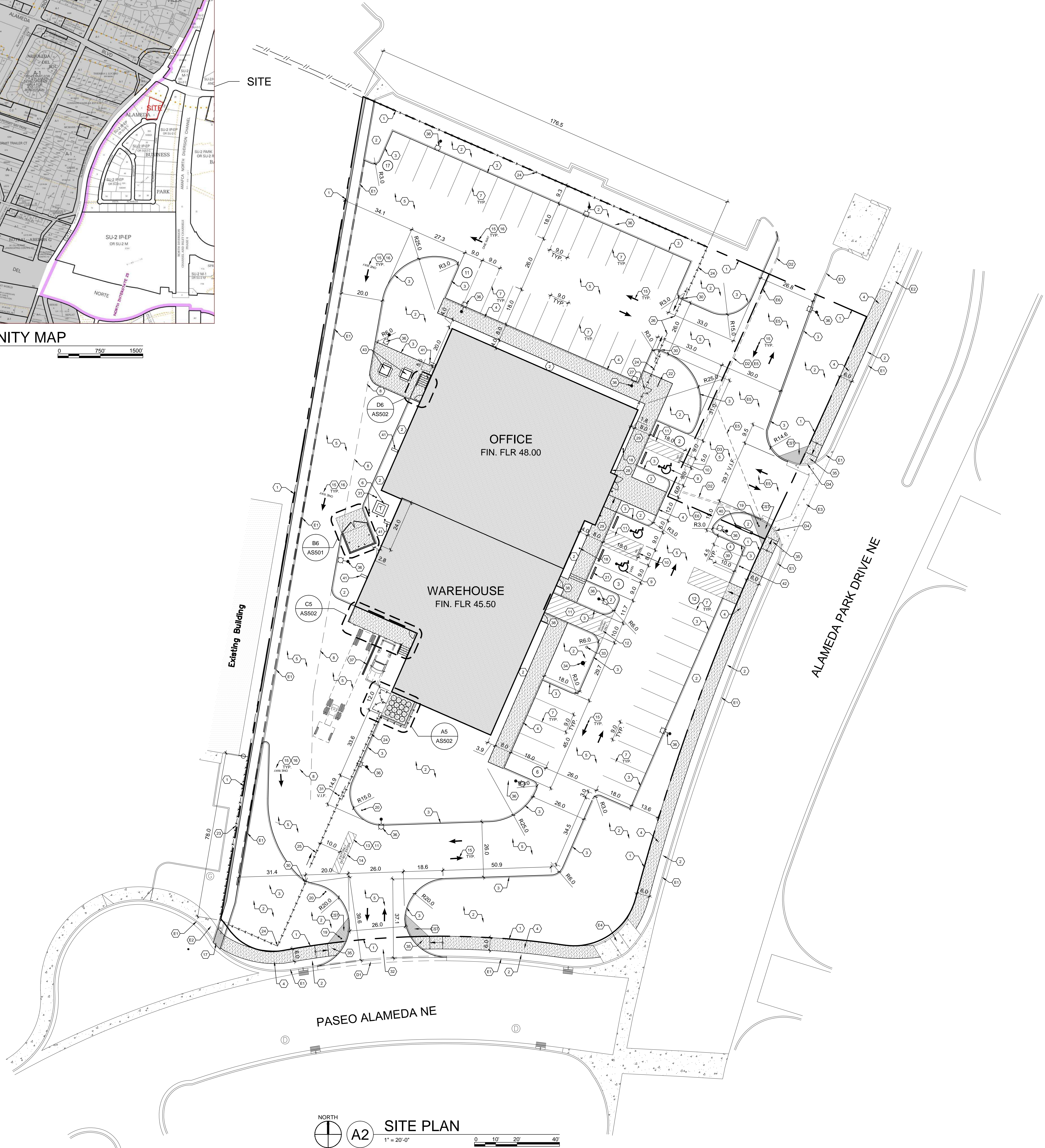


VICINITY MAP  
1" = 750'-0"



NORTH  
A2 SITE PLAN  
1" = 20'-0"

## GENERAL SHEET NOTES

1. PARKING AREA SHALL BE DESIGNED AND BUILT TO CURRENT DPM STANDARDS AND CITY OF ALBUQUERQUE ZONING CODE.
2. SEE CIVIL PLANS FOR ADDITIONAL GRADING, DRAINAGE AND UTILITY INFORMATION.
3. DIMENSIONS ARE TO FACE OF CURB, OR WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. PEDESTRIAN ACCESS RAMPS WITHIN THE PUBLIC ROW WILL BE CONSTRUCTED PER CITY OF ALBUQUERQUE STANDARDS.
5. ALL CURBS TO BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
6. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE.
7. FOR FIRE LANE MARKINGS, SEE CIVIL FIRE 1 PLAN.
8. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
9. LIGHTING SHALL NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT OF WAY.

## SITE ANALYSIS AND DATA

**LEGAL DESCRIPTION**  
LOT NUMBERED TWO (2) OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

AND  
LOT NUMBERED THREE (3) OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

THE PARCEL DESCRIBED HEREON IS THE SAME AS SHOWN ON THE TITLE COMMITMENTS PROVIDED BY STEWART TITLE, HAVING FILE NUMBERS 01147-35892 (LOT 2) AND 01147-35891 (LOT 3) AND AN EFFECTIVE DATES OF FEBRUARY 09, 2017.

**ZONING**  
SU-2 C  
**TOTAL ACREAGE**  
Lot 2: 9806 ACRES or 42.716 SF  
Lot 3: 7870 ACRES or 34,282 SF

**BUILDING USE**  
OFFICE and WAREHOUSE

**TOTAL BUILDING AREA**  
OFFICE: 7,981 SF  
WAREHOUSE: 6,063 SF

## PARKING REQUIREMENTS

**OFF-STREET VEHICLE PARKING**  
OFFICE: 7,981 / 200 = 40 SPACES REQUIRED  
WAREHOUSE: 6,063 / 2,000 = 3 SPACES REQUIRED  
PARKING REQUIRED: 43 SPACES (INCLUDES 2 ACCESSIBLE SPACES, 1 BEING VAN)  
PARKING PROVIDED: 52 SPACES (INCLUDES 3 ACCESSIBLE SPACES, 1 BEING VAN)  
**BICYCLE PARKING**  
REQUIRED: 1 PER 20 PARKING SPACES  
52 SPACES / 20 = 3 SPACES REQUIRED  
SPACES PROVIDED: 3  
**MOTORCYCLE PARKING**  
REQUIRED: 1 PER 25 PARKING SPACES  
52 SPACES / 25 = 3 SPACES REQUIRED  
SPACES PROVIDED: 4

## SHEET KEYED NOTES

- D1. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AND GUTTER.  
D2. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB.  
D3. DEMOLISH AND EXPOSE OF EXISTING ASPHALT.  
D4. DEMOLISH AND EXPOSE OF EXISTING CONCRETE CURB AS REQUIRED FOR NEW ACCESSIBLE RAMP.  
E1. EXISTING CONCRETE CURB.  
E2. EXISTING CONCRETE SIDEWALK.  
E3. EXISTING CONCRETE APRON.  
E4. EXISTING CONCRETE RAMP. PROVIDE DETECTABLE WARNING SURFACES PER DETAIL, SEE SHEET AS501.  
E5. EXISTING ASPHALT TO REMAIN, SEE CIVIL.  
E6. EXISTING CROSS ACCESS EASEMENT.

1. PROPERTY LINE.  
2. LANDSCAPED AREA, SEE LANDSCAPE PLAN.  
3. CONCRETE CURB FREE-STANDING, SEE SHEET AS501.  
4. CONCRETE SIDEWALK, SEE E4/AS501, E5/AS501, E6/AS501.  
5. ASPHALT PAVING, SEE CIVIL.  
6. TRANSFORMER, SEE CIVIL UTILITY PLANS AND ELECTRICAL PLANS.  
7. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.  
8. PAINTED DASHED PARKING STRIPING (4" WIDE x 1' LONG), COLOR: WHITE.  
9. PAINTED ACCESSIBLE PAVEMENT MARKING, SEE SHEET AS501.  
10. PAINTED PARKING SIGNAGE: (NO PARKING), COLOR: WHITE 12"H AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF PARKING SPACE).  
11. PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.  
12. PAINTED PARKING SIGNAGE: (DELIVERY PARKING ONLY), COLOR: WHITE 12"H AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF SPACE).  
13. PAINTED PARKING SOLID STRIPING (4" WIDE x 20' LONG), COLOR: WHITE.  
14. PAINTED SIGNAGE: (EXIT ONLY, DO NOT ENTER), COLOR: WHITE 12"H AND 2" WIDE MINIMUM LETTER SIZE.  
15. PAINTED DIRECTIONAL PAVEMENT ARROW, COLOR: WHITE, SEE SHEET AS501.  
16. PAINTED SIGNAGE: (ONE WAY), COLOR: WHITE 12"H AND 2" WIDE MIN. LETTER SIZE.  
17. 3/8" CHECKERED STEEL GRATE TRENCH COVER, TO SPAN FROM EXISTING SIDEWALK TO NEW SIDEWALK, PROVIDE INTERMEDIATE SUPPORT LEGS AS REQUIRED TO PREVENT DEFLECTION.  
18. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE (3 TOTAL), SEE SHEET AS501.  
19. POLE MOUNTED STOP SIGN, SEE SHEET AS501.  
20. POLE MOUNTED DO NOT ENTER SIGN, SEE SHEET AS501.  
21. PARKING BUMPER (5 TOTAL), SEE SHEET AS501.  
22. STEEL BICYCLE RACK, SEE SHEET AS501.  
23. NEW CHAIN LINK FENCE TO MATCH EXISTING.  
24. ORNAMENTAL SECURITY FENCE, SEE B1/AS501.  
25. ORNAMENTAL SECURITY FENCE: ROLLING GATE WITH MOTORIZED OPENER, SEE B4/AS501.  
26. ORNAMENTAL SECURITY FENCE: ROLLING GATE WITH MOTORIZED OPENER (2 TOTAL), SEE B3/AS501.  
27. ORNAMENTAL SECURITY FENCE: SWING GATE, SEE B2/AS501.  
28. WALL MOUNTED KNOX BOX.  
29. FLUSH CONCRETE SIDEWALK, SEE SHEET AS501.  
30. 8" OPENING IN CONCRETE CURB TO ALLOW FOR ROLLING LEAF GATE PASSAGE.  
31. EXTERIOR BOLLARD, SEE SHEET AS501.  
32. CONCRETE DRIVE PAD, SEE CIVIL.  
33. FIRE DEPARTMENT CONNECTION (FDC).  
34. FIRE HYDRANT, SEE CIVIL.  
35. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE, SEE SHEET AS501.  
36. POLE MOUNTED PARKING LOT LIGHT ON LIGHT POLE BASE, SEE ELECTRICAL.  
37. CONCRETE CURB RETAINING WALL, SEE SHEET AS501.  
38. CONCRETE SIDEWALK ADJACENT TO BUILDING, SEE D6/AS501.  
39. MOTORCYCLE PARKING.  
40. MONUMENT SIGN, SEE A1/AE501.  
41. CONCRETE SPLASH BLOCK.  
42. MOTORCYCLE PARKING SIGN, SEE SHEET AS501.  
43. OUTDOOR SEATING (8 SEATS TOTAL), RECYCLED PLASTIC WOOD TABLE AND CHAIRS WITH UMBRELLA FOR SHADING.

## LEGEND

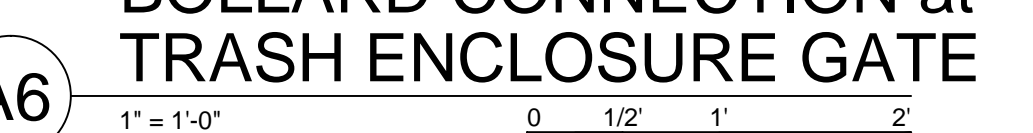
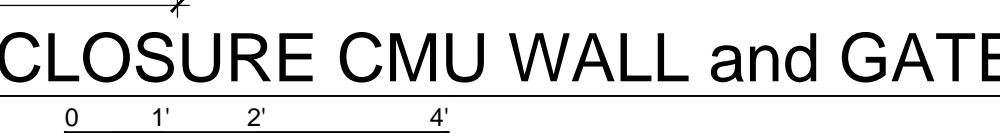
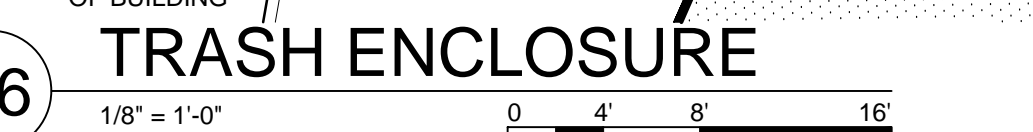
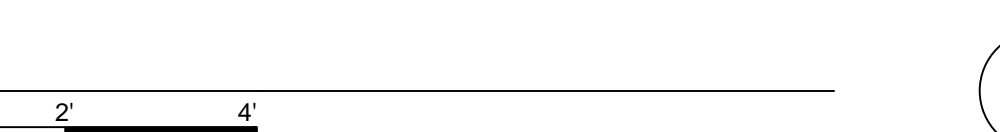
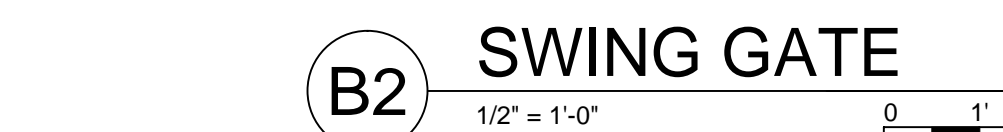
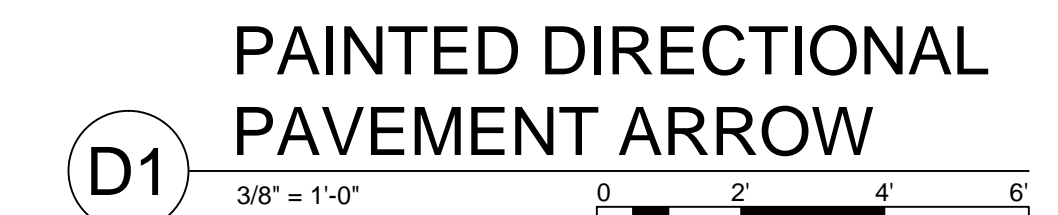
CONCRETE SIDEWALK

25'

CLEAR SIGHT TRIANGLE:  
LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.







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