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	GENERAL SHEET NOTES
	 PARKING AREA SHALL BE DESIGNED AND BUILT TO CURRENT DPM STANDAF AND CITY OF ALBUQUERQUE ZONING CODE SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNL OTHERWISE NOTED. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCT PER CITY OF ALBUQUERQUE STANDARDS. ALL CURBS TO BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING COE FOR FIRE LANE MARKINGS, SEE CIVIL: FIRE 1 PLAN. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED OF PUBLIC WORK ORDER. LIGHTING SHALL NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT OF WAY.
	SITE ANALYSIS AND DATA
	LEGAL DESCRIPTION LOT NUMBERED TWO (2) OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT BALANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NI MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUI 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 19990085494. AND
	LOT NUMBERED THREE (3) OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUEF NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUI 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494. THE PARCEL DESCRIBED HEREON IS THE SAME AS SHOWN ON THE TITLE
	COMMITMENTS PROVIDED BY STEWART TITLE, HAVING FILE NUMBERS 01147-35 (LOT 2) AND 01147-35891 (LOT 3) AND AN EFFECTIVE DATES OF FEBRUARY 09, 20
	ZONING TOTAL ACREAGE SU-2 C Lot 2:.9806 ACRES or 42,716 SF Lot 3:.7870 ACRES or 34,282 SF BUILDING USE
	OFFICE and WAREHOUSE <u>TOTAL BUILDING AREA</u> OFFICE: 7,981 SF WAREHOUSE: 6,063 SF
	PARKING REQUIREMENTS
	OFFICE: 7,981 / 200 = 40 SPACES REQUIRED <u>WAREHOUSE: 6,063 / 2,000 = 3 SPACES REQUIRED</u> PARKING REQUIRED: 43 SPACES (INCLUDES 2 ACCESSIBLE SPACES, 1 BEING VA
	PARKING PROVIDED: 52 SPACES (INCLUDES 3 ACCESSIBLE SPACES, 1 BEING VA BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES REQUIRED: 1 PER 20 PARKING SPACES
ANDE VE	52 SPACES / 20 = 3 SPACES REQUIRED SPACES PROVIDED: 3 SPACES PROVIDED: 3 SPACES PROVIDED: 4 SPACES PROVIDED: 4
	D1.DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AND GUTTER. D2.DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB. D3.DEMOLISH AND EXPOSE OF EXISTING ASPHALT. D4.DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AS REQUIRED FOR NI ACCESSIBLE RAMP.
	 E1. EXISTING CONCRETE CURB. E2. EXISTING CONCRETE SIDEWALK. E3. EXISTING CONCRETE APRON. E4. EXISTING CONCRETE RAMP. PROVIDE DETECTABLE WARNING SURFACES PE DETAIL, SEE SHEET AS501. E5. EXISTING ASPHALT TO REMAIN, SEE CIVIL. E6. EXISTING CROSS ACCESS EASEMENT.
	 PROPERTY LINE. LANDSCAPED AREA, SEE LANDSCAPE PLAN. CONCRETE CURB FREE-STANDING, SEE SHEET AS501. CONCRETE SIDEWALK, SEE E4/AS501, E5/AS501, E6/AS501. ASPHALT PAVING, SEE CIVIL. TRANSFORMER, SEE CIVIL UTILITY PLANS AND ELECTRICAL PLANS. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE. PAINTED DASHED PARKING STRIPING (4" WIDE x 1' LONG), COLOR: WHITE.
	 9. PAINTED ACCESSIBLE PAVEMENT MARKING, SEE SHEET AS501. 10. PAINTED PARKING SIGNAGE: (NO PARKING), COLOR: WHITE 12"H AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF PARKING SPACE). 11. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE. 12. PAINTED PARKING SIGNAGE: (DELIVERY PARKING ONLY), COLOR: WHITE 12"H WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF SPACE). 13. PAINTED PARKING SOLID STRIPING (4' WIDE x 20' LONG), COLOR: WHITE. 14. PAINTED SIGNAGE: (EXIT ONLY, DO NOT ENTER), COLOR: WHITE 12"H and 2" W MINIMUM LETTER SIZE.
	 15. PAINTED DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE, SEE SHEET AS50 16. PAINTED SIGNAGE: (ONE WAY), COLOR: WHITE 12"H AND 2" WIDE MIN. LETTER 17. 3/8" CHECKERED STEEL GRATE TRENCH COVER, TO SPAN FROM EXISTING SII TO NEW SIDEWALK. PROVIDE INTERMEDIATE SUPPORT LEGS AS REQUIRED TO
	 PREVENT DEFLECTION. 18. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE (3 TOTAL), SEE SHEET AS50 19. POLE MOUNTED STOP SIGN, SEE SHEET AS501. 20. POLE MOUNTED DO NOT ENTER SIGN, SEE SHEET AS501. 21. PARKING BUMPER (5 TOTAL), SEE SHEET AS501. 22. STEEL BICYCLE RACK, SEE SHEET AS501. 23. NEW CHAIN LINK FENCE TO MATCH EXISTING. 24. ORNAMENTAL SECURITY FENCE, SEE B1/AS501.
	 25. ORNAMENTAL SECURITY FENCE: ROLLING GATE WITH MOTORIZED OPENER, SEE B4/AS501. 26. ORNAMENTAL SECURITY FENCE: ROLLING GATE WITH MOTORIZED OPENER (SEE B3/AS501.
	 27. ORNAMENTAL SECURITY FENCE: SWING GATE, SEE B2/AS501. 28. WALL MOUNTED KNOX BOX. 29. FLUSH CONCRETE SIDEWALK, SEE SHEET AS501. 30. 8" OPENING IN CONCRETE CURB TO ALLOW FOR ROLLING LEAF GATE PASSAGE 31. EXTERIOR BOLLARD-6", SEE SHEET AS501.
	 32. CONCRETE DRIVE PAD, SEE CIVIL. 33. FIRE DEPARTMENT CONNECTION (FDC). 34. FIRE HYDRANT, SEE CIVIL. 35. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE, SEE SHEET AS50⁻¹
	 36. POLE MOUNTED PARKING LOT LIGHT ON LIGHT POLE BASE, SEE ELECTRICAL 37. CONCRETE CURB/RETAINING WALL, SEE SHEET AS502. 38. CONCRETE SIDEWALK ADJACENT TO BUILDING, SEE D6/AS501. 39. MOTORCYCLE PARKING 40. MONUMENT SIGN. SEE A1/AE501 41. CONCRETE SPLASH BLOCK 42. MOTORCYCLE PARKING SIGN, SEE SHEET AS501
	43. OUTDOOR SEATING [8 SEATS TOTAL]. RECYCLED PLASTIC WOOD TABLE AND WITH UMBRELLA FOR SHADING.
	CONCRETE SIDEWALK
	CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



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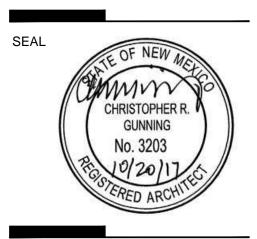
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7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109 505.761.9700 / DPSDESIGN.ORG



PROJECT



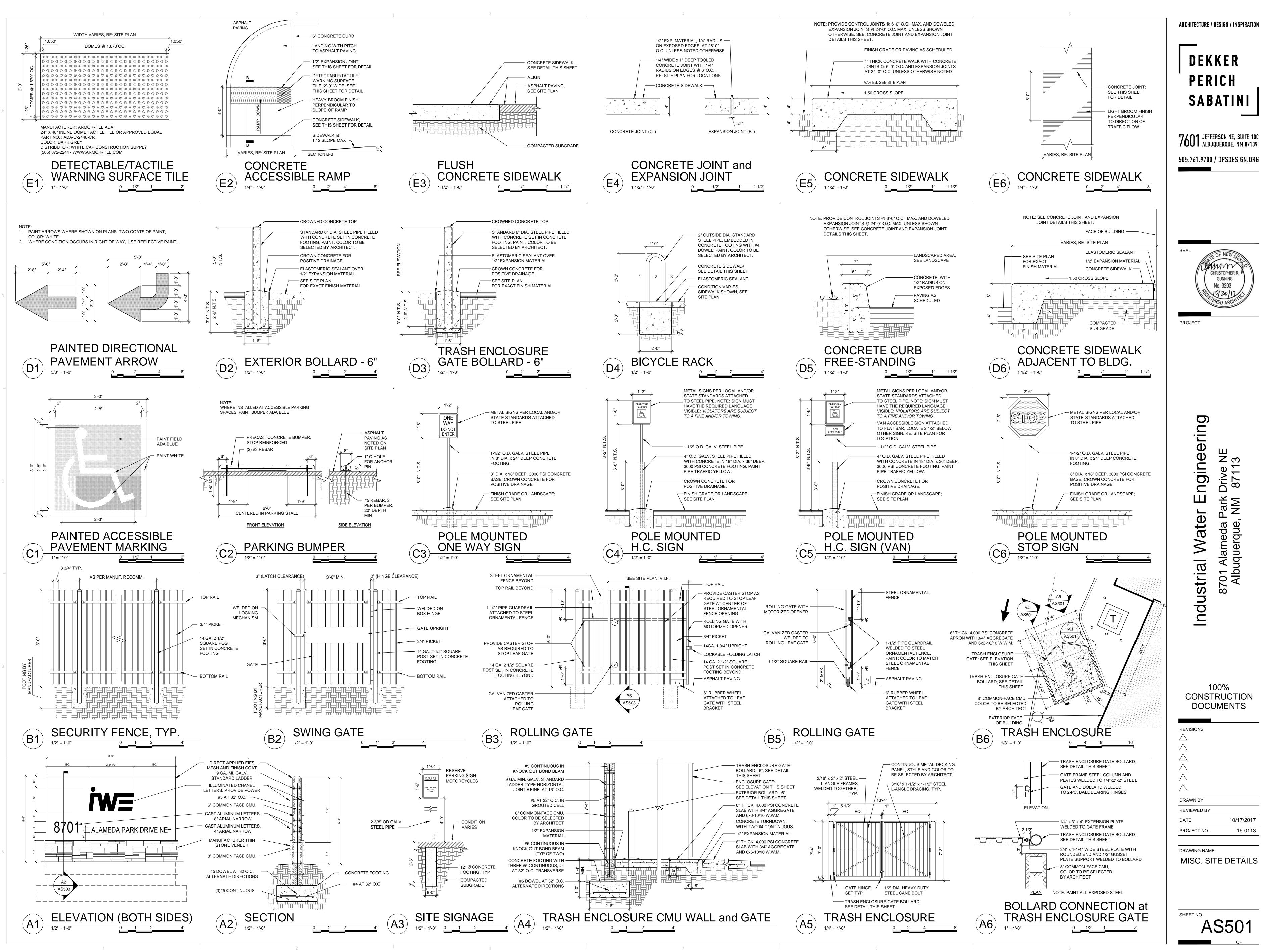


REVISIONS \bigtriangleup \triangle \triangle \triangle \triangle \triangle DRAWN BY REVIEWED BY DATE PROJECT NO.

DRAWING NAME SITE PLAN

10/17/2017 16-0113

SHEET NO. AS101







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				RAL SHEET NOTE
			AND CITY OF ALBU 2. SEE CIVIL PLANS I INFORMATION.	HALL BE DESIGNED AND BUILT TO CURRENT D JQUERQUE ZONING CODE FOR ADDITIONAL GRADING, DRAINAGE AND U
			4. PEDESTRIAN ACC	TO FACE OF CURB, OR WALL OR EDGE OF PA ED. ESS RAMPS WITHIN THE PUBLIC ROW WILL BE JQUERQUE STANDARDS.
			ALBUQUERQUE S ⁻ 6. ALL LIGHT FIXTUR	E DESIGNED AND BUILT ACCORDING TO THE C TANDARDS. RES AND DESIGN SHALL COMPLY WITH THE NE ECTION ACT AND THE CITY OF ALBUQUERQUE
A A A			8. ALL IMPROVEMEN PUBLIC WORK OR	ARKINGS, SEE CIVIL: FIRE 1 PLAN. ITS LOCATED IN THE RIGHT OF WAY MUST BE DER. NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT (
				ANALYSIS AND DA
A A A A A A A A A A A A A A A A A A A	7 11		LEGAL DESCRIPTION	(2) OF ALAMEDA BUSINESS PARK, (A REPLAT
EI			MEXICO, AS THE SAN OFFICE OF THE COUL	R BUILDING MATERIALS CORPORATION), ALBU ME IS SHOWN AND DESIGNATED ON THE PLAT NTY CLERK OF BERNALILLO COUNTY, NEW ME AGE 167, AS DOC. NO. 19990085494.
	₩E2		AND	EE (3) OF ALAMEDA BUSINESS PARK, (A REPL
			B-1-A-1, LANDS OF SF NEW MEXICO, AS THE OFFICE OF THE COUL	PRINGER BUILDING MATERIALS CORPORATION E SAME IS SHOWN AND DESIGNATED ON THE NTY CLERK OF BERNALILLO COUNTY, NEW ME
			THE PARCEL DESCRI	AGE 167, AS DOC. NO. 1999085494. BED HEREON IS THE SAME AS SHOWN ON TH /IDED BY STEWART TITLE, HAVING FILE NUME
			(LOT 2) AND 01147-35	891 (LOT 3) AND AN EFFECTIVE DATES OF FEE <u>TOTAL ACREAGE</u>
			SU-2 C BUILDING USE	Lot 2:.9806 ACRES
			OFFICE and WAREHOUS	
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>			OFF-STREET VEHICLE I	· · · · · · · · · · · · · · · · · · ·
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1.			BICYCLE PARKING REQUIRED: 1 PER 20 I 52 SPACES / 20 = 3 SP	
ÊNE			SPACES PROVIDED: 3	SPACES PROVIDED: T KEYED NOTES
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MARK DRIVE NE			D4.DEMOLISH AND EXF ACCESSIBLE RAMP E1. EXISTING CONCRE	
			E2. EXISTING CONCRE E3. EXISTING CONCRE E4. EXISTING CONCRE DETAIL, SEE SHEET	TE APRON. TE RAMP. PROVIDE DETECTABLE WARNING S
			· ·	TO REMAIN, SEE CIVIL.
			2. LANDSCAPED AREA 3. CONCRETE CURB FF	, SEE LANDSCAPE PLAN. REE-STANDING, SEE SHEET AS501. LK, SEE E4/AS501, E5/AS501, E6/AS501.
			6. TRANSFORMER, SEE 7. PAINTED PARKING S 8. PAINTED DASHED PA	E CIVIL UTILITY PLANS AND ELECTRICAL PLAN STRIPING (4" WIDE), COLOR: WHITE. ARKING STRIPING (4" WIDE x 1' LONG), COLOR
			10. PAINTED PARKING MINIMUM LETTER S 11. PAINTED DIAGONA	LE PAVEMENT MARKING, SEE SHEET AS501. SIGNAGE: (NO PARKING), COLOR: WHITE 12"H IZE (LOCATE NEAR END OF PARKING SPACE). L STRIPING (2'-0" O.C. AT 45 DEGREES), COLO
			WIDE MINIMUM LET 13. PAINTED PARKING 14. PAINTED SIGNAGE:	SIGNAGE: (DELIVERY PARKING ONLY), COLOR TER SIZE (LOCATE NEAR END OF SPACE). SOLID STRIPING (4' WIDE x 20' LONG), COLOR: (EXIT ONLY, DO NOT ENTER), COLOR: WHITE
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			PREVENT DEFLECTI 18. POLE MOUNTED AC	PROVIDE INTERMEDIATE SUPPORT LEGS AS ON. CCESSIBLE PARKING SIGNAGE (3 TOTAL), SEE FOP SIGN, SEE SHEET AS501.
			21. PARKING BUMPER 22. STEEL BICYCLE RA	O NOT ENTER SIGN, SEE SHEET AS501. (5 TOTAL), SEE SHEET AS501. ACK, SEE SHEET AS501. ENCE TO MATCH EXISTING.
			25. ORNAMENTAL SEC SEE B4/AS501.	URITY FENCE, SEE B1/AS501. URITY FENCE: ROLLING GATE WITH MOTORIZ URITY FENCE: ROLLING GATE WITH MOTORIZ
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	4044004		38. CONCRETE SIDEW, 39. MOTORCYCLE PAR 40. MONUMENT SIGN.	SEE A1/AE501
	PROJECT NUMBER:1011391APPLICATION NUMBER:17-DRB-70254			KING SIGN, SEE SHEET AS501 G [8 SEATS TOTAL]. RECYCLED PLASTIC WOOI
	Is an Infrastructure List Required? () Yes (x) No If yes, then a so with a work order is required for any construction within Public Rig construction of public improvements.		LEGE	ND
	SITE DEVELOPMENT PLAN APPROVAL:	alacht		CONCRETE SIDEWALK
	TRAFFIC ENGINEER, TRANSPORTATION DIVISION	0/25/17 DATE	6	CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNING WIL
	ABCWUA	<i>10/25/17</i> DATE		INTERFERE WITH CLEAR SIGHT REQUIREM THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL MEASURED FROM THE GUTTER PAN) WILL
	PARKS AND RECREATION DEPARTMENT	$\frac{10/25/17}{DATE}$		BE ACCEPTABLE IN THE CLEAR SIGHT TRIA
	Renée Bruce CITY ENGINEER	DATE		
	SOLID WASTE MANAGEMENT	DATE		
	DRB CHAIRPERSON, PLANNING DEPARTMENT	<u></u> DATE		
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ARCHITECTURE / DESIGN / INSPIRATION DEKKER PERICH ES SABATINI -----DPM STANDARDS JTILITY AVEMENT UNLESS E CONSTRUCTED 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109 CITY OF EW MEXICO E ZONING CODE. 505.761.9700 / DPSDESIGN.ORG E INCLUDED ON A OF WAY. ATA AT OF TRACT B-1-A-1, BUQUERQUE, NEW AT FILED IN THE MEXICO, ON JUNE 29, SEAL PLAT OF TRACT ION), ALBUQUERQUE, IE PLAT FILED IN THE MEXICO, ON JUNE 29, HE TITLE IBERS 01147-35892 EBRUARY 09, 2017. S or 42,716 SF PROJECT S or 34,282 SF ENTS ES, 1 BEING VAN) ES, 1 BEING VAN) ngineering 5 PARKING SPACES SPACES REQUIRED Park Drive NE NM 87113 TTER. QUIRED FOR NEW Ш SURFACES PER Water Ω 8701 Alameda I Albuquerque, NS. lustrial R: WHITE. HAND 2" WIDE . Dr: White. R: White 12"h and 2" R: WHITE. E 12"H and 2" WIDE pul EE SHEET AS501. DE MIN. LETTER SIZE. DM EXISTING SIDEWALK S REQUIRED TO E SHEET AS501. IZED OPENER, ZED OPENER (2 TOTAL), **DESIGN REVIEW** BOARD SUBMITTAL GATE PASSAGE. REVISIONS E SHEET AS501. E ELECTRICAL. \bigtriangleup _____ DD TABLE AND CHAIRS \bigtriangleup DRAWN BY REVIEWED BY DATE PROJECT NO.

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> SHEET NO. AS101

DRAWING NAME

SITE PLAN

10/17/2017

16-0113