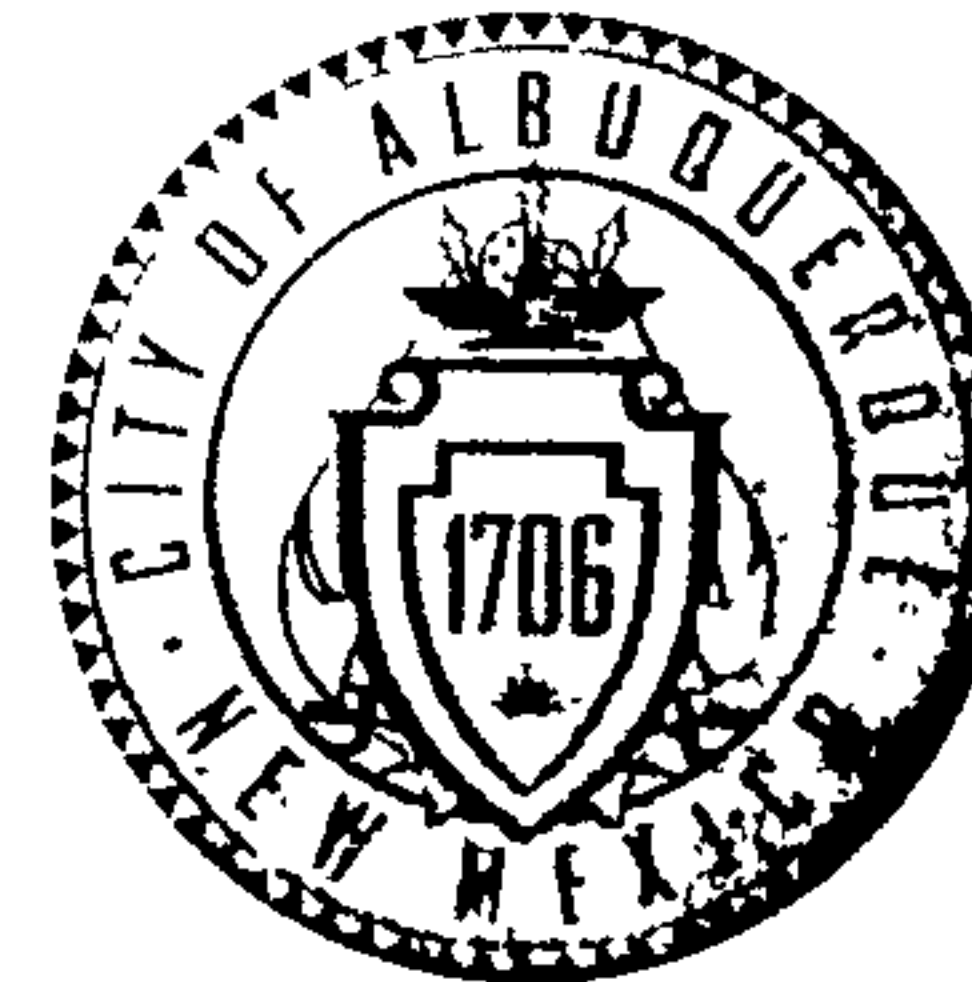


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

February 20, 2009

H. Ronald James, Registered Architect  
HRJ Architecture, LLC  
PO Box 1088  
Pecos, NM 87552

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Ray Cravey Lease Bldg, [C-16 / D006KK]  
8504 Calle Alameda NW  
Architect's Stamp Dated 02/20/09

PO Box 1293

Dear Mr. James:

Albuquerque

The TCL / Letter of Certification submitted on February 20, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

NM 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

**TRAFFIC CERTIFICATION**

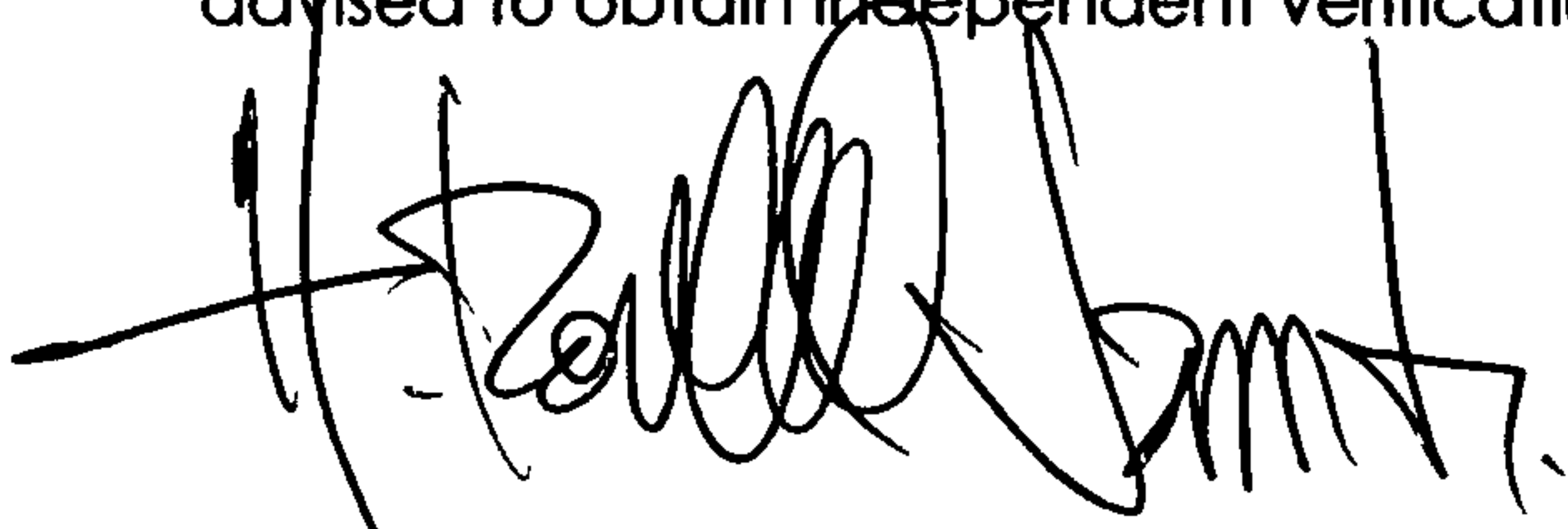
I, H. Ronald James, Jr., a New Mexico Registered Architect No. 2399, of the firm HRJ Architecture, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the City of Albuquerque DRB, AA, or TCL approved plan dated 30 April 2007.

I further certify that I have personally visited the project site on 20 February, 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for final Certificate of Occupancy.

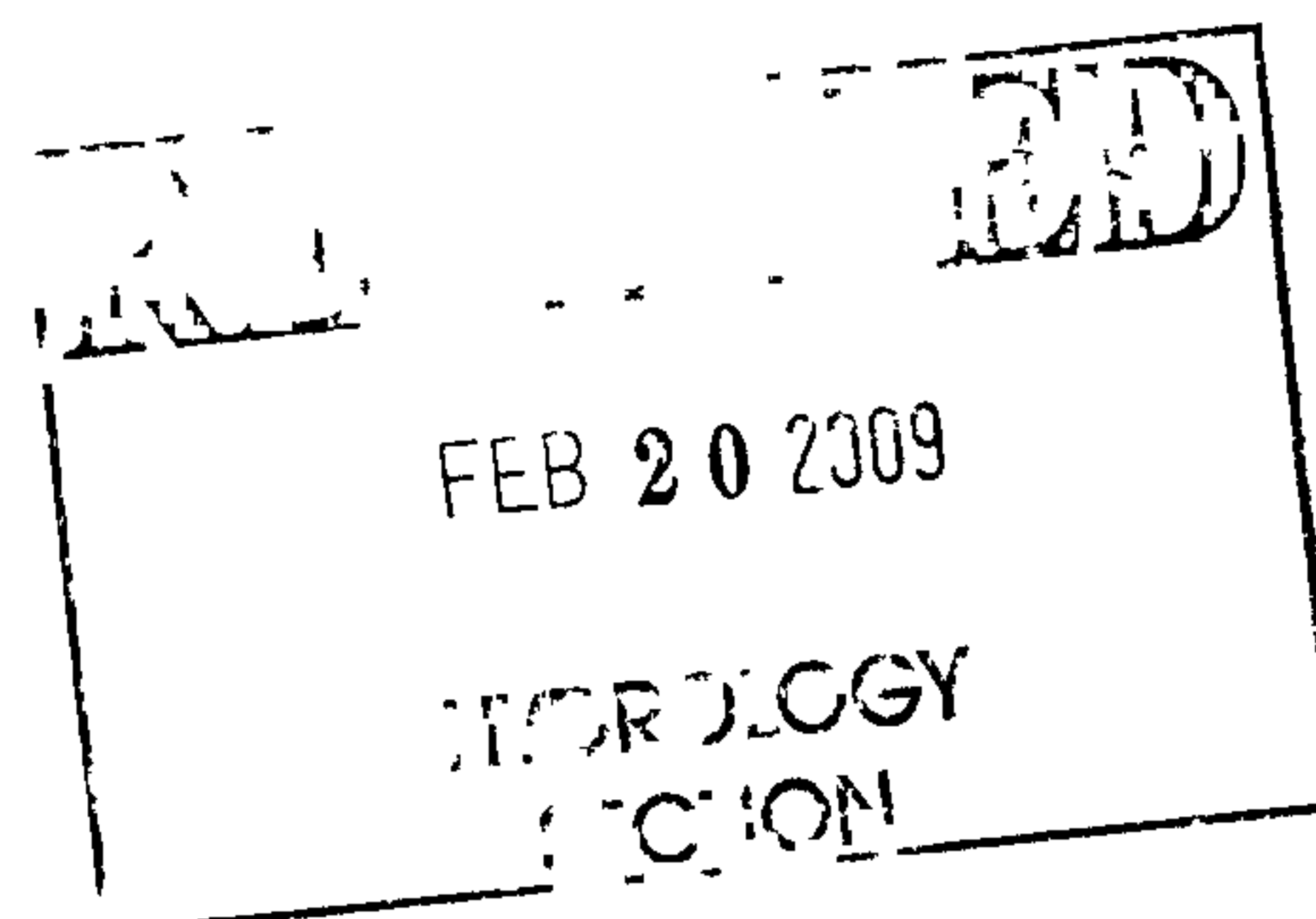
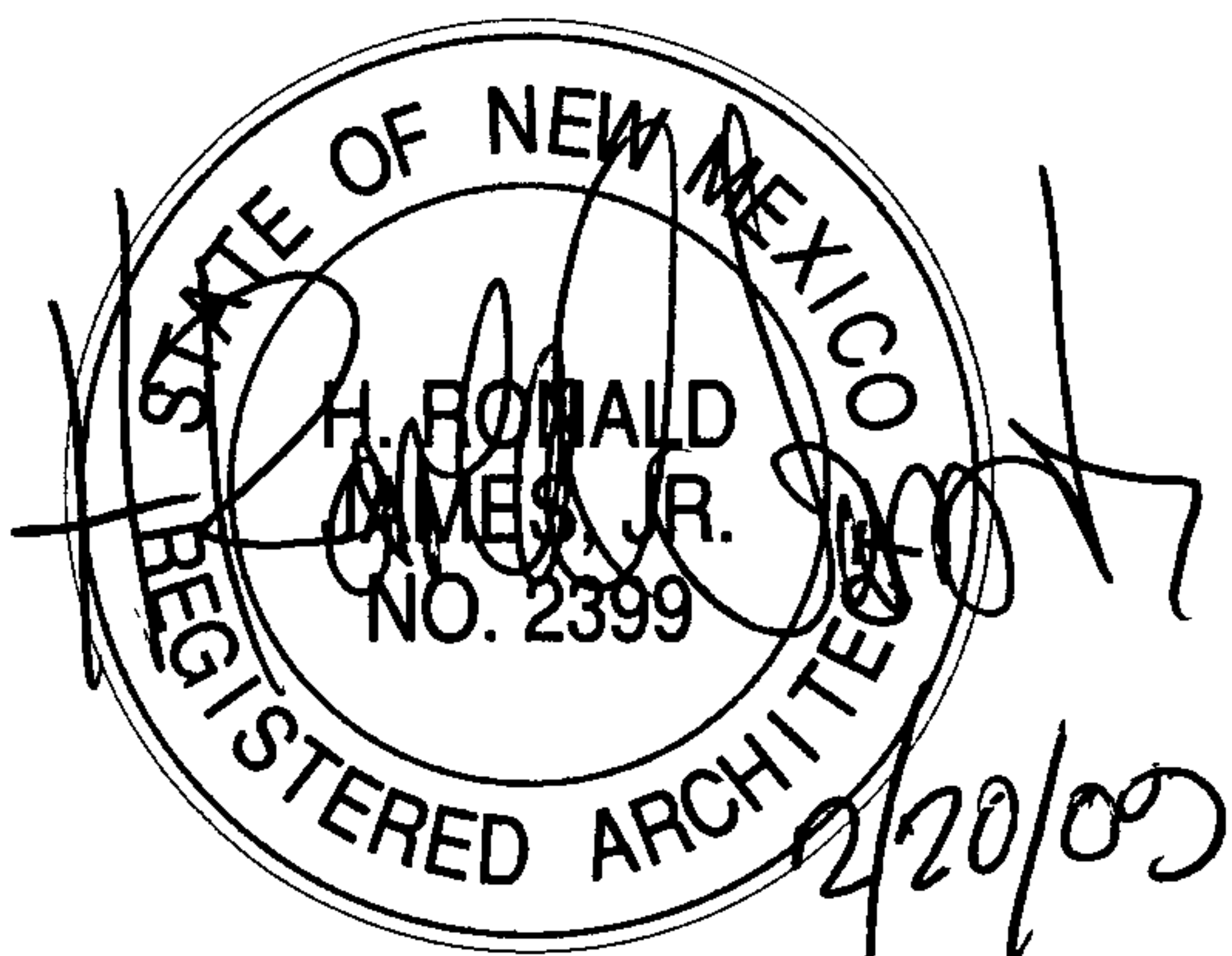
Exceptions noted and initialed on the submitted DRB drawing include:

- Dirt area on the east side of building was in-filled with a concrete slab.
- 48" concrete drive apron on south side of building extended.
- Relocated 6' wide private walk from public sidewalk to building; to a 5' wide with 6 steps at main entry doors.
- Addition of handicap ramp adjacent to drive entry from public access to facility entrance.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



H. Ronald James, Jr.  
President/Architect





(60.00' ROW/ 40.00' CURB TOT CURB)

50'-0" BUILDING

8'-0" SW

26'-0"

EXISTING WATER  
METER CAN

30'-0" CURB CUT

RB AND

SEWER YARD LINE  
SEE SHEET P1

R=

6'-0" LONG  
LAND'G

60" WIDE STAIR  
WITH 6 EQUAL  
RISERS = 40"  
OVERALL RISE

5'x6' LANDING  
1:48 MAX SLOPE  
LEVEL WITH  
SIDEWALK EDGE

HANDRAIL  
SHALL BE  
34" TO 38"  
ABOVE RAMP  
SURFACE WITH  
12" LEVEL  
EXTENSIONS  
EACH SIDE

21" RISE

21' RAMP 60" WIDE  
1:12 SLOPE

12' SIDEWALK 60"  
WIDE-1:20 SLOPE

7" RISE

5'x5'  
Land'g  
1:48

12" Level  
Handrail Extension

3.0'R

20'-0"



CONCRETE WHEEL  
STOPS

BIKE

2 SPA  
8'-6" =

HC  
AISLE

HRJ 2/20/09

ENLARGED DETAIL  
8504 CALE ALAMEDA NW.  
1"=10'-0"

3" ASPHALT PAI  
OVER BASE COU  
SEE SOILS REPOI

EXTRUDED CURE  
DETAIL R THIS

FRONT DC

HANDICA  
SIGN - S  
D THIS S



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: Ray Cravey Lease Building ZONE ATLAS/DRNG. FILE #: C16 *1006K 12*  
DRB #: 1005473 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 40 OF THE ALAMEDA BUSINESS PARK  
CITY ADDRESS: 8504 CALLE ALAMEDA NW. ALBUQUERQUE, NM 87113

ENGINEERING FIRM: BERNIE MONTOYA CONSULTING ENGINEERS CONTACT: BERNIE MONTOYA  
ADDRESS: 8624 CASA VERDE Ave NW PHONE: (505) 250.7719  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87120

OWNER: RAY CRAVEY CONTACT: RAY CRAVEY  
ADDRESS: 3701 HAWKINS ST NE PHONE: 341-4828  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

ARCHITECT: HRJ Architecture, LLC CONTACT: H. Ronald James, Jr.  
ADDRESS: PO BOX 1088 PHONE: 505-757-3691  
CITY, STATE: PECOS, NM ZIP CODE: 87552

SURVEYOR: BERNIE MONTOYA CONSULTING ENGINEERS CONTACT: BERNIE MONTOYA  
ADDRESS: 8624 CASA VERDE Ave NW PHONE: (505) 250.7719  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87120

CONTRACTOR: Nichols Corp CONTACT: Jim Montoya  
ADDRESS: 4801 Alameda Blvd NE PHONE: 505/440-9770  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ **TRAFFIC CIRCULATION LAYOUT (TCL)**
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ **CERTIFICATE OF OCCUPANCY (PERM.)**
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

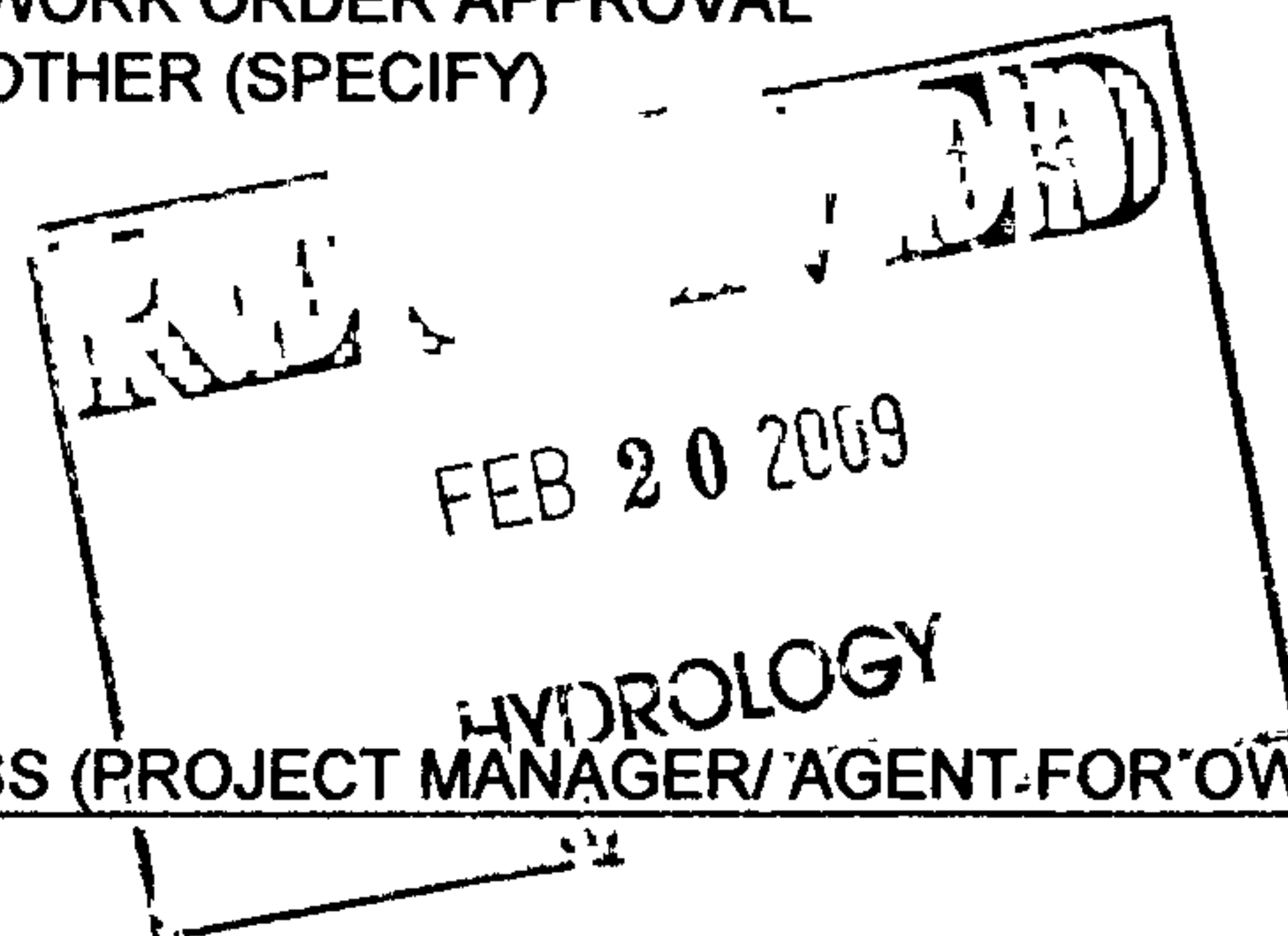
DATE SUBMITTED: 3.19.07 BY: JEFFREY S. FOSS (PROJECT MANAGER/AGENT FOR OWNER)

Jeff Foss: Phone Number: (Home): 821.6429 (Mobile): 991.4806

6345 Christy Rd NE, Albuquerque, NM, 87109

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

October 1, 2008

H. Ronald James JR., Registered Architect  
HJR Architecture, LLC  
PO BOX 1088  
Pecos, NM 87552

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Ray Cravey Lease Bldg, [C-16 / D006KK]  
8504 Calle Alameda NW  
Architect Stamp 09/24/08

Dear Mr. James:

Based on the information provided on your submittal dated September 24, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the sidewalk connection (needs to be ADA) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

***Please redline any changes on Approved Site Plan.***

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

**TRAFFIC CERTIFICATION**

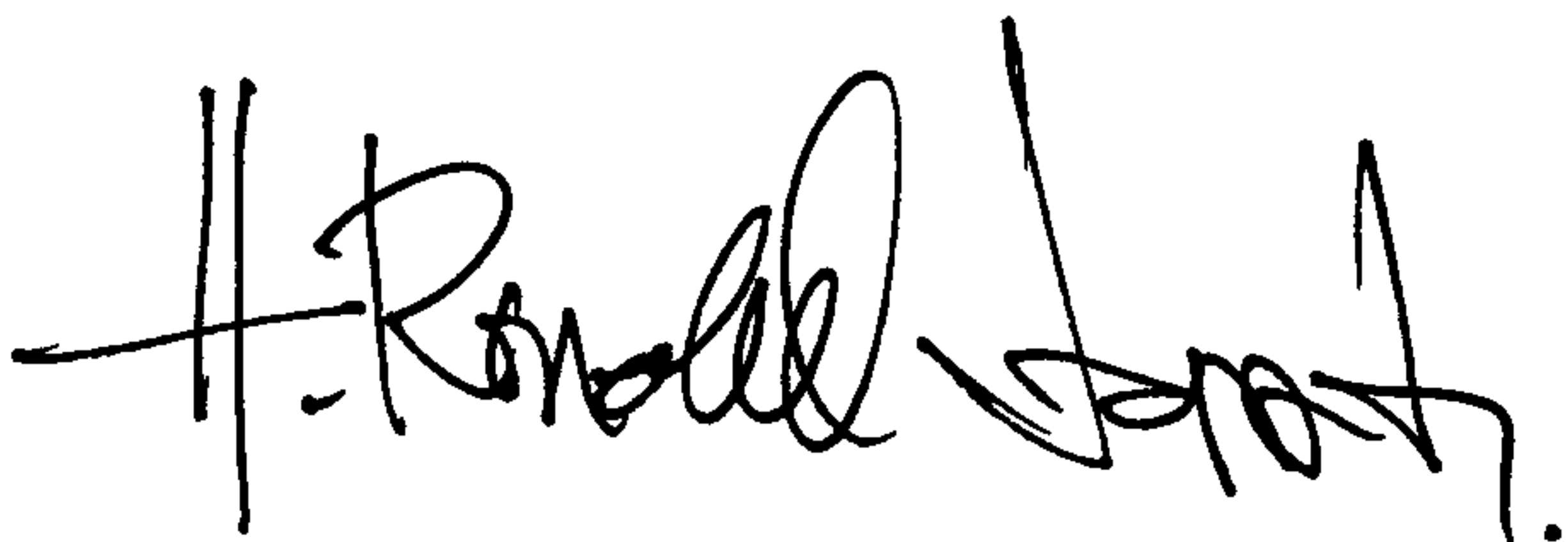
I, H. Ronald James, Jr., a New Mexico Registered Architect No. 2399, of the firm HRJ Architecture, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the City of Albuquerque DRB, AA, or TCL approved plan dated 30 April 2007.

I further certify that I have personally visited the project site on 15 September 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for final Certificate of Occupancy.

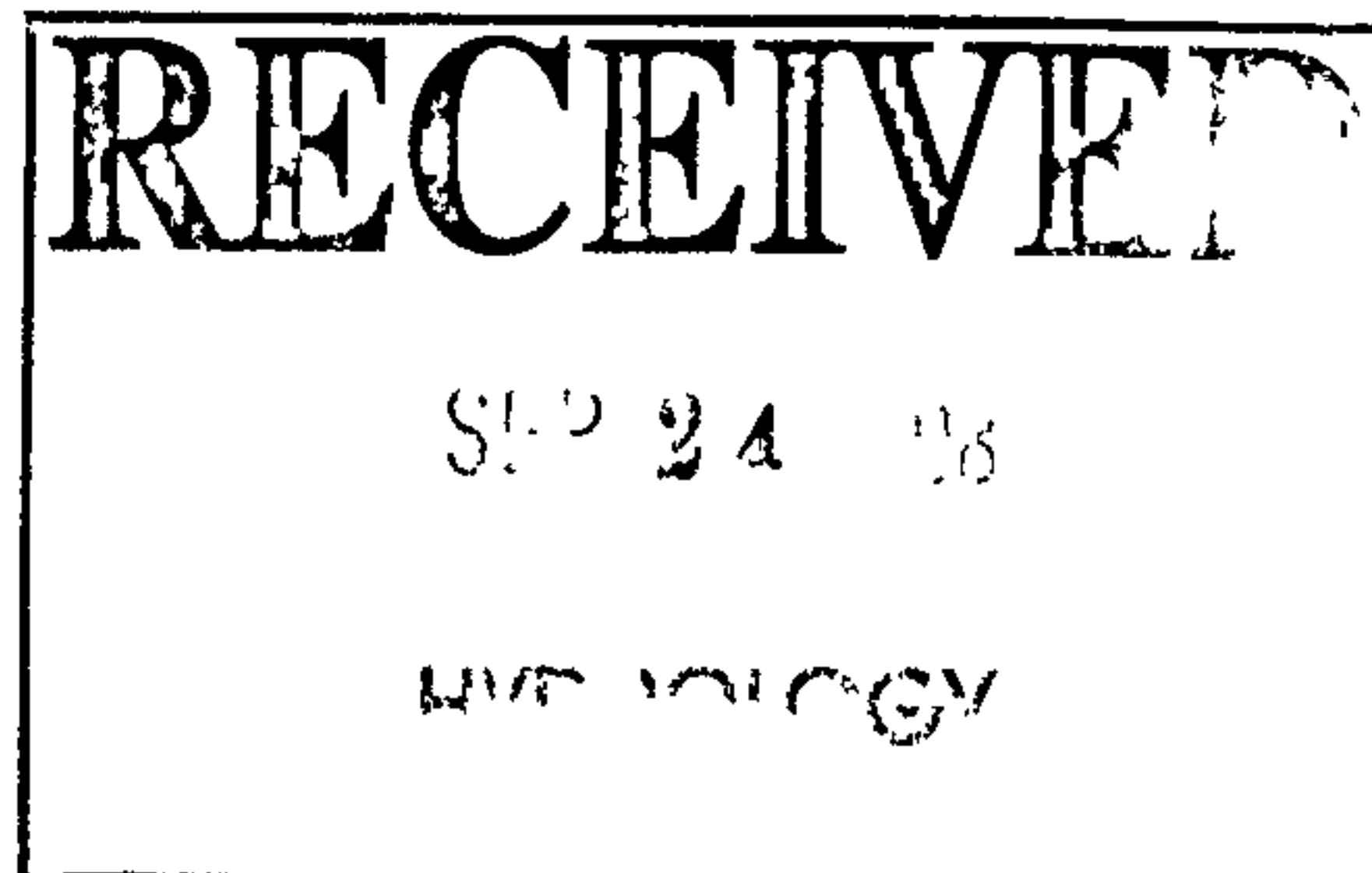
Exceptions noted and initialed on the submitted DRB drawing include:

- Dirt area on the east side of building was in-filled with a concrete slab.
- 48" concrete drive apron on south side of building extended.
- Relocated 6' wide private walk from public sidewalk to building; to a 5' wide with 6 steps at main entry doors.

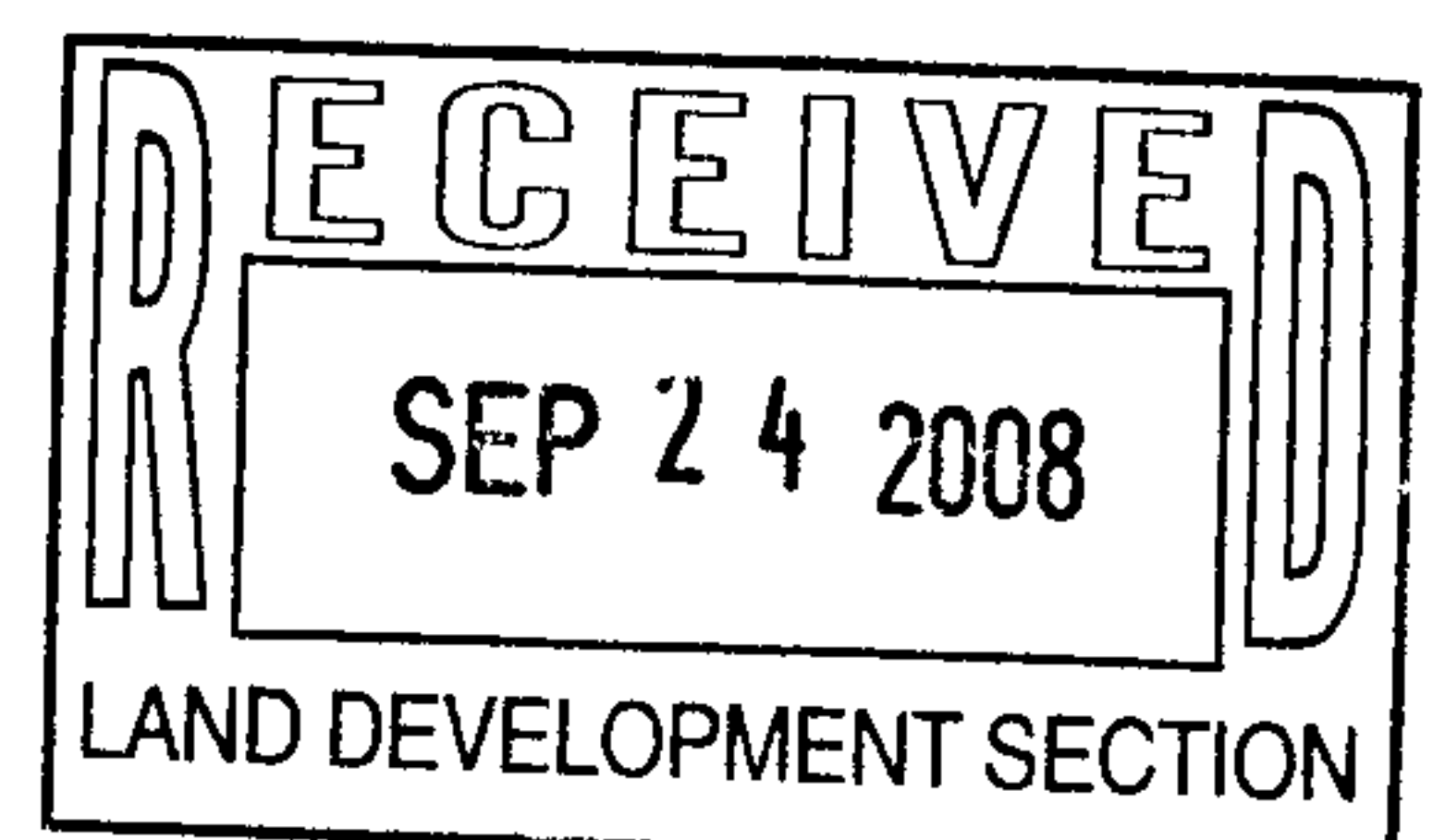
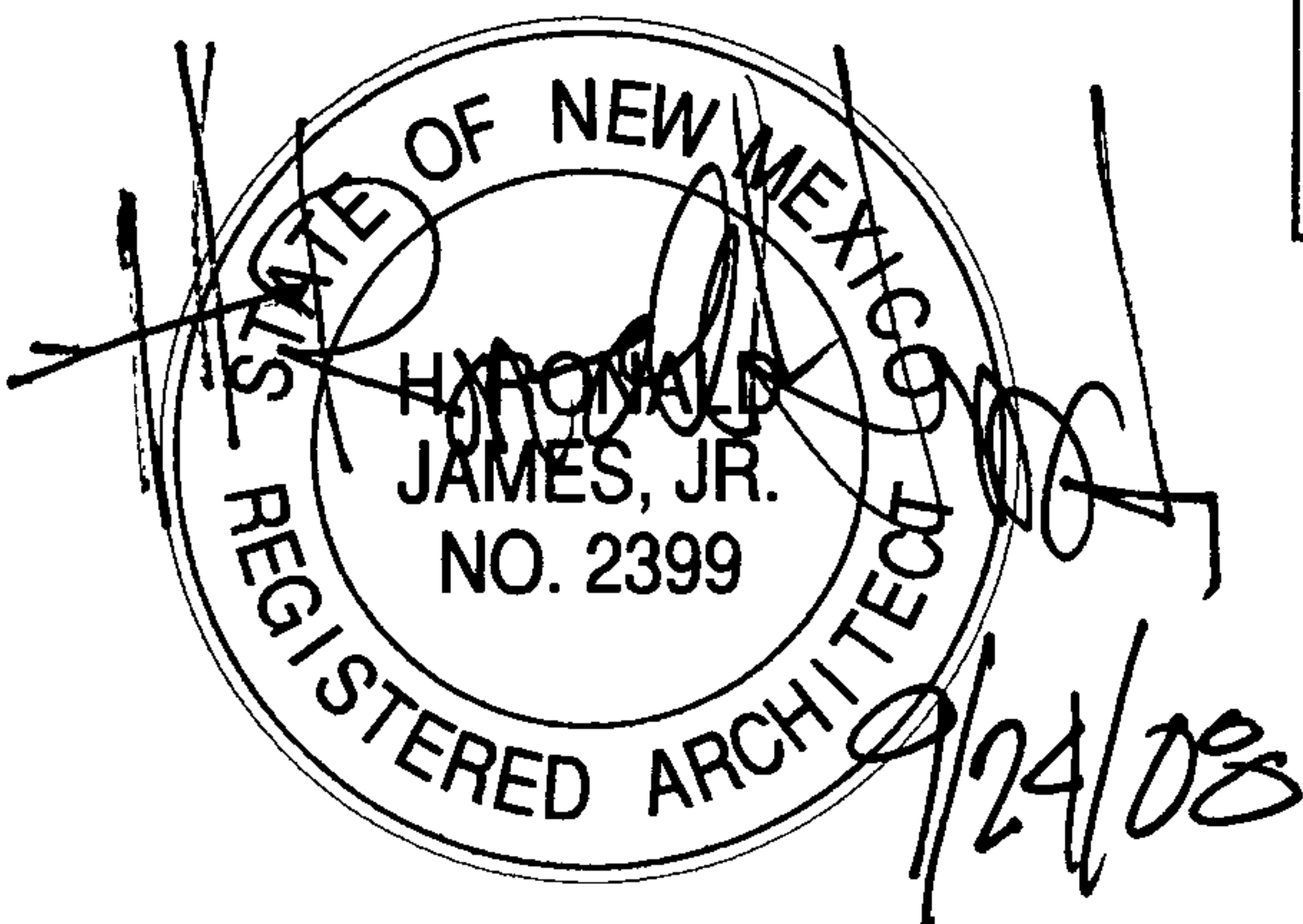
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



H. Ronald James, Jr.  
President/Architect



↑ instead  
[9'6" why?]  
ADA? →





# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: Ray Cravey Lease Building  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE ATLAS/DRNG. FILE #: C16 / D006KK  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 40 OF THE ALAMEDA BUSINESS PARK  
CITY ADDRESS: 8504 CALLE ALAMEDA NW. ALBUQUERQUE, NM 87113

ENGINEERING FIRM: BERNIE MONTOYA CONSULTING ENGINEERS CONTACT: BERNIE MONTOYA  
ADDRESS: 8624 CASA VERDE Ave NW PHONE: (505) 250.7719  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87120

OWNER: RAY CRAVEY CONTACT: RAY CRAVEY  
ADDRESS: 3701 HAWKINS ST NE PHONE: 341-4828  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

ARCHITECT: HRJ Architecture, LLC CONTACT: H. Ronald James, Jr.  
ADDRESS: PO BOX 1088 PHONE: 505-757-3691  
CITY, STATE: PECOS, NM ZIP CODE: 87552

SURVEYOR: BERNIE MONTOYA CONSULTING ENGINEERS CONTACT: BERNIE MONTOYA  
ADDRESS: 8624 CASA VERDE Ave NW PHONE: (505) 250.7719  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87120

CONTRACTOR: Nichols Corp CONTACT: Jim Montoya  
ADDRESS: 4801 Alameda Blvd NE PHONE: 505/440-9770  
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

## TYPE OF SUBMITTAL:

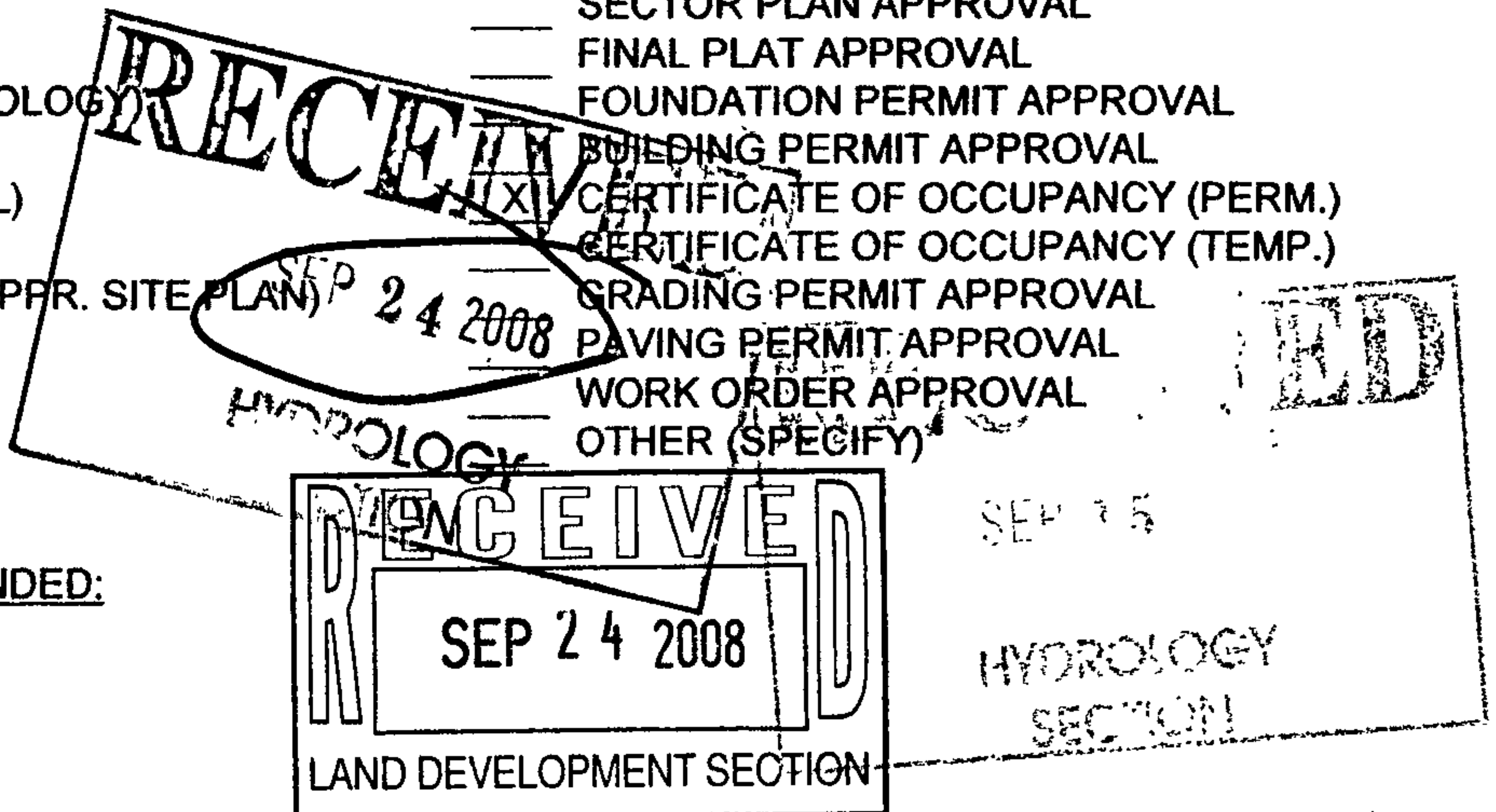
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ **TRAFFIC CIRCULATION LAYOUT (TCL)**  
☒ **ENGINEER'S CERTIFICATION (TCL)**  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 3.19.07 BY: JEFFREY S. FOSS (PROJECT MANAGER/ AGENT FOR OWNER)

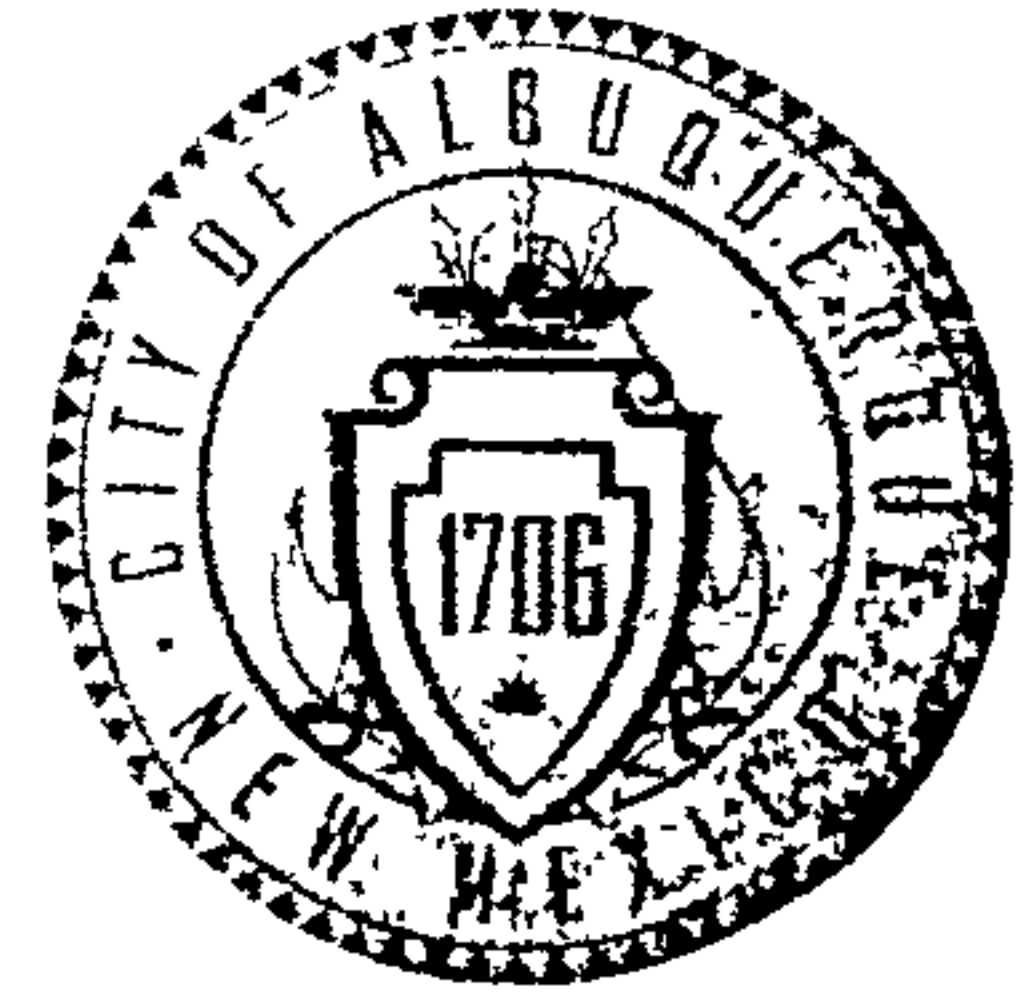
Jeff Foss: Phone Number: (Home): 821.6429 (Mobile): 991.4806

6345 Christy Rd NE, Albuquerque, NM, 87109

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

September 15, 2008

H. Ronald James JR., Registered Architect,  
HJR Architecture, LLC  
PO BOX 1088  
Pecos, NM 87552

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Ray Cravey Lease Bldg, [C-16 / D006KK]  
8504 Calle Alameda NW  
Need to provide Architect Stamp

Dear Mr. James:

Based on the information provided on your submittal dated September 15, 2008, the above referenced project is approved for a 15-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Letter of Certification (See attachment for sample letter) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

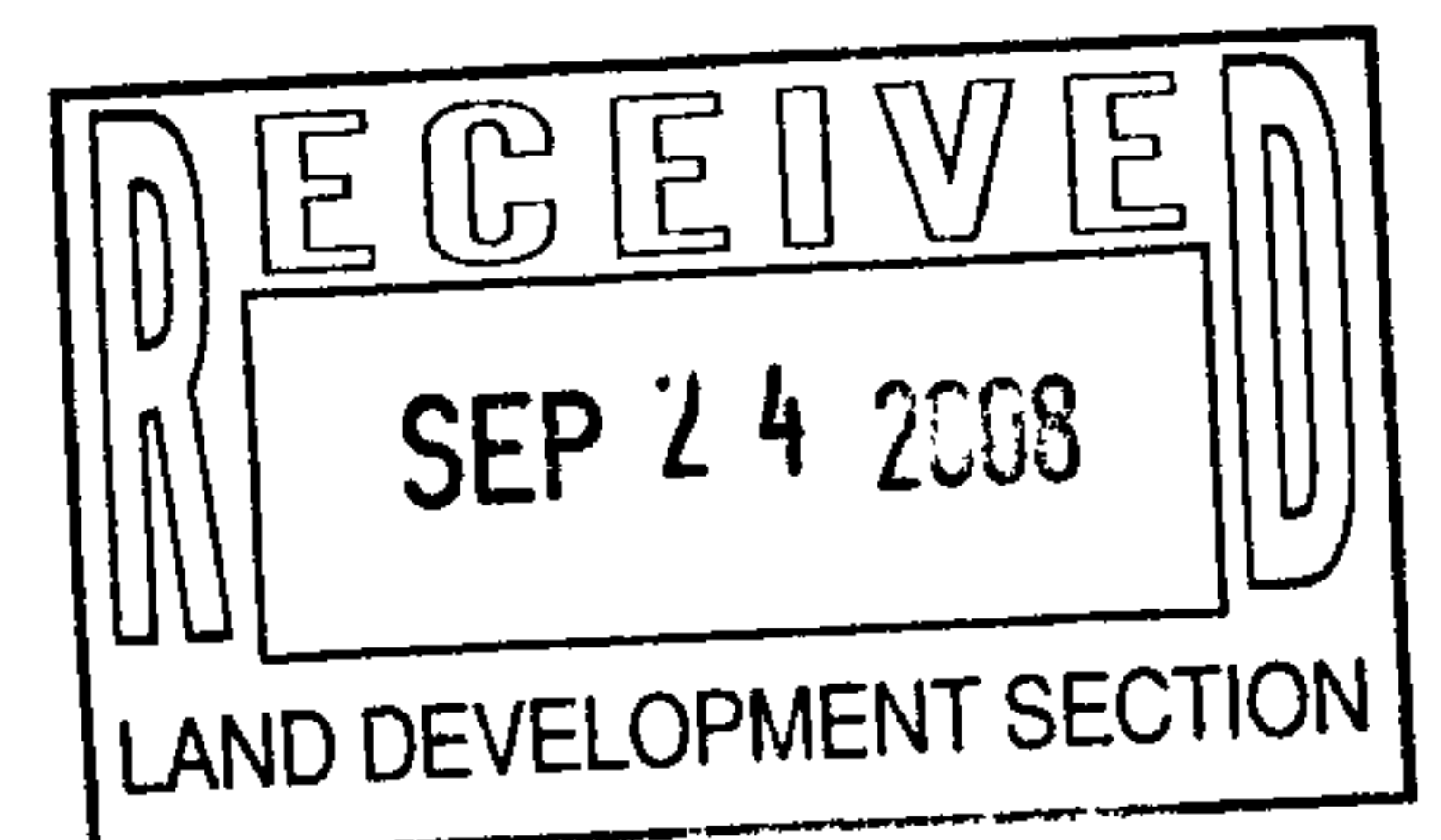
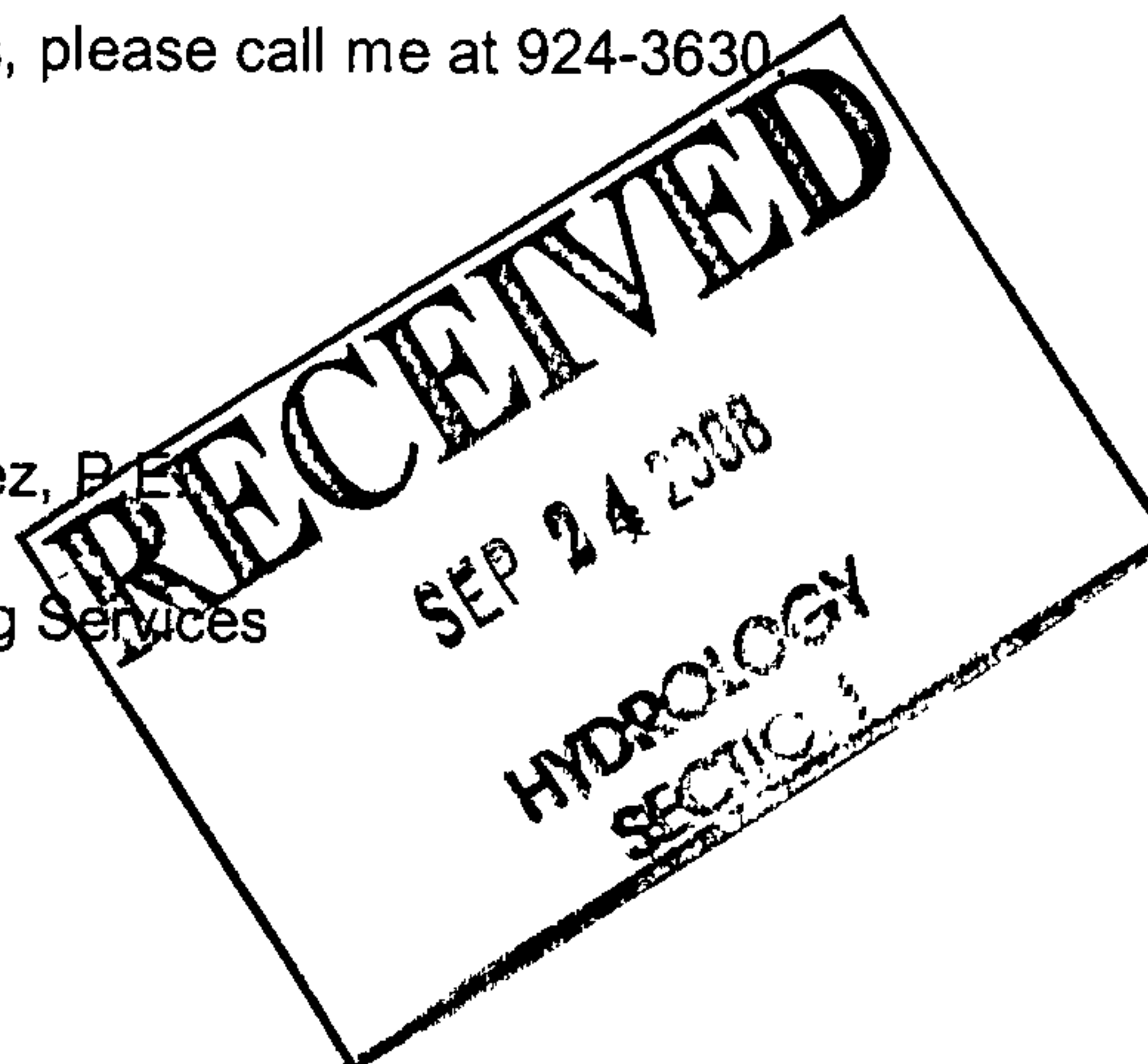
The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

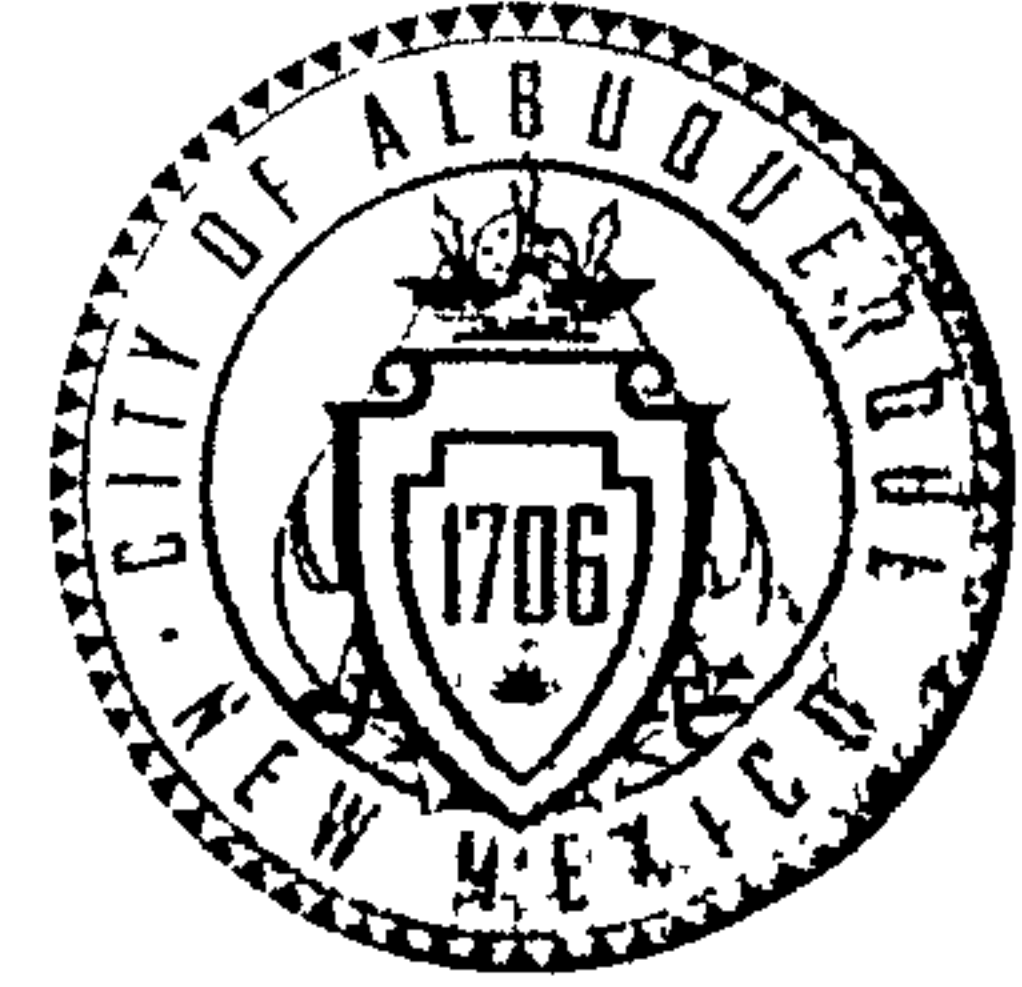
Milo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

September 15, 2008

H. Ronald James JR., Registered Architect,  
HJR Architecture, LLC  
PO BOX 1088  
Pecos, NM 87552

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Ray Cravey Lease Bldg, [C-16 / D006KK]  
8504 Calle Alameda NW  
Need to provide Architect Stamp

Dear Mr. James:

Based on the information provided on your submittal dated September 15, 2008, the above referenced project is approved for a 15-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Letter of Certification (See attachment for sample letter) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

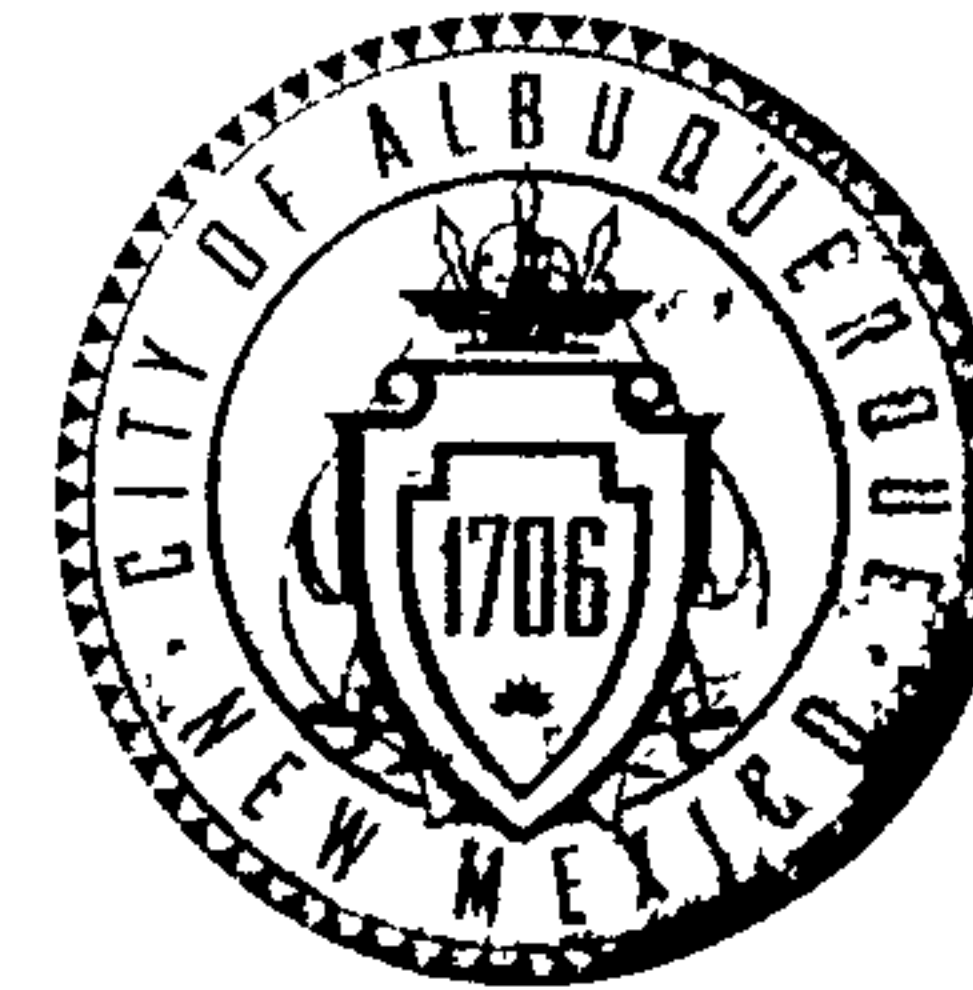
PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



August 25, 2008

Eufracio Sabay, P.E.  
**BJM CONSULTANT**  
8624 Casa Verde Ave. NW  
Albuquerque, NM 87120

**Re: Cravey Office / Warehouse, 8504 Calle Alameda, (C-16/D006KK)**  
**Approval of Permanent Certificate of Occupancy,**  
**Engineer's Stamp Date 2/27/2007**  
**Certification dated: 7-21-08**

Mr. Sabay,

PO Box 1293

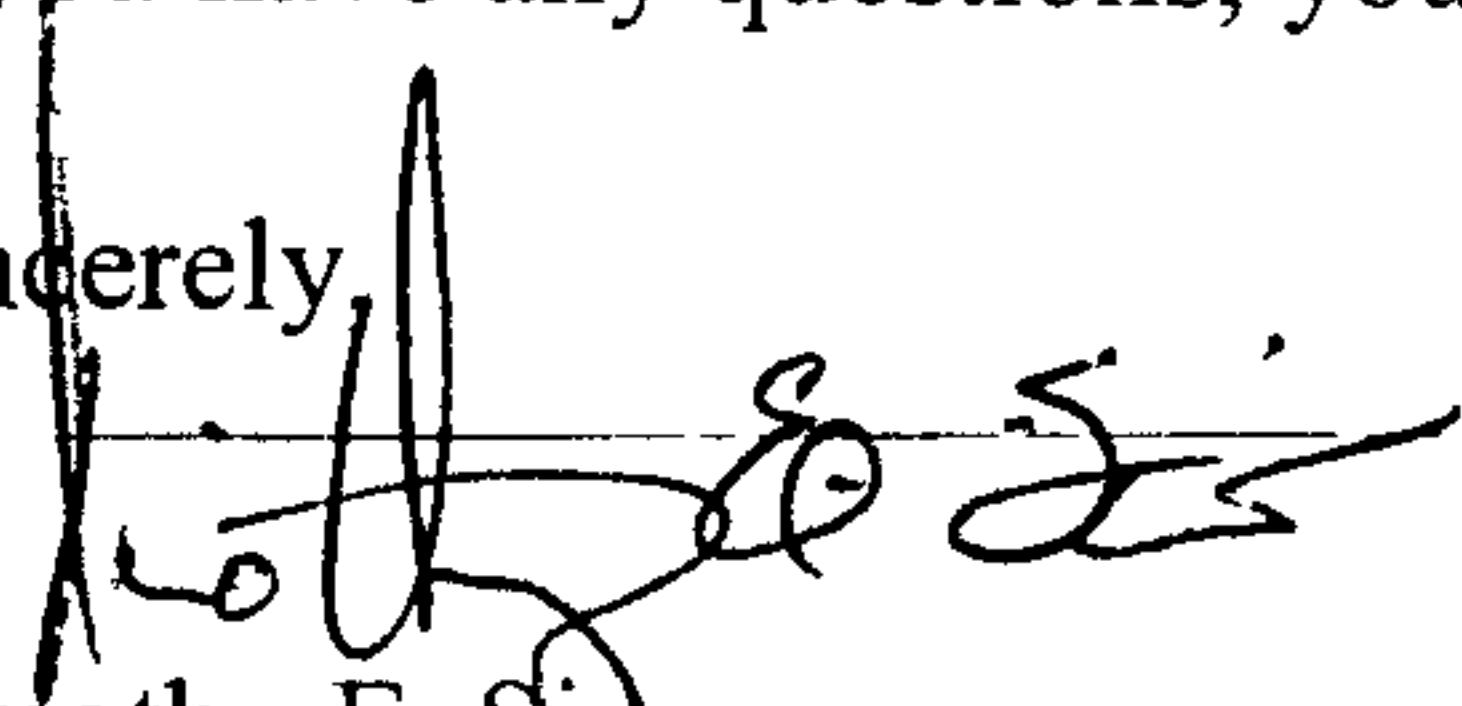
Based upon the information provided in your submittal received 8/22/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103

  
Timothy E. Sims  
Plan Checker-Hydrology, Planning Dept  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
file

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: CRAVEY OFFICE/WAREHOUSE  
DRB #: \_\_\_\_\_ PC#: \_\_\_\_\_

ZONE MAP/DRG. FILE # C16-D6KK  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 40 ALAMEDA BUSINESS PARK  
CITY ADDRESS: 8504 CALLE ALAMEDA N.E.

ENGINEERING FIRM: BJM CONSULTING  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER: RAY CRAVEY  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: JEFF FOSS  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: JEFF  
PHONE: 991-4806  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ PAVING PLAN  
☐ TCL  
☐ RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

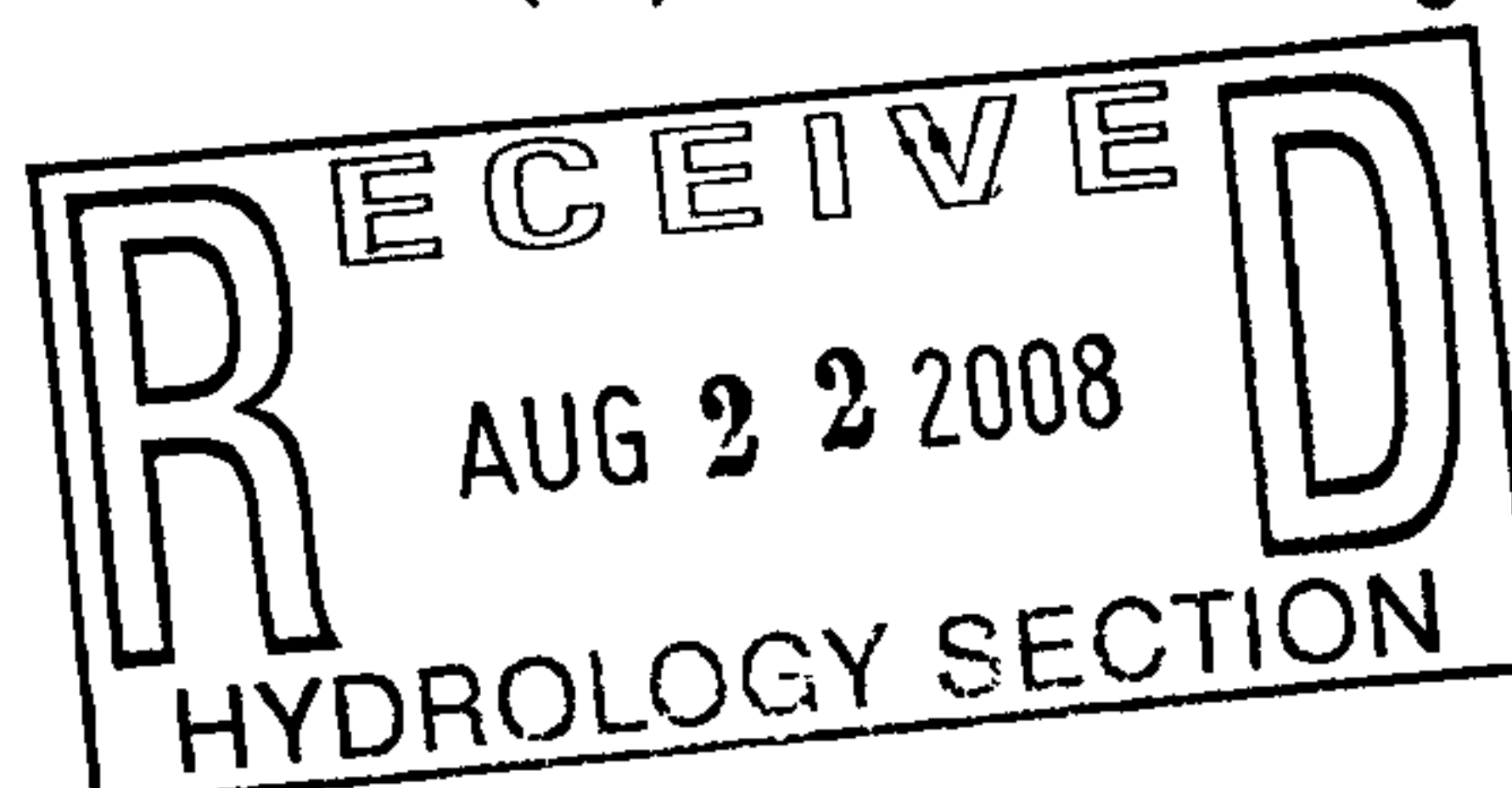
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL \_\_\_\_\_  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 8/24/2006 BY: Bernie Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



March 2, 2007

Eufracio Sabay  
7001 Sendero NW  
Albuquerque, NM 87114

Re: Ray Cravey Lease Building, 8504 Calle Alameda NE  
Engineer's Stamp dated 2-27-07 (C16/D6KK)

Dear Mr. Sabay,

Based on the information contained in your submittal received on February 28, 2007, the above referenced plan is approved for DRB action on the proposed Site Plan for Building Permit. It is also approved for Building Permit inclusive in which is Foundation Permit approval contingent upon DRB sign off.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions or need additional information, feel free to contact me at 924-3990.

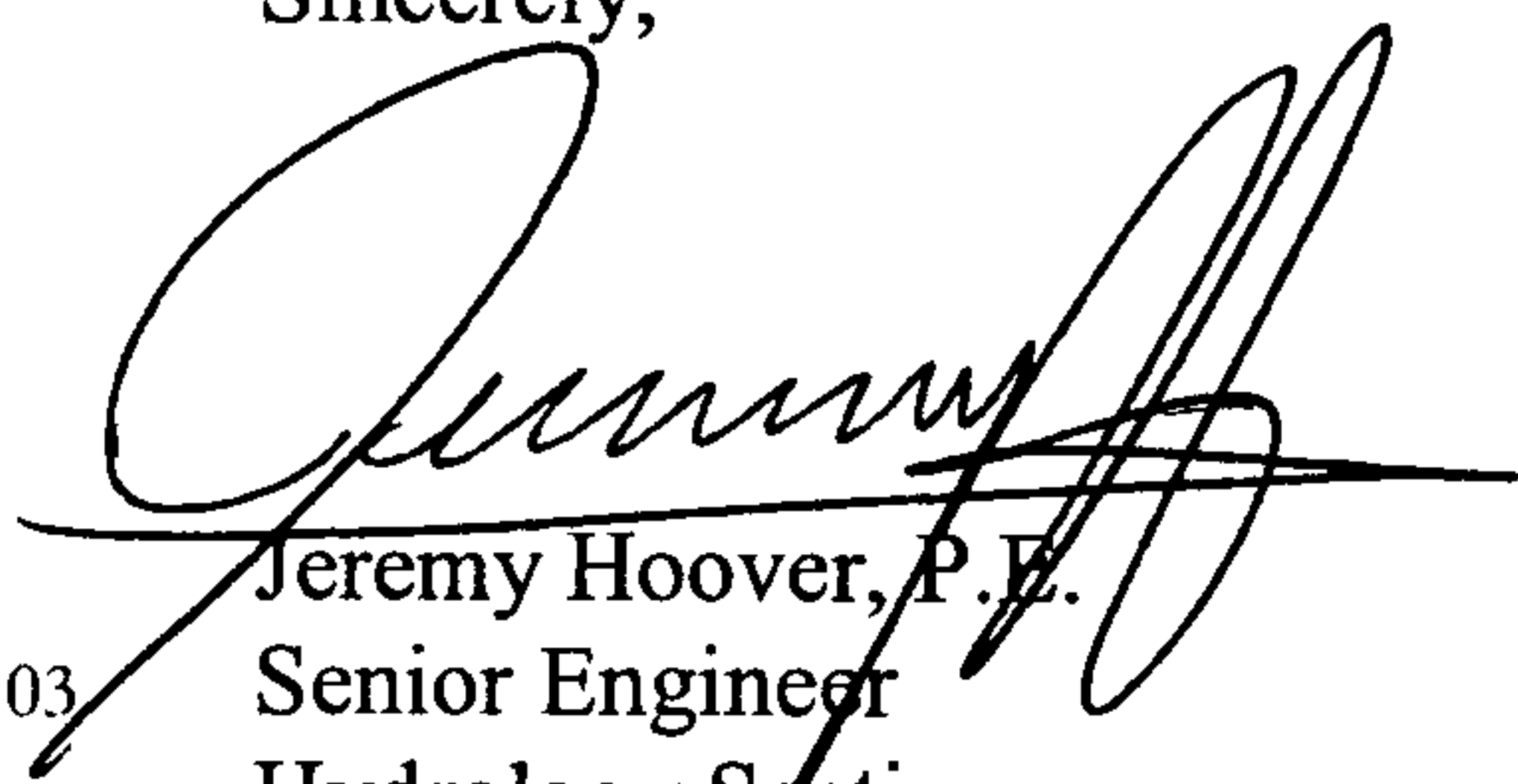
P.O. Box 1293

Sincerely,

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

  
Jeremy Hoover, P.E.  
Senior Engineer  
Hydrology Section  
Development and Building Services

cc: file C16/D6KK

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

C-16/D6KK

PROJECT TITLE: CRAVEY OFFICE/WAREHOUSE  
DRB #: PC#:

ZONE MAP/DRG. FILE # C16-D6KK  
WORK ORDER#:

LEGAL DESCRIPTION: LOT 40 ALAMEDA BUSINESS PARK  
CITY ADDRESS: 8504 CALLE ALAMEDA N.E.

ENGINEERING FIRM: BJM CONSULTING  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER: RAY CRAVEY  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: JEFF FOSS  
ADDRESS:  
CITY, STATE:

CONTACT: JEFF  
PHONE: 991-4806  
ZIP CODE:

SURVEYOR:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR:  
ADDRESS:  
CITY, STATE:

CONTACT  
PHONE:  
ZIP CODE:

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ PAVING PLAN  
☐ TCL  
☒ RESUBMITTAL  
WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

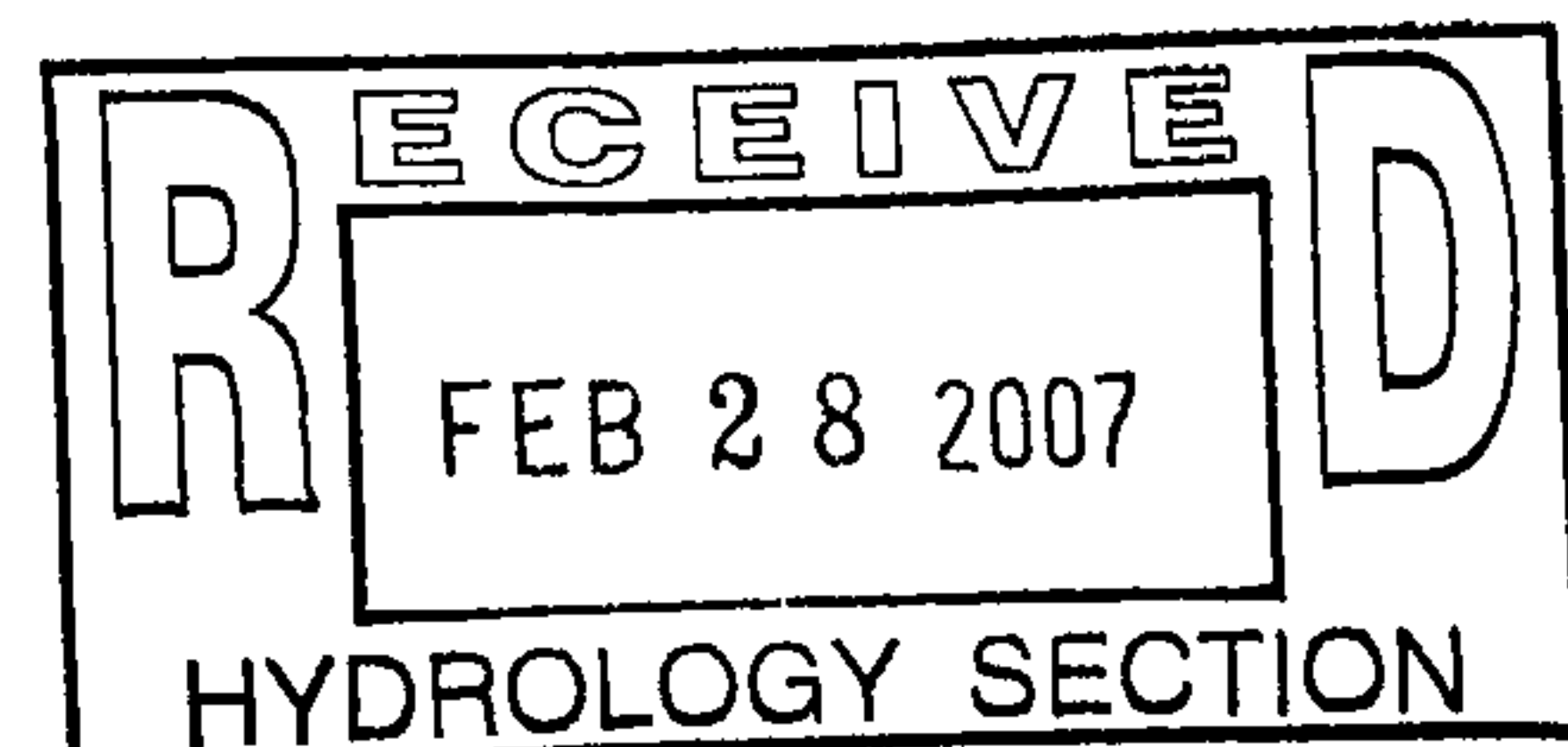
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

DATE SUBMITTED: 2/28/2007 BY: Bernie Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



February 27, 2007

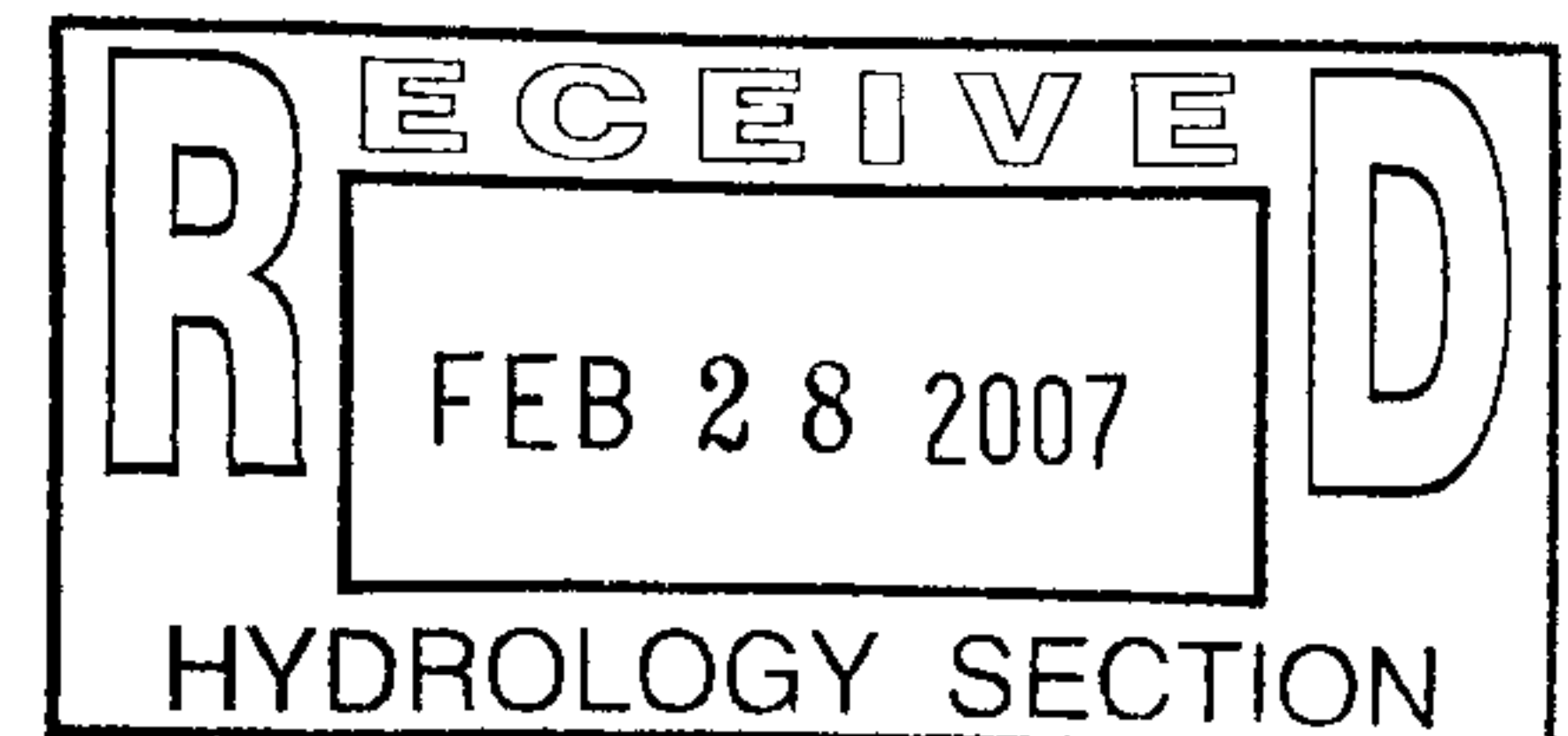
Jeremy Hoover, P.E.  
Senior Engineer, Hydrology Section  
Development and Building Services

**RE: RAY CRAVEY LEASE BUILDING 8504 CALLE ALAMEDA N.E.  
(C16-D6KK)**

Dear Mr. Hoover:

This letter is in response to your comments dated February 16, 2007:

1. Please relocate all of the overlapping text for clarity. *All of the overlapping text has been relocated on the plan drawing for better clarity.*
2. Your "Note to Contractor" should reference the 1986 edition of the City of Albuquerque Standard Specifications for Public Works Construction through Update 7; Amendment 1 *The plan drawing has been updated to reflect the new changes...*
3. The Utility Line Locating Service contact should refer to New Mexico One-Call at 260-1990, not 760-1990. *The plan drawing has been changed to reflect the new call number 260-1990.*
4. Please provide an excerpt from the Master Drainage Plan as it pertains to the allowable discharge (flow per unit acre) from this property. *The Master Drainage Plan provided for free discharge. Per the Master Drainage Plan, all drainage flows will be managed by on-site swales, conveying run-off to the existing perimeter streets.*
5. What will be the depth/section thickness for the proposed asphalt rundown? *The thickness of the proposed rundown will be 4"; the plan drawing has been changed to reflect the 4".* Please indicate the upstream and downstream inverts for these structures. *The plan drawing has been revised to indicate the inverts for both upstream and downstream.*
6. Although referenced as "Detail C", no such detail was included for the new wall. Will there be any retention involved with the wall construction? *The proposed wall is only a garden wall and will not have any retainage of dirt.* Please provide the detail and specifically define the abbreviations TCR, GD, LS, TSW, and AND





DS as used on the plan. *The wall detail has been inserted on the plan drawing and the legend on the plan drawing has been changed to reflect the abbreviations.*

7. How will the eastern asphalt rundown drain through the wall? *The proposed wall ties into the building at the northeast corner of the building, there will be no blockage of flow coming from the south. Is this an existing (paved) drainage easement for the property to the south? No, the existing paved swale is for flows that will be coming from the east property when is developed. This swale was provided by the Master Drainage Plan. Will it be improved with your site work? Both the east and north swale are in place and are asphalted. Included is a portion of the Master Grading Plan which indicates the flow concept.*
8. To what do the 12,330 and 12,180 foot radii refer? *It refers to the curve data from the plat. Does the property line curve? Yes, both east and west lines have a curve. I have included a copy of the alta survey data for you reference.*

If I can be of further assistance, please feel free to contact me at 250-7719.

Sincerely

*Bernie J. Montoya*

Bernie J. Montoya C.E.

