

# CITY OF ALBUQUERQUE



August 31, 2018

Christopher R. Gunning AIA, LEED AP Principal  
Dekker/Perich/Sabatini Ltd.  
7601 Jefferson NE. Suite 100  
Albuquerque, NM 87109

**Re: Industrial Water Engineering,  
8701 Alameda Park Drive NE Albuquerque, NM 87113  
Request for Certificate of Occupancy  
Transportation Development Final Inspection  
AA Stamp dated 05\_29\_18 (C16-D006LL)  
Certification dated 08-28-18**

Dear Mr. Gunning,

Based upon the information provided in your submittal received 08-29-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Racquel Michel at (505) 924-3991 or me at (505)924-3675.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Mojgan Maadandar  
Associate Engineer, Planning Dept.  
Development Review Services

MM via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

**Project Title:** IWE - Industrial Water Engineering **Building Permit #:** 2017-37921 **Hydrology File #:** C16D006LL  
**DRB#:** 1011391 **EPC#:** **Work Order#:**  
**Legal Description:** LOT 2 AND LOT 3 OF ALAMEDA BUSINESS PARK, ZONE ATLAS PAGE: C-16-Z  
**City Address:** 8701 Alameda Park Drive NE, Albuquerque, NM 87113

**Applicant:** Dekker/Perich/Sabatini **Contact:** Tavis Browne  
**Address:** 7601 Jefferson St NE, Albuquerque, NM 87109  
**Phone#:** 505-761-9700 **Fax#:** 505-761-4222 **E-mail:** tavisb@dpsdesign.org  
**Other Contact:** Dekker/Perich/Sabatini **Contact:** Chris Gunning  
**Address:** 7601 Jefferson St NE, Albuquerque, NM 87109  
**Phone#:** 505-761-9700 **Fax#:** 505-761-4222 **E-mail:** chrisg@dpsdesign.org

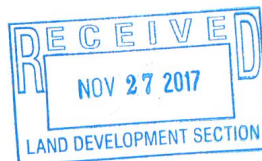
Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_



### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ GRADING/ESC PERMIT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☒ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

### PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) \_\_\_\_\_

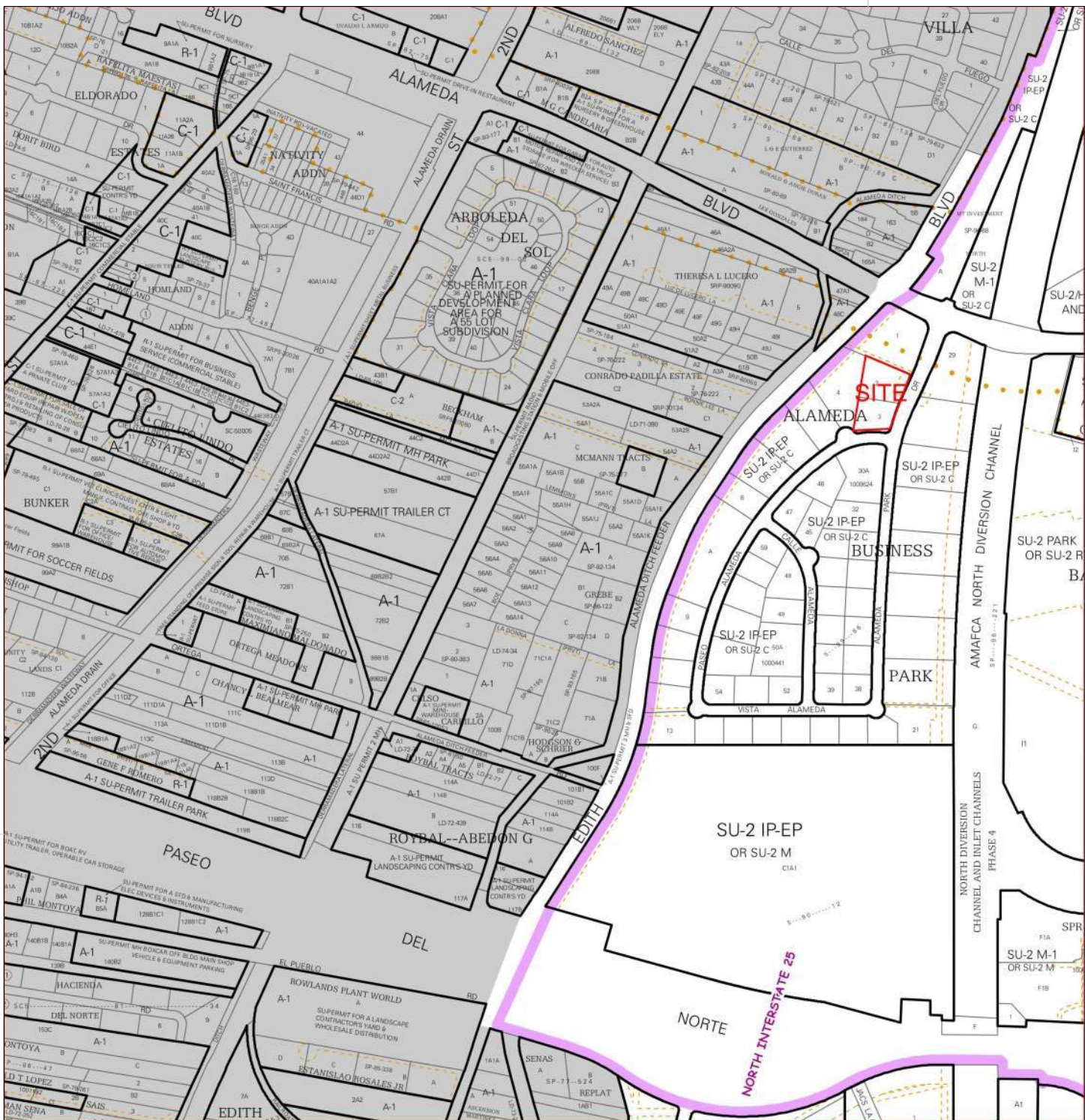
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**DATE SUBMITTED:** 11/22/2017 **By:** Tavis Browne

**COA STAFF:** ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

**FEE RECEIVED:** \_\_\_\_\_





VICINITY MAP  
1" = 750'-0"



NORTH  
A2 SITE PLAN  
1" = 20'-0"

GENERAL SHEET NOTES

1. PARKING AREA SHALL BE DESIGNED AND BUILT TO CURRENT DPM STANDARDS AND CITY OF ALBUQUERQUE ZONING CODE.
2. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
3. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
5. ALL CURBS TO BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
6. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE.
7. FOR FIRE LANE MARKINGS, SEE CIVIL FIRE 1 PLAN.
8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
9. LIGHTING SHALL NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT OF WAY.

SITE ANALYSIS AND DATA

LEGAL DESCRIPTION  
LOT NUMBERED TWO (2) OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO, ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

AND  
LOT NUMBERED THREE (3) OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO, ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

THE PARCEL DESCRIBED HEREON IS THE SAME AS SHOWN ON THE TITLE COMMITMENTS PROVIDED BY STEWART TITLE, HAVING FILE NUMBERS 01147-35892 (LOT 2) AND 01147-35891 (LOT 3) AND AN EFFECTIVE DATES OF FEBRUARY 09, 2017.

ZONING  
SU-2 C  
TOTAL ACREAGE  
Lot 2: 9806 ACRES or 42.716 SF  
Lot 3: 7870 ACRES or 34,282 SF

BUILDING USE  
OFFICE and WAREHOUSE

TOTAL BUILDING AREA  
OFFICE: 7,981 SF  
WAREHOUSE: 6,063 SF

PARKING REQUIREMENTS

OFF-STREET VEHICLE PARKING  
OFFICE: 7,981 / 200 = 40 SPACES REQUIRED  
WAREHOUSE: 6,063 / 2,000 = 3 SPACES REQUIRED  
PARKING REQUIRED: 43 SPACES (INCLUDES 2 ACCESSIBLE SPACES, 1 BEING VAN)  
PARKING PROVIDED: 52 SPACES (INCLUDES 3 ACCESSIBLE SPACES, 1 BEING VAN)  
BICYCLE PARKING  
REQUIRED: 1 PER 20 PARKING SPACES  
52 SPACES / 20 = 3 SPACES REQUIRED  
SPACES PROVIDED: 3  
MOTORCYCLE PARKING  
REQUIRED: 1 PER 25 PARKING SPACES  
52 SPACES / 25 = 3 SPACES REQUIRED  
SPACES PROVIDED: 4

SHEET KEYED NOTES

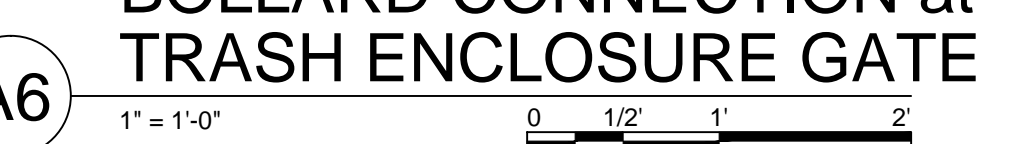
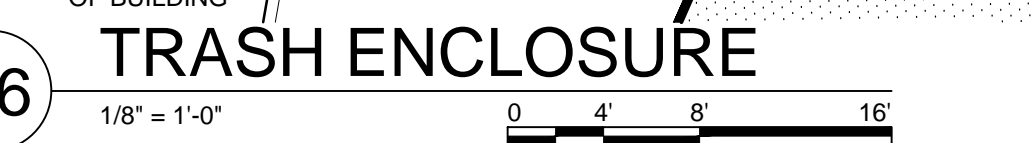
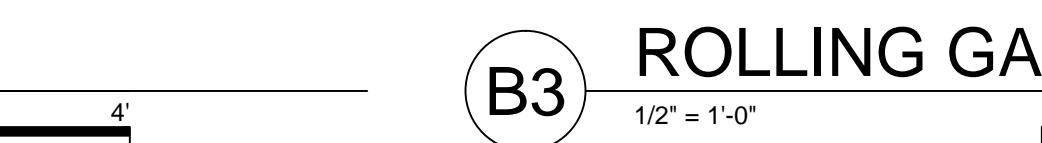
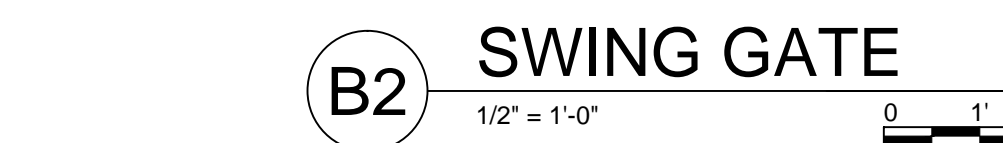
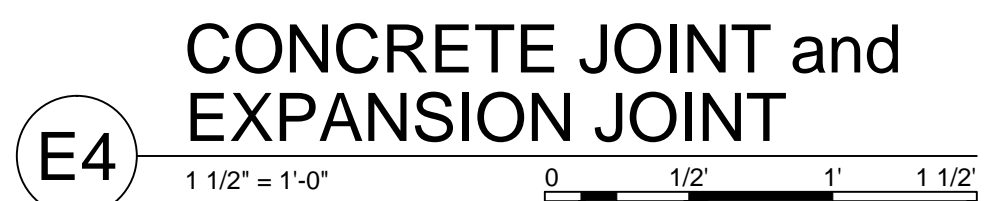
- D1. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AND GUTTER.  
D2. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB.  
D3. DEMOLISH AND EXPOSE OF EXISTING ASPHALT.  
D4. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AS REQUIRED FOR NEW ACCESSIBLE RAMP.  
E1. EXISTING CONCRETE CURB.  
E2. EXISTING CONCRETE SIDEWALK.  
E3. EXISTING CONCRETE APRON.  
E4. EXISTING CONCRETE RAMP. PROVIDE DETECTABLE WARNING SURFACES PER DETAIL, SEE SHEET AS501.  
E5. EXISTING ASPHALT TO REMAIN, SEE CIVIL.  
E6. EXISTING CROSS ACCESS EASEMENT.

1. PROPERTY LINE.
2. LANDSCAPE AREA. SEE LANDSCAPE PLAN.
3. CONCRETE CURB FREE-STANDING. SEE SHEET AS501.
4. CONCRETE SIDEWALK. SEE E4/AS501, E5/AS501, E6/AS501.
5. ASPHALT PAVING. SEE CIVIL.
6. TRANSFORMER. SEE CIVIL UTILITY PLANS AND ELECTRICAL PLANS.
7. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
8. PAINTED DASHED PARKING STRIPING (4" WIDE x 1' LONG), COLOR: WHITE.
9. PAINTED ACCESSIBLE PAVEMENT MARKING. SEE SHEET AS501.
10. PAINTED PARKING SIGNAGE: (NO PARKING), COLOR: WHITE 12"H AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF PARKING SPACE).
11. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
12. PAINTED PARKING SIGNAGE: (DELIVERY PARKING ONLY), COLOR: WHITE 12"H AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF SPACE).
13. PAINTED PARKING SOLID STRIPING (4" WIDE x 20' LONG), COLOR: WHITE.
14. PAINTED SIGNAGE: (EXIT ONLY, DO NOT ENTER), COLOR: WHITE 12"H AND 2" WIDE MINIMUM LETTER SIZE.
15. PAINTED DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE. SEE SHEET AS501.
16. PAINTED SIGNAGE: (ONE WAY), COLOR: WHITE 12"H AND 2" WIDE MIN. LETTER SIZE.
17. 3/8" CHECKERED STEEL GRATE TRENCH COVER. TO SPAN FROM EXISTING SIDEWALK TO NEW SIDEWALK, PROVIDE INTERMEDIATE SUPPORT LEGS AS REQUIRED TO PREVENT DEFLECTION.
18. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE (3 TOTAL), SEE SHEET AS501.
19. POLE MOUNTED STOP SIGN. SEE SHEET AS501.
20. POLE MOUNTED DO NOT ENTER SIGN. SEE SHEET AS501.
21. PARKING BUMPER (5 TOTAL), SEE SHEET AS501.
22. STEEL BICYCLE RACK. SEE SHEET AS501.
23. NEW CHAIN LINK FENCE TO MATCH EXISTING.
24. ORNAMENTAL SECURITY FENCE. SEE B1/AS501.
25. ORNAMENTAL SECURITY FENCE: ROLLING GATE WITH MOTORIZED OPENER, SEE B4/AS501.
26. ORNAMENTAL SECURITY FENCE: ROLLING GATE WITH MOTORIZED OPENER (2 TOTAL), SEE B3/AS501.
27. ORNAMENTAL SECURITY FENCE: SWING GATE. SEE B2/AS501.
28. WALL MOUNTED KNOX BOX.
29. FLUSH CONCRETE SIDEWALK. SEE SHEET AS501.
30. 8" OPENING IN CONCRETE CURB TO ALLOW FOR ROLLING LEAF GATE PASSAGE.
31. EXTERIOR BOLLARD. SEE SHEET AS501.
32. CONCRETE DRIVE PAD. SEE CIVIL.
33. FIRE DEPARTMENT CONNECTION (FDC).
34. FIRE HYDRANT. SEE CIVIL.
35. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE. SEE SHEET AS501.
36. POLE MOUNTED PARKING LOT LIGHT ON LIGHT POLE BASE. SEE ELECTRICAL.
37. CONCRETE CURB RETAINING WALL. SEE SHEET AS501.
38. CONCRETE SIDEWALK ADJACENT TO BUILDING. SEE D6/AS501.
39. MOTORCYCLE PARKING.
40. MONUMENT SIGN. SEE A1/AE501.
41. CONCRETE SPLASH BLOCK.
42. MOTORCYCLE PARKING SIGN. SEE SHEET AS501.
43. OUTDOOR SEATING (8 SEATS TOTAL). RECYCLED PLASTIC WOOD TABLE AND CHAIRS WITH UMBRELLA FOR SHADING.

LEGEND

- CONCRETE SIDEWALK
- CLEAR SIGHT TRIANGLE:  
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.







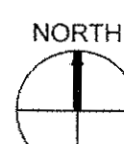






VICINITY MAP  
1" = 750'-0"

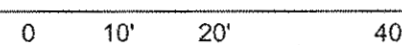
SITE



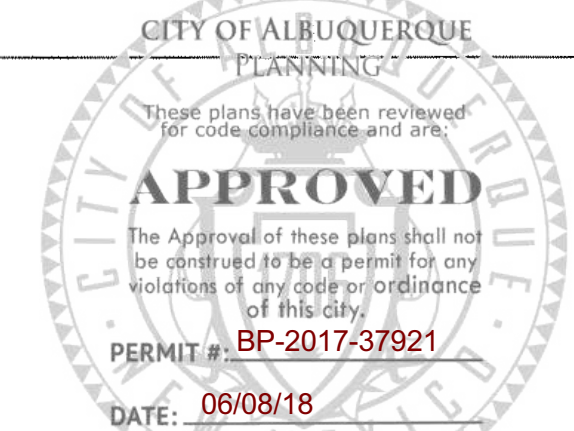
A2

SITE PLAN

1" = 20'-0"



ADMINISTRATIVE AMENDMENT  
FILE # 2016-01181 PROJECT # 18-2018-01185  
*Relocate trash recycling enclosure and adjust landscape per AS101 ASS0115-16 and C6 106.*  
*29 May 2018*  
APPROVED BY DATE



## GENERAL SHEET NOTES

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### ZONING

SU-2 C

### TOTAL ACREAGE

Lot 2: 9906 ACRES or 42.716 SF

Lot 3: 7670 ACRES or 34,282 SF

### BUILDING USE

OFFICE and WAREHOUSE

### TOTAL BUILDING AREA

OFFICE: 7,981 SF

WAREHOUSE: 6,063 SF

## PARKING REQUIREMENTS

### OFF-STREET VEHICLE PARKING

OFFICE: 7,981 / 200 = 40 SPACES REQUIRED

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PARKING PROVIDED: 43 SPACES (INCLUDES 2 ACCESSIBLE SPACES, 1 BEING VAN)

PARKING PROVIDED: 53 SPACES (INCLUDES 3 ACCESSIBLE SPACES, 1 BEING VAN)

### BICYCLE PARKING

REQUIRED: 1 PER 20 PARKING SPACES

53 SPACES / 20 = 3 SPACES REQUIRED

SPACES PROVIDED: 3

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53 SPACES / 25 = 3 SPACES REQUIRED

SPACES PROVIDED: 3

## SHEET KEYED NOTES

- D1. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AND GUTTER.  
D2. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB.  
D3. DEMOLISH AND EXPOSE OF EXISTING ASPHALT.  
D4. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AS REQUIRED FOR NEW ACCESSIBLE RAMP.  
D5. DEMOLISH AND EXPOSE OF EXISTING ASPHALT CURB AND RUN DOWN.

- E1. EXISTING CONCRETE CURB.  
E2. EXISTING CONCRETE SIDEWALK.  
E3. EXISTING CONCRETE APRON.  
E4. EXISTING CONCRETE RAMP. PROVIDE DETECTABLE WARNING SURFACES PER DETAIL, SEE SHEET ASS01.  
E5. EXISTING ASPHALT TO REMAIN, SEE CIVIL.  
E6. EXISTING CROSS ACCESS EASEMENT.

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3. CONCRETE CURB FREE-STANDING, SEE SHEET ASS01.  
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15. PAINTED DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE, SEE SHEET ASS01.  
16. PAINTED SIGNAGE: (ONE WAY), COLOR: WHITE 12"H AND 2" WIDE MIN. LETTER SIZE.  
17. 38" CHECKERED STEEL GRATE TRENCH COVER, TO SPAN FROM EXISTING SIDEWALK TO NEW SIDEWALK, PROVIDE INTERMEDIATE SUPPORT LEGS AS REQUIRED TO PREVENT DEFLECTION.  
18. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE (3 TOTAL), SEE SHEET ASS01.  
19. POLE MOUNTED STOP SIGN, SEE SHEET ASS01.  
20. POLE MOUNTED DO NOT ENTER SIGN, SEE SHEET ASS01.  
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29. FLUSH CONCRETE SIDEWALK, SEE SHEET ASS01.  
30. 8" OPENING IN CONCRETE CURB TO ALLOW FOR ROLLING LEAF GATE PASSAGE.  
31. EXTERIOR BOLLARD-6", SEE SHEET ASS01.  
32. CONCRETE DRIVE PAD, SEE CIVIL.  
33. FIRE DEPARTMENT CONNECTION (FDC).  
34. FIRE HYDRANT, SEE CIVIL.  
35. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE, SEE SHEET ASS01.  
36. POLE MOUNTED PARKING LIGHT ON LIGHT POLE BASE, SEE ELECTRICAL.  
37. CONCRETE CURB/RETAINING WALL, SEE SHEET ASS02.  
38. CONCRETE SIDEWALK ADJACENT TO BUILDING, SEE D6/ASS01.  
39. MOTORCYCLE PARKING.  
40. MONUMENT SIGN, SEE A1/ASS01.  
41. CONCRETE SPLASH BLOCK.  
42. MOTORCYCLE PARKING SIGN, SEE SHEET ASS01.  
43. OUTDOOR SEATING (8 SEATS TOTAL), RECYCLED PLASTIC WOOD TABLE AND CHAIRS WITH UMBRELLA FOR SHADING.  
44. 24" WIDE CURB OPENING AT FLOWLINE, REFER TO CIVIL.  
45. CHAMFERED RIBBON CURB, REFER TO CIVIL.

## LEGEND

CONCRETE SIDEWALK

CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL, AS MEASURED FROM THE GUTTER PAN, WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

TRAFFIC CIRCULATION LAYOUT IN  
SUPPORT OF REQUEST FOR  
CERTIFICATE OF OCCUPANCY  
8/28/2018

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

Industrial Water Engineering  
8701 Alameda Park Drive NE  
Albuquerque, NM 87113

100%  
CONSTRUCTION  
DOCUMENTS

### REVISIONS

- 11/22/2017 PERMIT COMMENTS  
4/02/2018 AS-07  
4/23/2018 AS-007-R1

DRAWN BY

REVIEWED BY

DATE 10/17/2017

PROJECT NO. 16-0113

DRAWING NAME

SITE PLAN

SHEET NO.

AS101