



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

March 6, 2002

Shahab Biazar, Registered Professional Engineer  
Advanced Engineering and Consulting, LLC.  
10205 Snowflake Ct. N.W.  
Albuquerque, NM 87114

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Lot 10. Alameda Business Park - Helmick/Doris Warehouse, [C16 / D006M]  
8509 Paseo Alameda N.E.  
Engineer's Stamp Dated 02/12/01

Dear Mr. Biazar:

The TCL / Letter of Certification submitted on March 6, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Public Works Department

c: Hydrology file  
Mike Zamora

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: Lot 10, Alameda Business Park ZONE ATLAS/DRG. FILE #: C-16 / D6M  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 10, Alameda Business Park  
CITY ADDRESS: 8509 Paseo Alameda NE

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar  
ADDRESS: 10205 Snowflake Ct. NW PHONE: (505) 899-5570  
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87114

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEER'S CERTIFICATION (TCL)  
☒ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

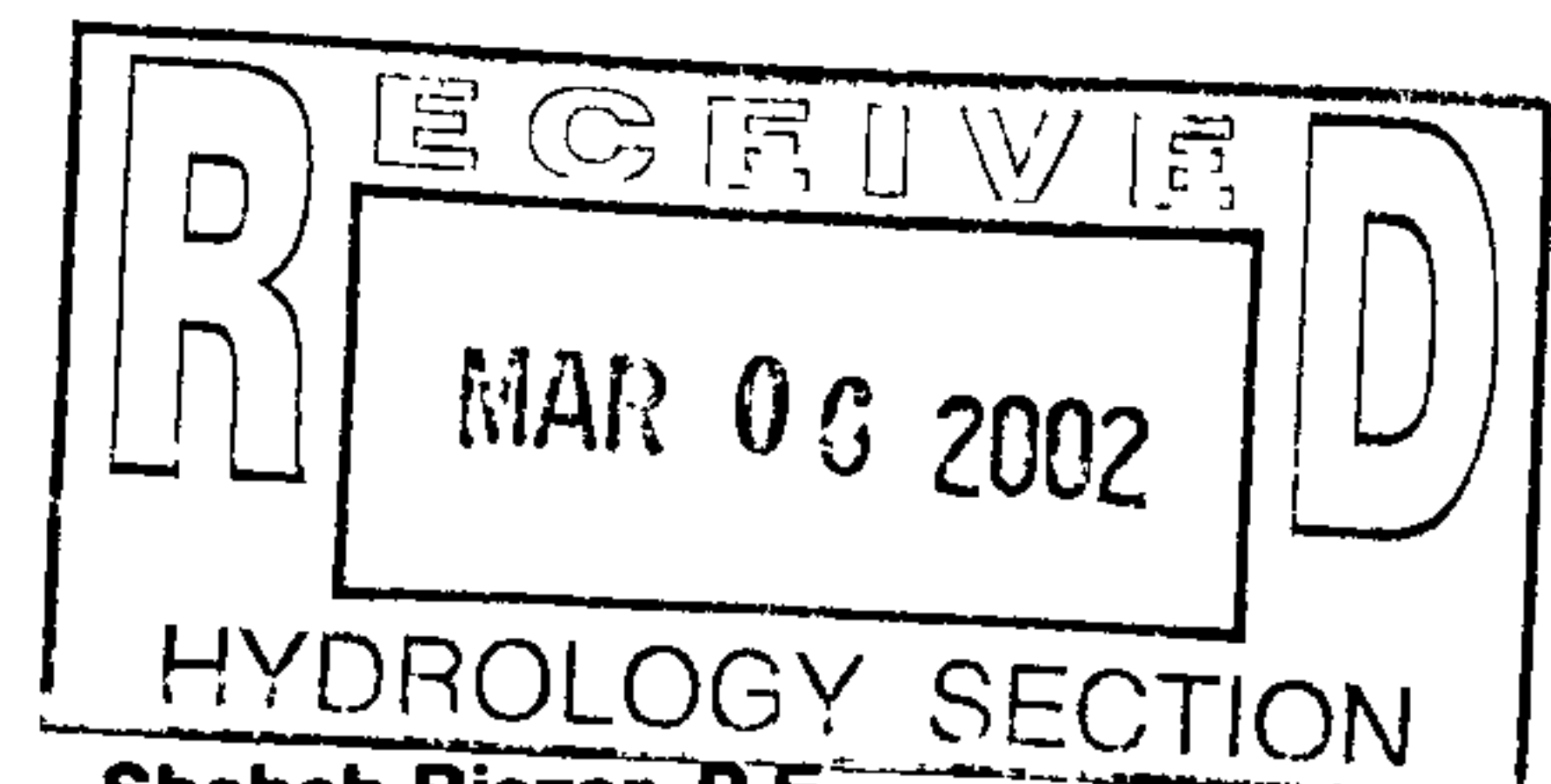
- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
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☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
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☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ CERTIFICATION OF OCCUPANCY

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

M - 459-1757

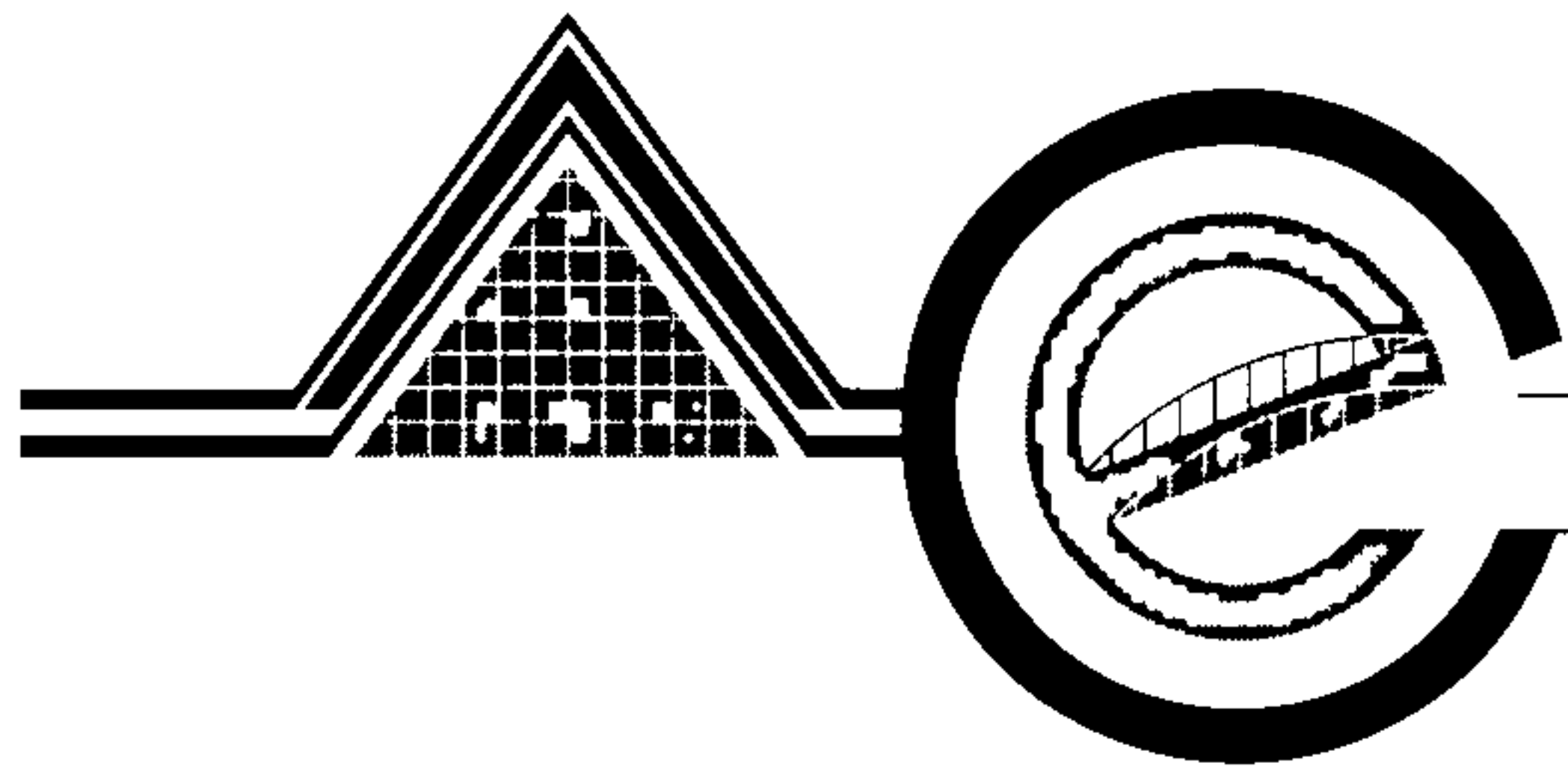
DATE SUBMITTED: 03/05/2002 BY: Shahab Biazar, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or

3/6/02 - Cld Vicki us/ GT; sent letter (Dated 3/6/02); /ogged in



## ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting  
Design  
Development  
Management  
Inspection*

March 5, 2002

Mr. Mike Zamora  
City Transportation Department  
600 Second Street NW  
Albuquerque, New Mexico 87102

Re: Certification of Site Plan for Helmick-Doris Warehouse Site Plan, Located at 8509 Paseo  
Alameda NE, (C-16-Z)

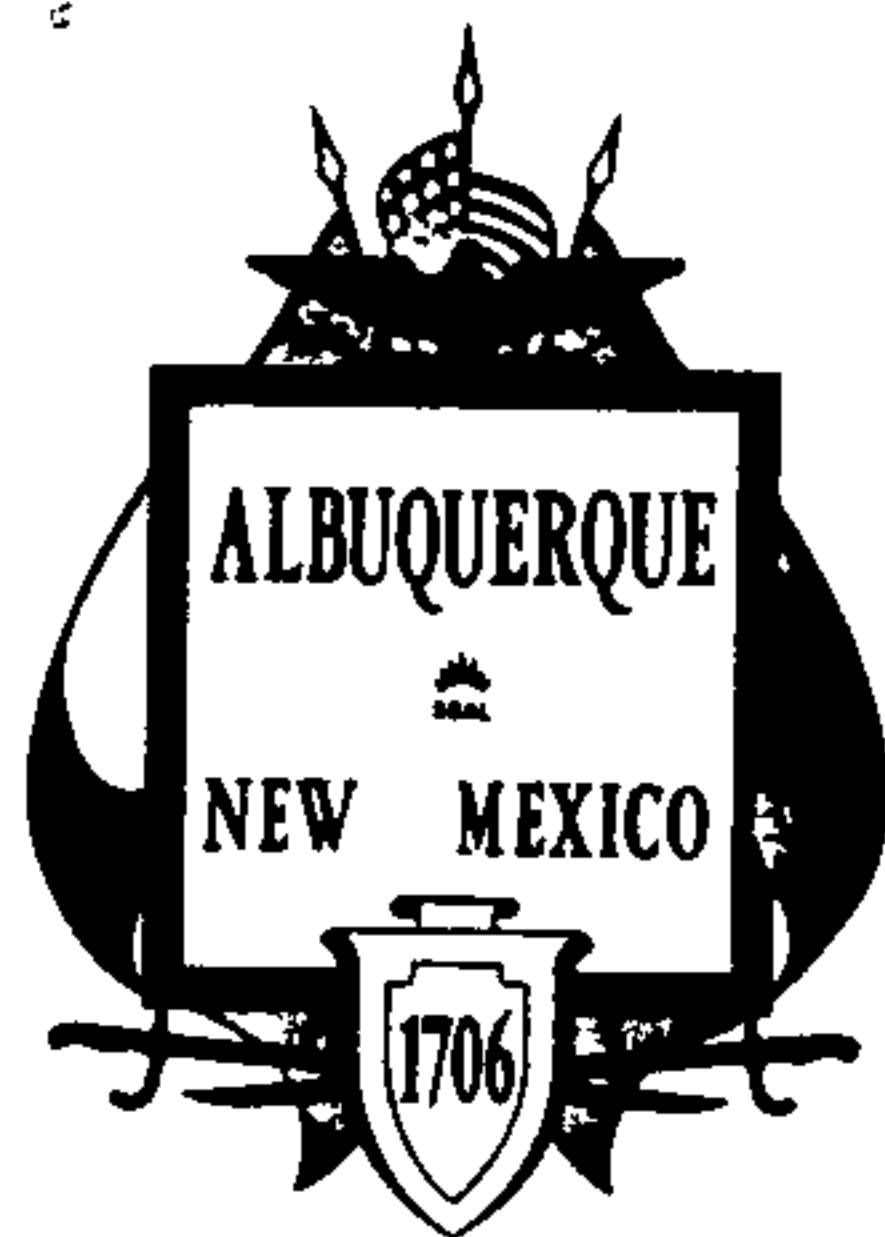
Dear Mr. Zamora:

Enclosed please find copy of the as-built Site Plan for the above mentioned site. The project was inspected by Advanced Engineering and Consulting, LLC on March 1, 2002. The only changes from the original site plan are the entrances. The radius at the entrance was eliminated. The rest of the site is built according the plan. We had discussed the changes to the entrances with Richard Dourte and yourself. Richard Dourte had told us to as-built the changes as part of the final certification.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,

Shahab Biazar, P.E.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 6, 2002

Shahab Biazar, P.E.  
Advanced Engineering & Consulting, LLC  
10205 Snowflake Ct NW  
Albuquerque, New Mexico 87114

RE: ALAMEDA BUSINESS PARK LOT 10 (C-16/D6M)  
(8509 Paseo Alameda NE)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 2/1/2001  
ENGINEERS CERTIFICATION DATED 3/5/2002

Dear Mr. Biazar:

Based upon the information provided in your Engineers Certification submittal dated 3/6/2002, the above referenced site is approved for Permanent Certificate of Occupancy.

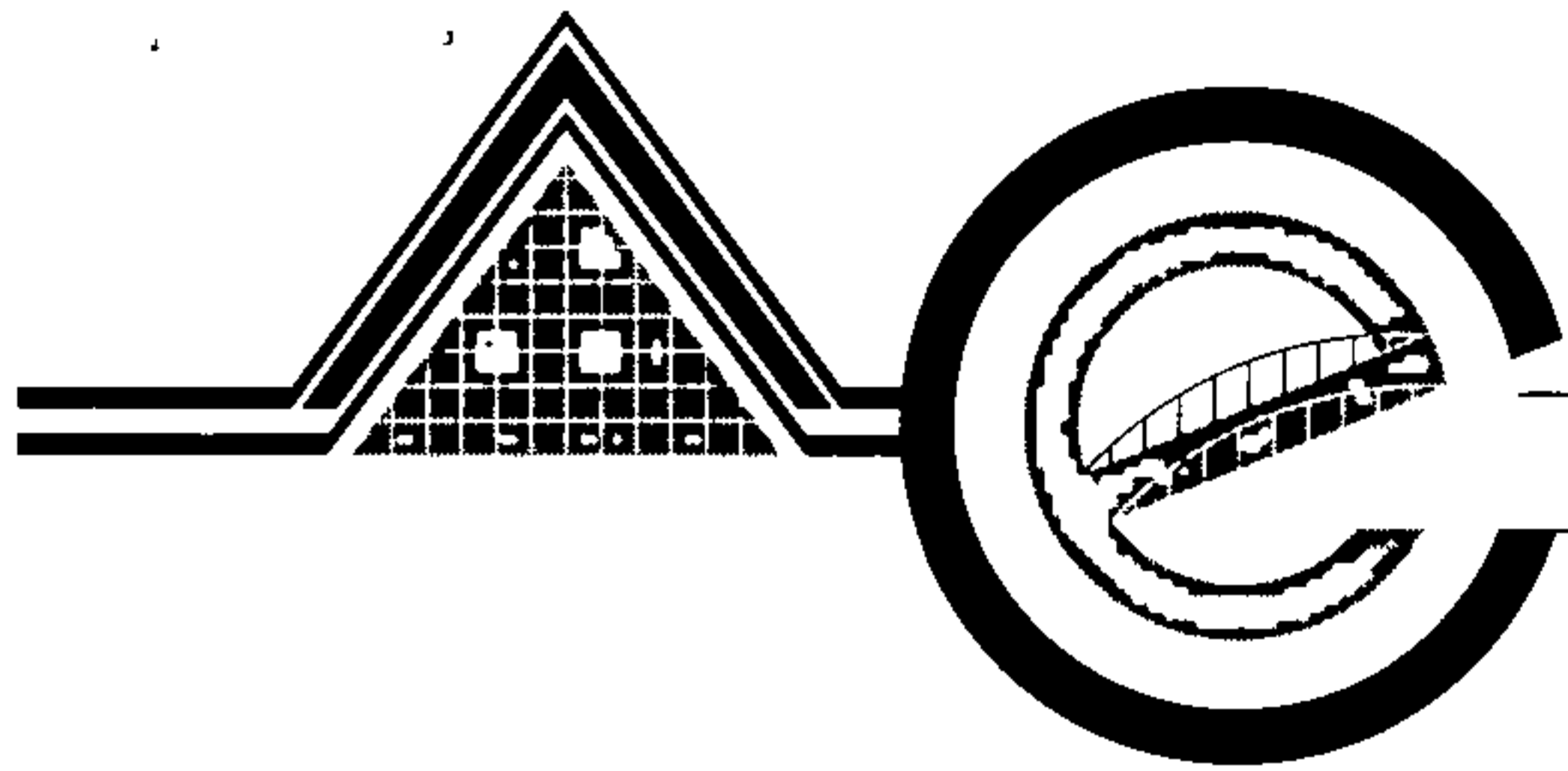
If I can be of further assistance, please contact me at 924-3981.

Sincerely,

*TAM*  
Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department

C: ☒ Wickie Chavez, COA  
drainage file  
approval file





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ADVANCED ENGINEERING and CONSULTING, LLC

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*Consulting  
Design  
Development  
Management  
Inspection*

March 5, 2002

Mr Carlos Montoya, P.E.  
City Hydrology Department  
600 Second Street NW  
Albuquerque, New Mexico 87102

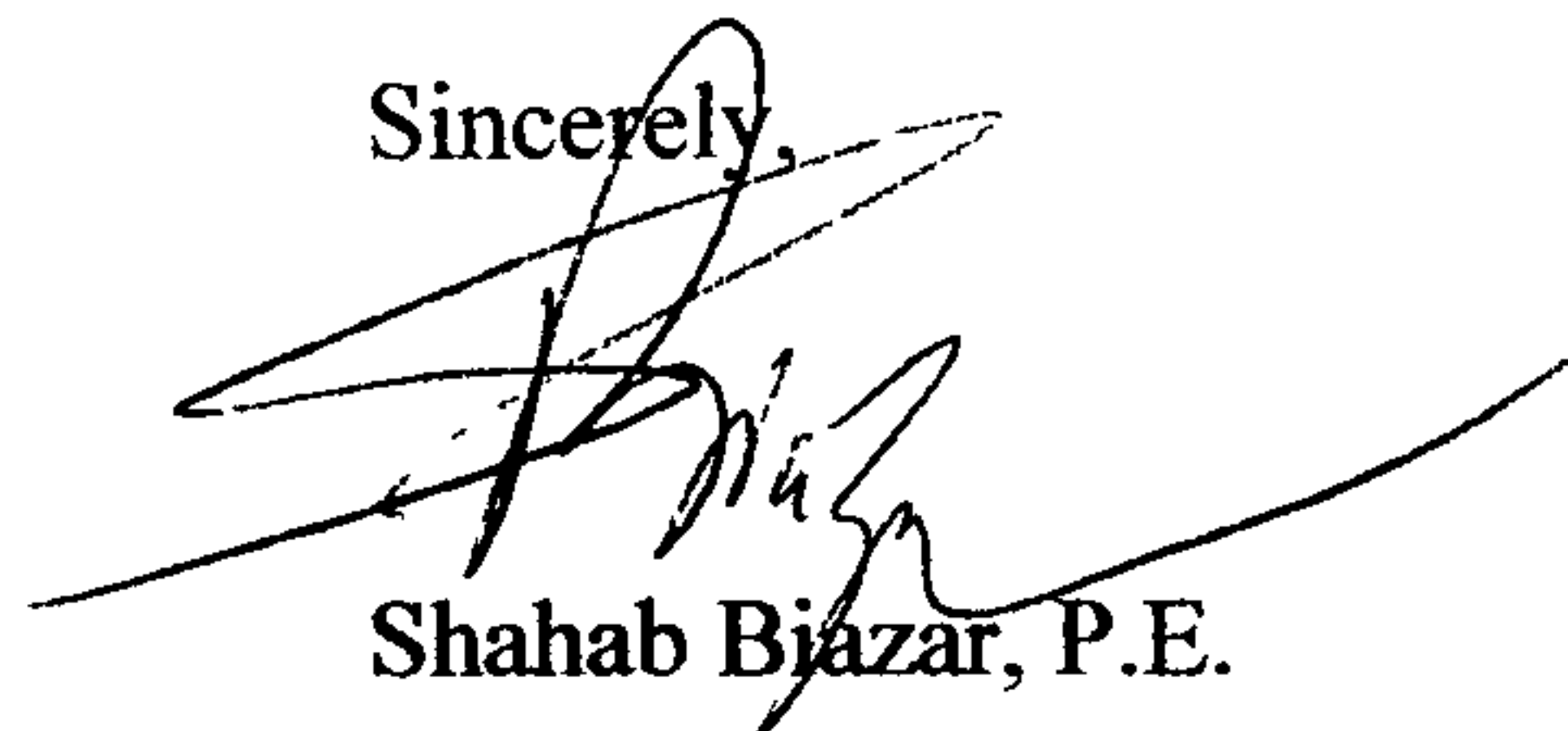
Re: Final Certification of Occupancy for Lot 10 Alameda Business Park, Located at 8509  
Paseo Alameda, NE (C16 / D6M)

Dear Mr. Montoya:

Enclosed please find one copy of the as-built Grading Plan for the above mentioned site. The site is landscaped. The grades are built according to the approved grading & drainage plan with engineering stamp date of February 1, 2001.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,



Shahab Biazar, P.E.

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

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☒ CERTIFICATION OF OCCUPANCY

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 03/05/2002 BY: Shahab Biazar, P.E.

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 16, 2001

Shahab Biazar  
Advanced Engineering and Consulting, LLC  
10205 Snowflake Ct. NW  
Albuquerque New Mexico 87114

**RE: Grading and Drainage Plan for Lot 10 Alameda Business Park (C16-D6M) Dated  
February 1, 2001**

Dear Mr. Biazar:

The above referenced plan received February 5, 2001 is approved by Hydrology for Rough Grading, Site Development Plan for Building Permit, and for Building Permit.

Upon completion of the project the engineer needs to certify the construction

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya  
City/County Floodplain Administrator



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 16, 2001

Shahab Biazar  
Advanced Engineering and Consulting, LLC  
10205 Snowflake Ct. NW  
Albuquerque New Mexico 87114

**RE: Grading and Drainage Plan for Lot 10 Alameda Business Park (C16-D6M) Dated  
February 1, 2001**

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Sincerely,

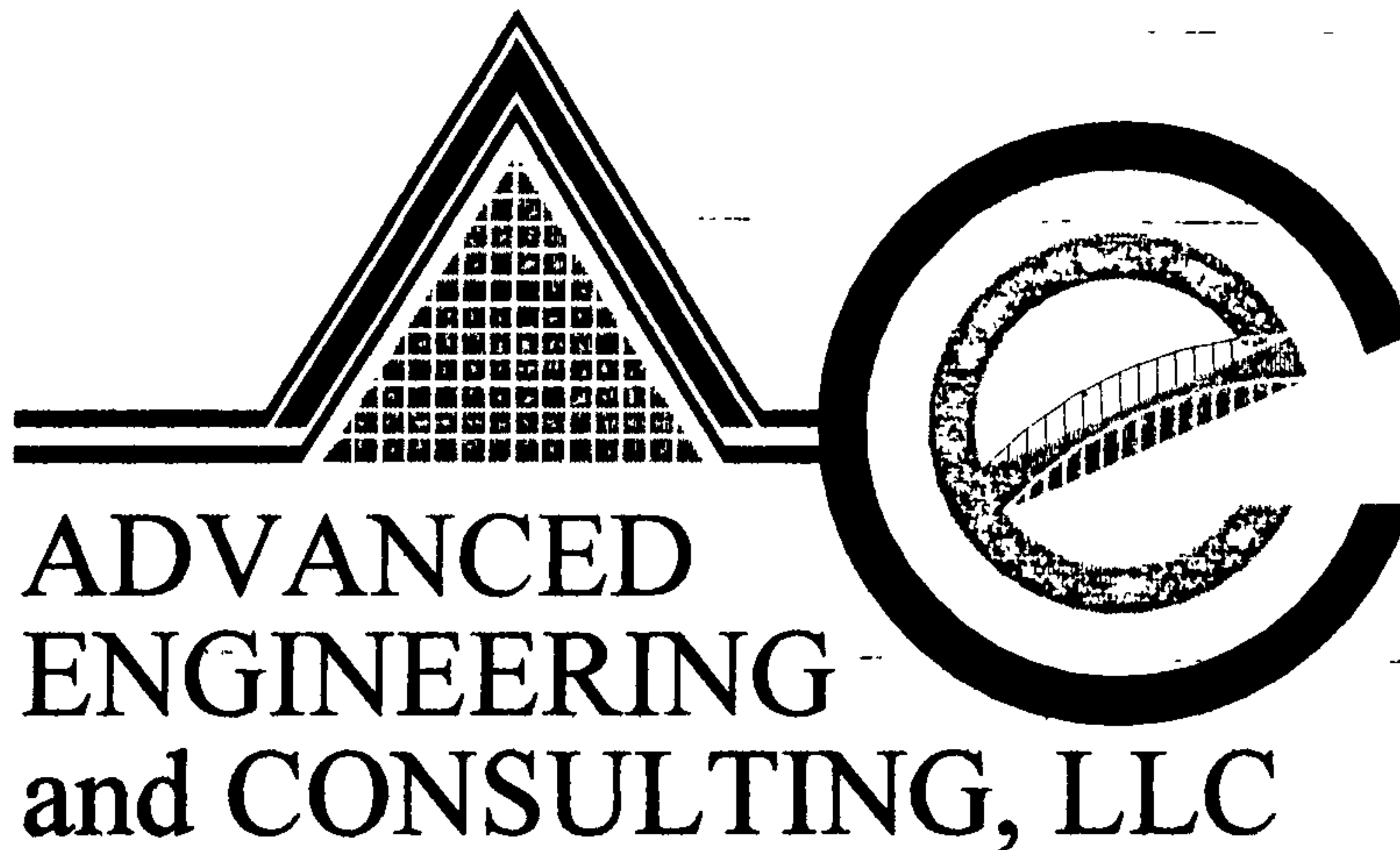
Carlos A. Montoya  
City/County Floodplain Administrator



DRAINAGE REPORT  
FOR

Lot 10  
Alameda Business Park

Prepared by:



10205 Snowflake Ct. NW  
Albuquerque, New Mexico 87114

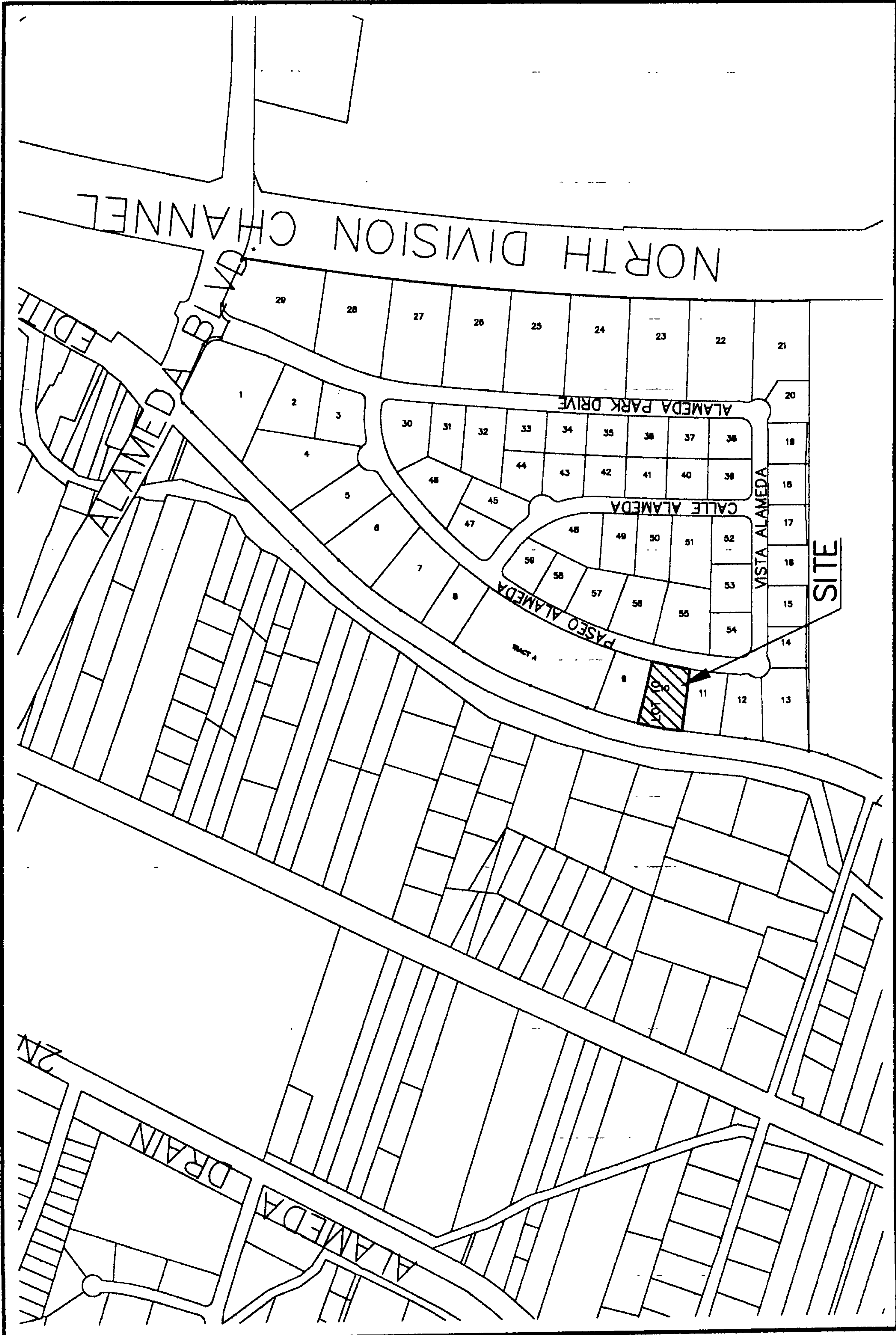
Prepared For:

C/O Helmick Homes, Inc.  
P. O. Box 91927  
Albuquerque, NM 87199

February, 2001



Shahab Biazar  
PE NO. 13479



VICINITY MAP

**Location**

Lot 10, Alameda Business Park, is located on the west side of Paseo Alameda and contains 0.8067 acres. See attached Vicinity Map C-16-Z for the location of the site.

**Purpose**

The owners are proposing to place new buildings on this Tract. Therefore, we are requesting Site Plan, Site Plan for Building permit, Building permit, and grading permit approval.

**Existing Drainage Conditions**

The site falls within drainage Basin 31, 32, and 6 of the Alameda Business Park (City Drainage number C-16/D6). A copy of this Overall Basin Map is included with this submittal. The site is analyzed under basins A and B. Basin A falls within Basin 31 and 32 of the Alameda Business Park and drains west to Edith Boulevard. Basin B falls within Basin 6 of the Alameda Business Park and drains east to Paseo Alameda.

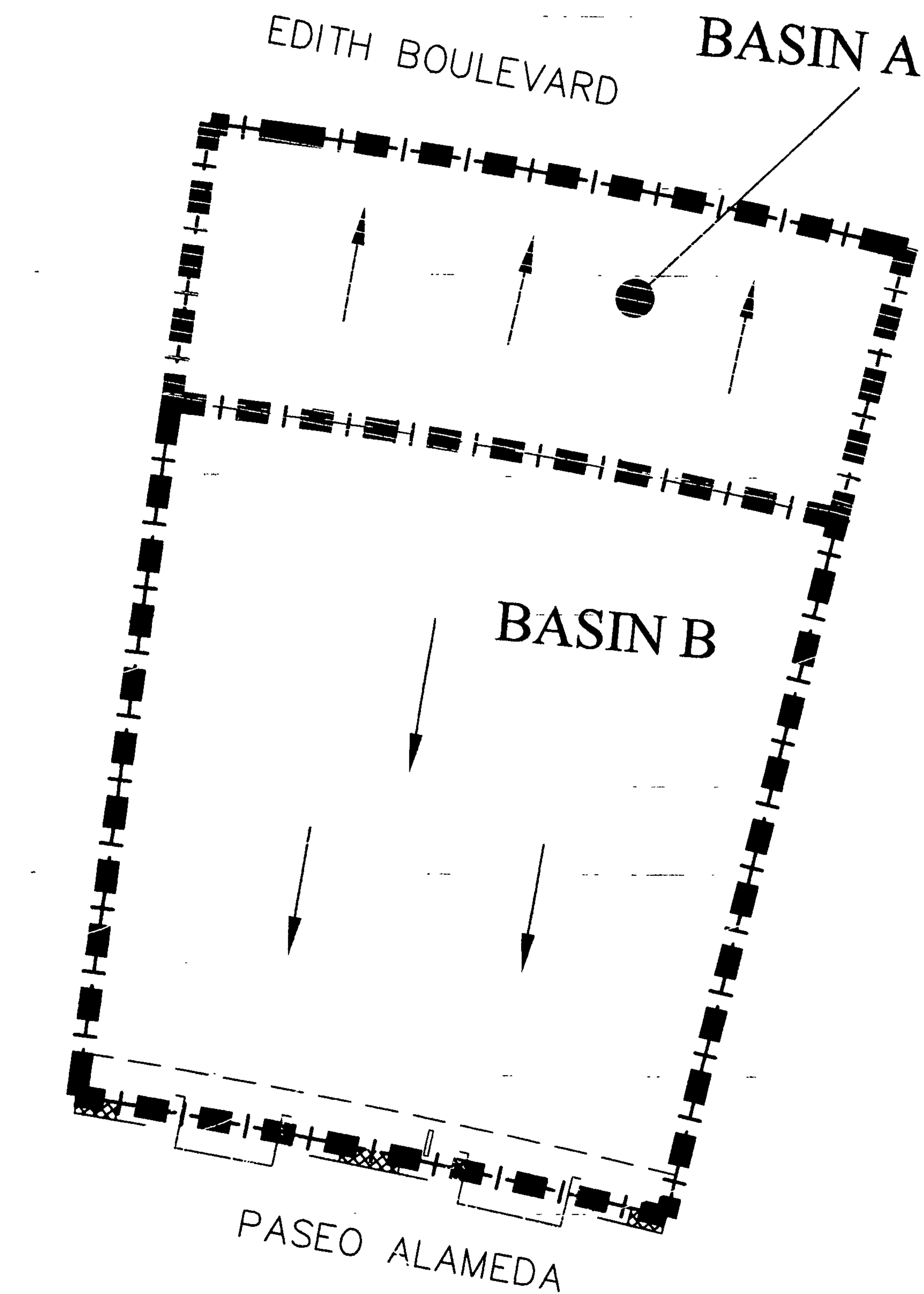
The site falls within FIRM Map No. 35001C 0136 D. The map shows that the site lies within, Zone X, an area outside the 500-year flood plain.

**Proposed Conditions and On-Site Drainage Management Plan**

The drainage patterns on site will remain the same. Basin A will continue to drain to Edith Boulevard at a flow rate of 0.47 cfs and Basin B will drain to Paseo Alameda at a flow rate of 1.71 cfs.

**Calculations**

City of Albuquerque, Development Process Manuel, Section 22.2, Hydrology Section, revised January 1993, was used for runoff calculations. See this report for Summary Table for runoff results. See also this report for AHYMO input and output files for runoff and ponding calculations.



# BASIN LAYOUT



## **RUNOFF CALCULATIONS**

The site is @ Zone 2

### **DEPTH (INCHES) @ 100-YEAR STORM**

$$P_{60} = 2.01 \text{ inches}$$

$$P_{360} = 2.35 \text{ inches}$$

$$P_{1440} = 2.75 \text{ inches}$$

### **DEPTH (INCHES) @ 10-YEAR STORM**

$$\begin{aligned} P_{60} &= 2.01 \times 0.667 \\ &= 1.34 \text{ inches} \end{aligned}$$

$$P_{360} = 1.57$$

$$P_{1440} = 1.83$$

See the summary output from AHYMO calculations.

Also see the following summary tables.

# RUNOFF CALCULATION RESULTS

## EXISTING

| BASIN   | AREA (SF) | AREA (AC) | AREA (MI <sup>2</sup> ) |
|---------|-----------|-----------|-------------------------|
| LOT 10  | 35,138.62 | 0.8067    | 0.001260                |
| BASIN A | 10,496.02 | 0.2410    | 0.000376                |
| BASIN B | 24,642.60 | 0.5657    | 0.000884                |

## HISTORICAL

| BASIN   | Q-100<br>CFS | Q-10<br>CFS |
|---------|--------------|-------------|
| BASIN A | 0.38         | 0.09        |
| BASIN B | 0.89         | 0.21        |

## PROPOSED

| BASIN   | Q-100<br>CFS | Q-10<br>CFS |
|---------|--------------|-------------|
| BASIN A | 0.47         | 0.15        |
| BASIN B | 1.71         | 0.92        |

\* ZONE 2

\*\*\*\*\*

\* 100-YEAR, 6-HR STORM (UNDER HISTORICAL CONDITIONS) \*

\*\*\*\*\*

\*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=2.01 IN RAIN SIX=2.35 IN  
RAIN DAY=2.75 IN DT=0.03333 HR

\* BASIN A

COMPUTE NM HYD ID=1 HYD NO=101.0 AREA=0.000376 SQ MI  
PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00  
TP=0.1333 HR MASS RAINFALL=-1

\* BASIN B

COMPUTE NM HYD ID=1 HYD NO=102.0 AREA=0.000884 SQ MI  
PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*

\* 10-YEAR, 6-HR STORM (UNDER HISTORICAL CONDITIONS) \*

\*\*\*\*\*

\*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.34 IN RAIN SIX=1.57 IN  
RAIN DAY=1.83 IN DT=0.03333 HR

\* BASIN A

COMPUTE NM HYD ID=1 HYD NO=111.0 AREA=0.000376 SQ MI  
PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00  
TP=0.1333 HR MASS RAINFALL=-1

\* BASIN B

COMPUTE NM HYD ID=1 HYD NO=112.0 AREA=0.000884 SQ MI  
PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*

\* 100-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) \*

\*\*\*\*\*

\*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=2.01 IN RAIN SIX=2.35 IN  
RAIN DAY=2.75 IN DT=0.03333 HR

\* BASIN A

COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.000376 SQ MI  
PER A=100.00 PER B=100.00 PER C=0.00 PER D=0.00  
TP=0.1333 HR MASS RAINFALL=-1

\* BASIN B

COMPUTE NM HYD ID=1 HYD NO=102.1 AREA=0.000884 SQ MI  
PER A=100.00 PER B=10.00 PER C=0.00 PER D=90.00  
TP=0.1333 HR MASS RAINFALL=-1

```

*****
*          10-YEAR,  6-HR STORM (UNDER PROPOSED CONDITIONS)          *
*****
*
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.34 IN RAIN SIX=1.57 IN
               RAIN DAY=1.83 IN DT=0.03333 HR

* BASIN A
COMPUTE NM HYD ID=1 HYD NO=111.1 AREA=0.000376 SQ MI
               PER A=100.00 PER B=100.00 PER C=0.00 PER D=0.00
               TP=0.1333 HR MASS RAINFALL=-1

* BASIN B
COMPUTE NM HYD ID=1 HYD NO=112.1 AREA=0.000884 SQ MI
               PER A=100.00 PER B=10.00 PER C=0.00 PER D=90.00
               TP=0.1333 HR MASS RAINFALL=-1
*****
FINISH

```

RUN DATE (MON/DAY/YR) =02/02/2001  
USER NO.= AHYMO-I-9702c01000R31-AH

[illegible]