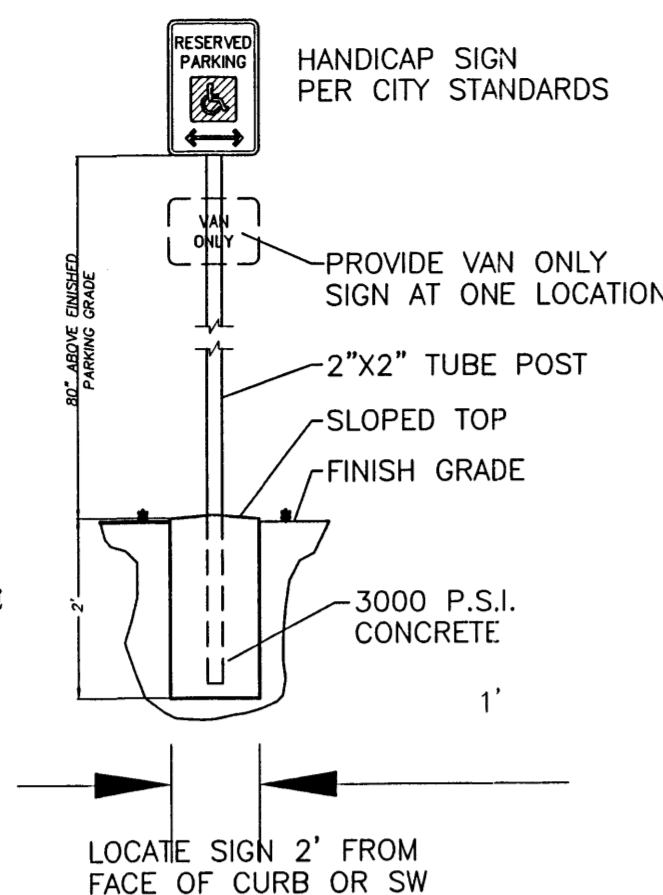


# LEGEND

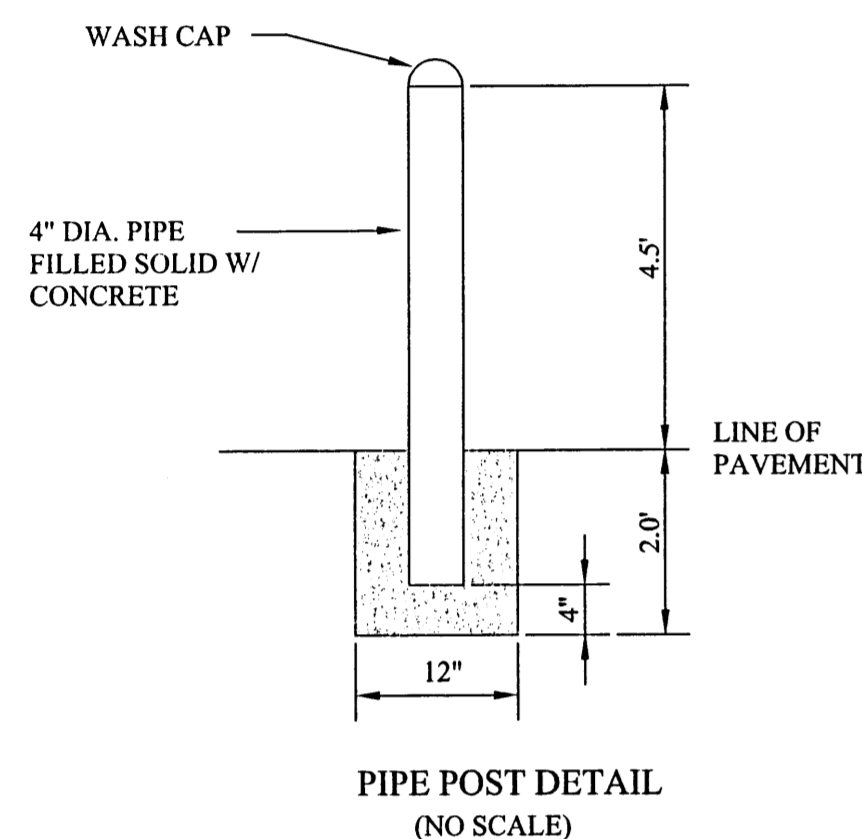
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED SCREEN WALL
- EXISTING CURB & GUTTER
- CHAIN LINKED FENCE

## NOTES:

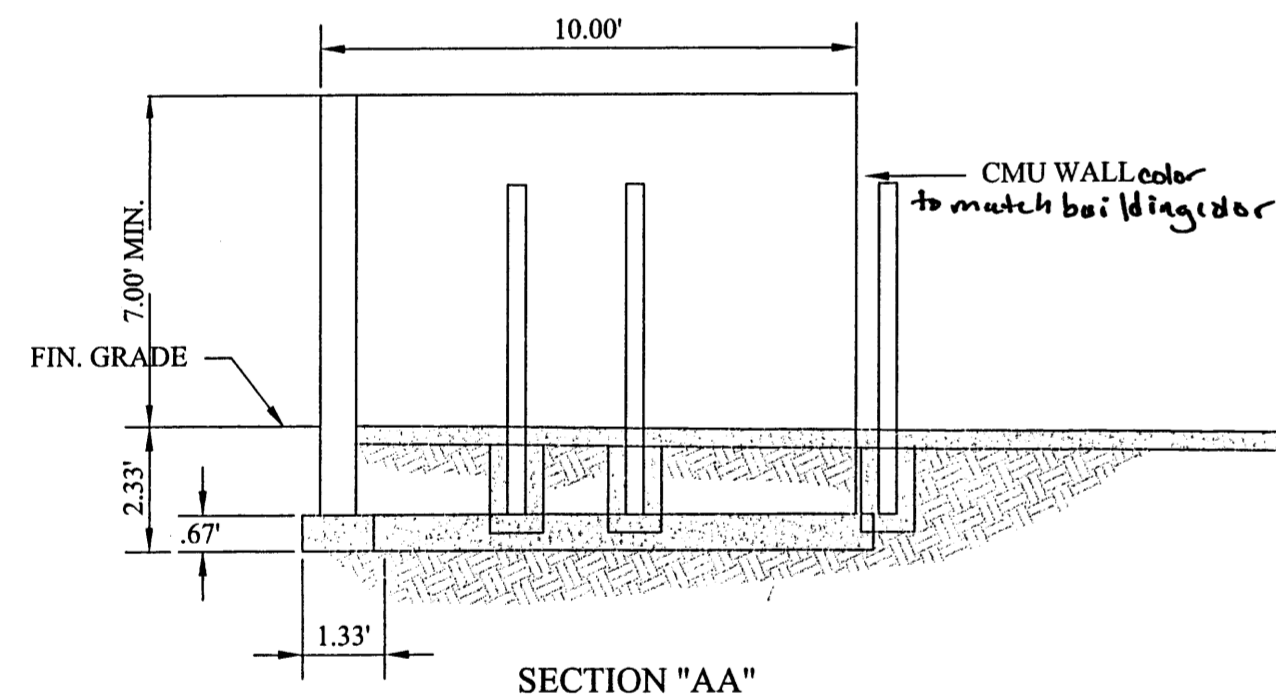
- SIGN TO BE PER LOCAL HANDICAPPED REQUIREMENTS. VERIFY WITH CITY SIZE & SHAPE
- PROVIDE SIGN @ ALL HANDICAPPED PARKING STALLS INDICATED ON SITE PLAN
- PLACE SIGN 2' FROM THE CURB



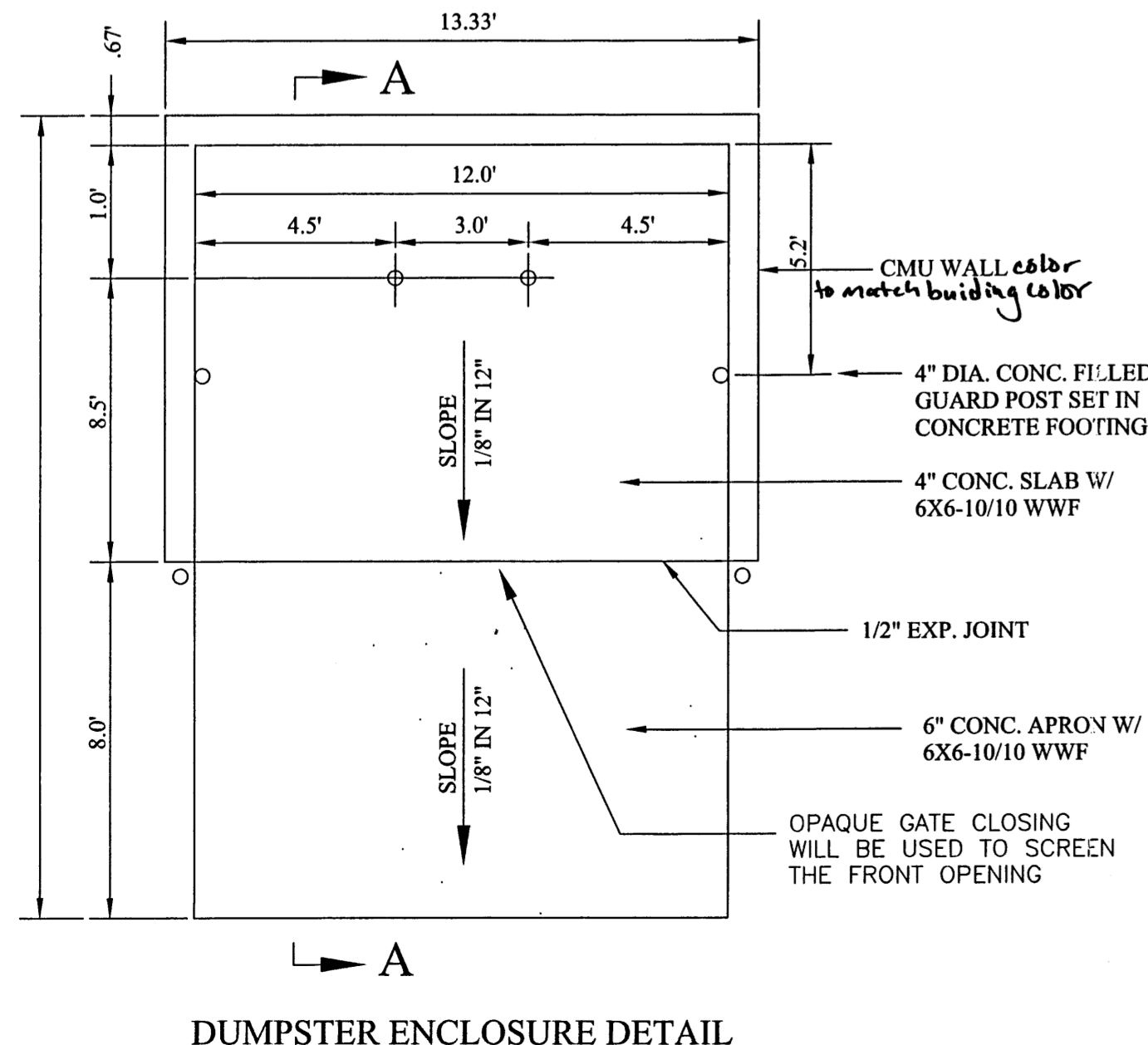
**HANDICAP SIGN DETAIL**  
NTS



**PIPE POST DETAIL**  
(NO SCALE)



**SECTION "AA"**



**DUMPSTER ENCLOSURE DETAIL**

NTS

## GENERAL NOTES:

- SITE LIGHTING WILL BE BUILDING-MOUNTED, HIGH PRESSURE SODIUM, 400 WATTS. LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES.
- THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN. SEE DETAIL THIS SHEET FOR MONUMENT SIGN. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE.
- THIS SITE PLAN CONFORMS WITH THE REQUIREMENTS OF THE NORTH 1-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE IP, INDUSTRIAL PARK ZONE.
- THIS SITE PLAN ALSO CONFORMS WITH THE APPROVED AMENDED MASTER DEVELOPMENT PLAN FOR THE ALAMEDA BUSINESS PARK DATED 08/04/99, DRB 98-223.
- IF THE REAR FACADE IS VISIBLE FROM EDITH BLVD. METAL PANELING MAY NOT BE USED, PER APPROVED MASTER PLAN 7/12/00.

## LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" REVISED APRIL 10, 2000) SHALL BE CONSULTED PRIOR DEVELOPMENT OF THE SITE.

## SITE DATA

PROPOSED USAGE: OFFICE/STORAGE  
LOT AREA: 35,140 S.F. (0.8067 ACRE)  
OFFICE AREA: 1,000 S.F.  
STORAGE AREA: 6,500 S.F.  
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTABLE INTERIOR FRAMING)

## LANDSCAPE CALCULATIONS:

NET LOT AREA: 27,640 SF ±  
LANDSCAPING REQUIRED: 4,146 SF ±  
LANDSCAPE PROVIDED: 4,756 SF ± (17.2%)

## PARKING CALCULATIONS:

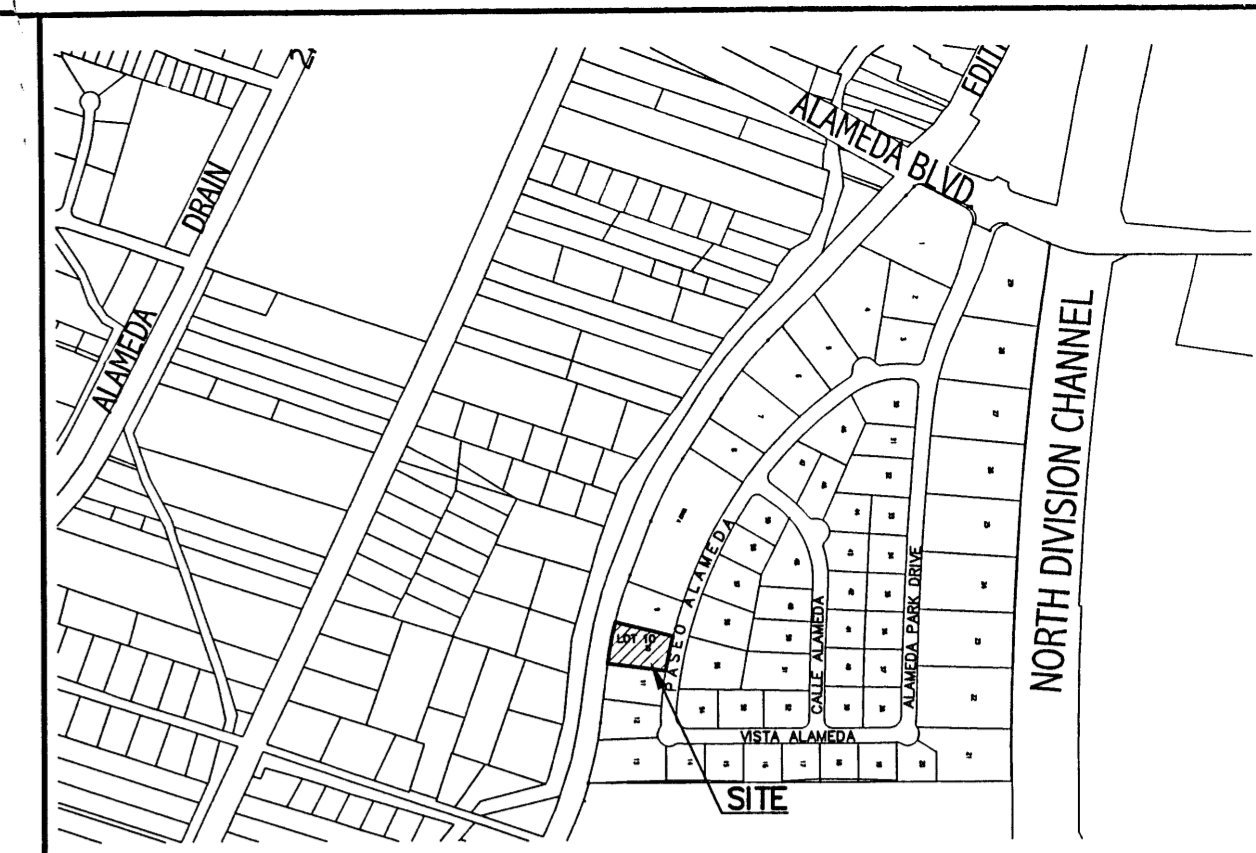
PARKING REQUIRED:  
OFFICES: 1,000 GSF / 200 GSF 5 SPACES  
STORAGE: 6,500 GSF / 2,000 GSF 3 SPACES  
TOTAL: 8 SPACES

TOTAL PARKING PROVIDED: 11 SPACES

HC PARKING REQUIRED: 1 SPACE (1 VAN)  
HC PARKING PROVIDED: 2 SPACE (1 VAN)

BICYCLE SPACES REQUIRED: 2 SPACE

BICYCLE SPACES PROVIDED: 2 SPACE



VICINITY MAP:

C-16-Z

## LEGAL DESCRIPTION:

LOT 10, ALAMEDA BUSINESS PARK, CONTAINING 0.8067 ACRE.  
ZONING SU1 FOR IP

## SHEET INDEX

- SITE PLAN
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- ELEVATIONS

Proj# 1000624

CASE NUMBER: Z- 01450-00000-00258

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

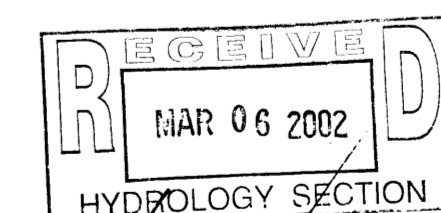
## SITE DEVELOPMENT PLAN

*Richard D. Danks* 3-21-01  
Traffic Engineer, Transportation Division Date  
*William E. Cardenas* 3-21-01  
Parks & Recreation Department Date  
*Sam R. H. Rogers* 3-21-01  
Public Works, Water Utilities Division Date  
*Greg J. Mearns* 3/21/01  
City Engineer, Engineering Division / AMAFCA Date

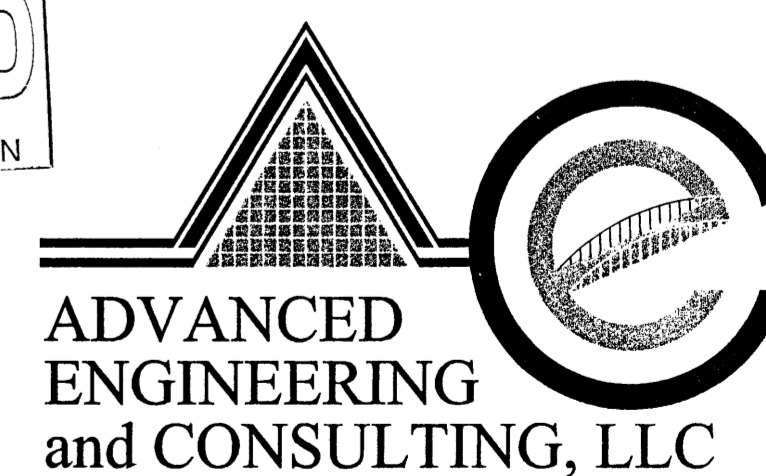
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

*Janet 36* 5/3/01  
City Planner, Albuquerque / Bernalillo Date  
County Planning Division  
*Shirley San Roca* 02-20-01  
Solid Waste Date

*Shirley San Roca* Feb. 20, 2001  
ENVIRONMENTAL HEALTH Date  
PLNZ (10706) 4/96



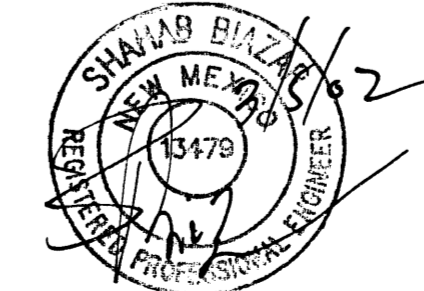
SHAHAB BIAZAR  
P.E. #13479



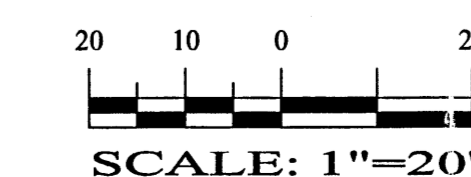
**ADVANCED  
ENGINEERING  
and CONSULTING, LLC**

10205 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505) 899-5570

I SHAHAB BIAZAR, A REGISTER ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE DRB APPROVED SITE PLAN. THE SITE WAS INSPECTED BY ADVANCED ENGINEERING AND CONSULTING, LLC ON March 1, 2002



## GRAPHIC SCALE



## HELMICK-DORIS WAREHOUSE SITE PLAN

DRAWING: 2042-ST.DWG	DRAWN BY: SBB	DATE: 01-09-01	SHEET # 1 OF 4
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LAST REVISION: 02-16-01