C1.2.
 6. ASPHALT PAVEMENT - HEAVY DUTY (HATCHED AREA). SEE DETAIL SHEET C1.2.
 7. GRAVELED ACCESS AND STORAGE. 3" THICK 3/4" GRAVEL ON COMPACTED (95%) NATURAL SOILS.
 8. 24 FOOT WIDE DRIVEPAD DETAIL. SEE CITY OF ALBUQUERQUE STD. DWG. 2425, SECTION E-E.
 9. 2 FOOT WIDE CONCRETE CHANNEL. SEE DETAIL SHEET C1.2.
 10. 12" DRY STREAM. SEE DETAIL SHEET C1.2.
 11. 2-6 PVC PIPES THRU WALL OR 2 CMU'S ON EDGE AT GROUND LEVEL TO PROVIDE FOR DRAINAGE.
 12. 1 BARREL 24" WIDE SIDEWALK CULVERT. SEE CITY OF ALBUQUERQUE STD. DWG. 2236.
 13. CONCRETE DRAIN BASIN. SEE DETAIL SHEET C1.2.
 14. SUMP PUMP AND POWER SUPPLY w/ INTAKE AND DISCHARGE LINES. MINIMUM PUMP CAPACITY 256 GPM.
 15. 3/4" WATER LINE FROM EXISTING METER BOX TO BUILDING CONNECTION, HOT BOX AND BACKFLOW PREVENTER. SEE PLUMBING DRAWINGS.
 16. 4" SANITARY SEWER SERVICE FROM EXISTING TO BUILDING CONNECTIONS. SEE PLUMBING DRAWINGS.
 17. SANITARY SEWER CLEANOUT. SEE DETAIL SHEET C1.2.
 18. REFUSE ENCLOSURE. SEE ARCHITECTURAL DRAWINGS.

- ### GRADING NOTES
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

- ### EROSION NOTES
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.



GENERAL NOTES

EXISTING CONDITION:
THE SITE IS LOCATED IN A COMMERCIAL SUBDIVISION THAT WAS DEVELOPED IN 2000. THE SITE IS A GRADED LOT WITH COMPLETE INFRASTRUCTURE. DRAINAGE FROM EACH LOT IN THE SUBDIVISION HAS FREE DISCHARGE.

PROPOSED CONDITION:
THE SITE IS TO BE DEVELOPED WITH TWO SEPARATE OFFICE AND WAREHOUSE BUILDINGS. MOST OF THE PARKING LOT FLOW WILL DIRECTED TO THE STREET THROUGH THE ENTRY AND THE BALANCE OF THE SITE WILL BE DISCHARGED TO THE STREET VIA A CONCRETE CHANNEL.

LEGEND

TBM	TEMPORARY BENCHMARK	GW	GUY WIRE
FF	FINISH FLOOR	PED	ELEC. OR TEL. PEDESTAL
FG	FINISH GRADE	RD	ROOF DRAINAGE POINT
FL	FLOWLINE		
TA	TOP OF ASPHALT		
TCP	TOP OF CONCRETE		
TC	TOP OF CURB		
TP	TOP OF EARTH PAD		
TS	TOP OF SIDEWALK		
TW	TOP OF WALL		
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE		
MH	MANHOLE		
CB	CATCH BASIN GRATE		
GM	GAS METER		
GV	GAS VALVE		
LP	LIGHT POLE		
PP	POWER POLE		

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	(table 8)	(table 9)	
EXISTING	10	A	0	0.13	0.38	0	0.00
		B	37097	0.28	0.95	866	0.81
		C	0	0.52	1.71	0	0.00
		D	0	1.34	3.14	0	0.00
		TOTAL	37097			866	0.81
	100	A	0	0.53	1.56	0	0.00
		B	37097	0.78	2.28	2411	1.94
		C	0	1.13	3.14	0	0.00
		D	0	2.12	4.7	0	0.00
		TOTAL	37097			2411	1.94
DEVELOPED	10	A	0	0.13	0.38	0	0.00
		B	5624	0.28	0.95	131	0.12
		C	6485	0.52	1.71	281	0.25
		D	24988	1.34	3.14	2790	1.80
		TOTAL	37097			3203	2.18
	100	A	0	0.53	1.56	0	0.00
		B	5624	0.78	2.28	366	0.29
		C	6485	1.13	3.14	611	0.47
		D	24988	2.12	4.7	4415	2.70
		TOTAL	37097			5391	3.46

SUMP PUMP

POND VOLUME
ASSUME POND DEPTH AT GRATE = 8"
APPROX. POND VOLUME = 276 C.F., IMPERVIOUS BASIN,
AREA = 5275 S.F., AVERAGE RAINFALL TO PRODUCE 276 C.F. IN THIS BASIN = 0.63 IN.

DUE TO SMALL POND VOLUME AND CLOSE PROXIMITY OF PEAK RAINFALL TIME TO TIME TO PRODUCE -63 INCHES IT IS RECOMMENDED THAT PEAK RAINFALL RATE BE USED TO SIZE THE SUMP PUMP SYSTEM.

THE PREFERRED INSTALLATION IS A DUAL PUMP SYSTEM WITH AUTOMATIC SWITCHING AND MECHANICAL FLOAT ACTUATION.

REQUIRED PEAK CAPACITY OF THE SUMP PUMP SYSTEM
Q = (5275)(4.7)/43560 = 0.57 CFS = 256 GAL/MIN

DRAINAGE CERTIFICATION

I, WALLACE L. BINGHAM, NMPE 7281, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/18/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY A LICENSED SURVEYOR AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION
92.10
OR
92.50/

LEGAL DESCRIPTION

LOT 56, ALAMEDA BUSINESS PARK

PERMANENT BM

NDC 7-1B2 ELEVATION 5064.40

Cheshire Office/Warehouse

8516 Paseo Alameda
Albuquerque, NM

RECEIVED
APR 27 2007
PLANNING SECTION

G. DONALD DUDLEY AIA
ARCHITECT

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400 GOLD AVENUE, SW
ALBUQUERQUE, NEW MEXICO
8 7 1 0 2
TEL 505.243.8100
FAX 505.843.8820

date: JUNE 21, 2006
drawn by: JJB

C1.1
3
sequence no. of 30