

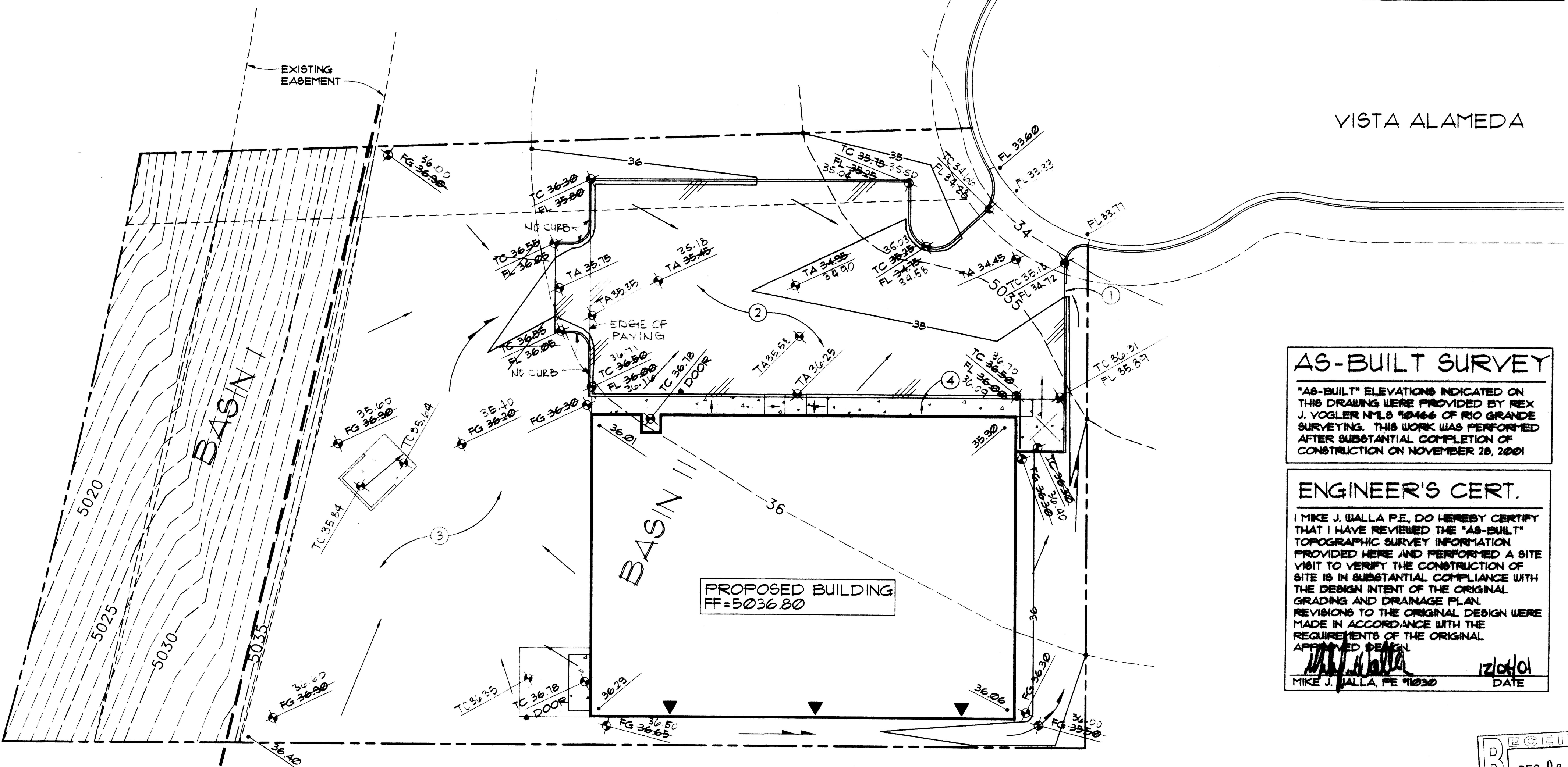
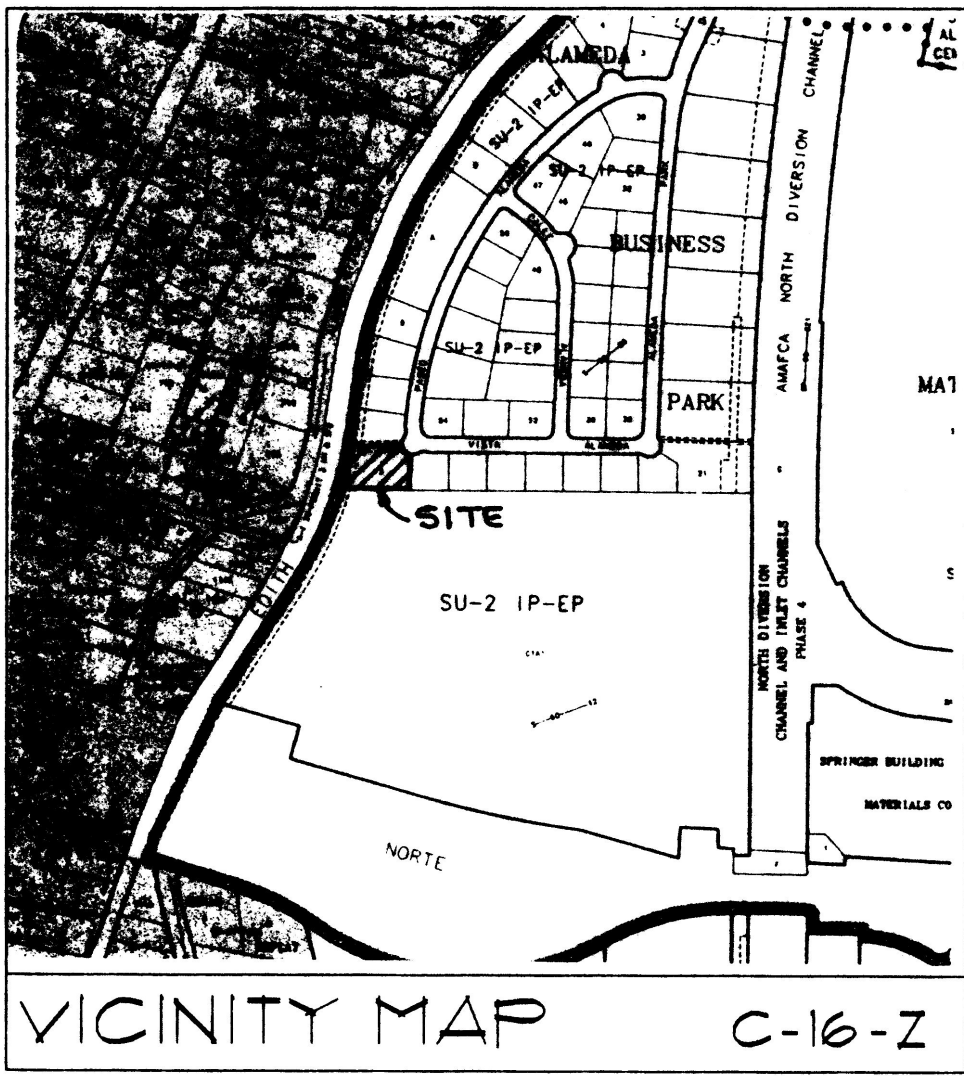
HYDROLOGY CALCULATIONS

ALBUQUERQUE, NM DPM (JANUARY, 1993) CRITERIA - SIMPLE PROCEDURE
PRECIPITATION ZONE 2 - PER DPM 22.2
100 - YR Design Storm (P) Depth (in)
1hr 6hr 24hr 4day 10day
2.01 2.35 2.75 3.30 3.95

EXISTING CONDITIONS		AREA	P6	Q	Q	V6	V24	V4day	V10day
TREATMENT	CLASS	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.00	0%	0.78	2.28	0.00	0	0	0	0
C	1.10	100%	1.13	3.14	3.45	4,512	4,512	4,512	4,512
D	0.00	0%	2.12	4.70	0.00	0	0	0	0
TOTALS		1.10	100%		3.45	4,512	4,512	4,512	4,512

PROPOSED CONDITIONS - BASIN I		AREA	P6	Q	Q	V6	V24	V4day	V10day
TREATMENT	CLASS	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.00	0%	0.78	2.28	0.00	0	0	0	0
C	0.25	100%	1.13	3.14	0.79	1,025	1,025	1,025	1,025
D	0.00	0%	2.12	4.70	0.00	0	0	0	0
TOTALS		0.25	100%		0.79	1,025	1,025	1,025	1,025

PROPOSED CONDITIONS - BASIN II		AREA	P6	Q	Q	V6	V24	V4day	V10day
TREATMENT	CLASS	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.095	11%	0.78	2.28	0.22	269	269	269	269
C	0.315	37%	1.13	3.14	0.99	1,292	1,292	1,292	1,292
D	0.440	52%	2.12	4.70	2.07	3,386	4,025	4,903	5,942
TOTALS		0.85	100%		3.27	4,947	5,586	6,464	7,503



AS-BUILT SURVEY
"AS-BUILT" ELEVATIONS INDICATED ON THIS DRAWING WERE PROVIDED BY REX J. VOGELER NMLS #0466 OF RIO GRANDE SURVEYING. THIS WORK WAS PERFORMED AFTER SUBSTANTIAL COMPLETION OF CONSTRUCTION ON NOVEMBER 28, 2001.

ENGINEER'S CERT.
I, MIKE J. WALLA P.E., DO HEREBY CERTIFY THAT I HAVE REVIEWED THE "AS-BUILT" TOPOGRAPHIC SURVEY INFORMATION PROVIDED HERE AND PERFORMED A SITE VISIT TO VERIFY THE CONSTRUCTION OF SITE IS IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE ORIGINAL GRADING AND DRAINAGE PLAN. REVISIONS TO THE ORIGINAL DESIGN WERE MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORIGINAL APPROVED DESIGN.

MIKE J. WALLA, P.E. #11030
12/04/01
DATE

LEGAL DESCRIPTION

LOT 13, ALAMEDA BUSINESS PARK, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO

PERMANENT BENCHMARK

AMAFCA BRASS TABLET STAMPED "NDC -1" N.M. STATE
PLANE COORDINATES (CENTRAL ZONE)
X = 394,294.80 Y = 1522,635.84
GROUND-TO-GRID FACTOR = 0.99967075
ELEVATION = 5026.6

KEYED NOTES

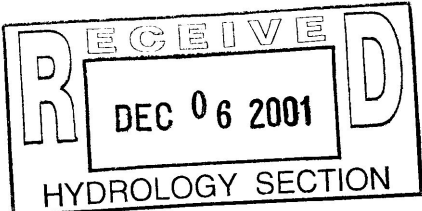
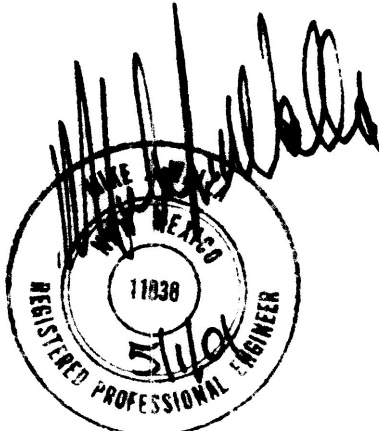
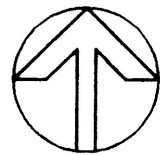
- 4" WIDE CURB BREAK FOR DRAINAGE FLOW
- 2" AC PAVING OVER 4" AGGREGATE BASE COURSE OVER 12" SCARIFIED AND COMPACTED SUBGRADE
- GRAVEL LAY DOWN AREA
- 2% CROSS SLOPE - TYPICAL

LEGEND

- PROPERTY LINE
- 5035 EXISTING CONTOUR
- 35 PROPOSED CONTOUR
- 36.20 PROPOSED SPOT ELEVATION
- 36.40 EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- SWALE DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE
- FL FLOWLINE
- TA TOP OF ASPHALT
- ROOF DRAIN
- BASIN BOUNDARY
- PROPOSED BUILDING
- PROPOSED ASPHALT PAVING
- PROPOSED CONC. PAVING

GRADING and DRAINAGE PLAN

1" = 20'



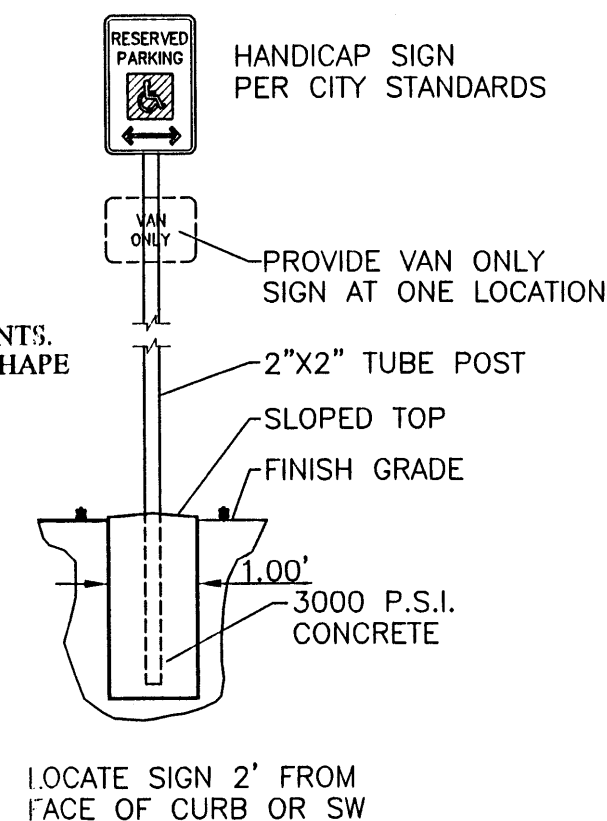
Walla ENGINEERING LTD
Structural Engineering
Civil Engineering
6100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
881-3008 • Facsimile 884-5390

HB Construction Office
GRADING and DRAINAGE PLAN

DESIGN: MJW PROJECT NO.: H11-0101 SHEET
DRAWN: LEK
CHECKED: MJW DATE: MAY 1, 2001
3 OF 4

- LEGEND**
- BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - PROPOSED CURB
 - PROPOSED SCREEN WALL
 - EXISTING CURB & GUTTER
 - CHAIN LINKED FENCE

- NOTES:**
- SIGN TO BE PER LOCAL HANDICAPPED REQUIREMENTS. VERIFY WITH CITY SIZE & SHAPE
 - PROVIDE SIGN @ ALL HANDICAPPED PARKING STALLS INDICATED ON SITE PLAN
 - PLACE SIGN 2' FROM THE CURB



HANDICAP SIGN DETAIL
NTS

GENERAL NOTES:

- SITE LIGHTING WILL BE BUILDING-MOUNTED, HIGH PRESSURE SODIUM, 400 WATTS. LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES.
- THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN. SEE DETAIL THIS SHEET FOR MONUMENT SIGN. ALL SIGNAGE SHALL CONFORM TO THE CITY OF ALBUQUERQUE SIGN CODE.
- THIS SITE PLAN CONFORMS WITH THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN, THE ALAMEDA DESIGN OVERLAY ZONE, THE NORTH VALLEY AREA PLAN, AND THE IP, INDUSTRIAL PARK ZONE.
- THIS SITE PLAN ALSO CONFORMS WITH THE APPROVED AMENDED MASTER DEVELOPMENT PLAN FOR THE ALAMEDA BUSINESS PARK DATED 08/04/99, DRB 98-223.
- IF THE REAR FACADE IS VISIBLE FROM EDITH BLVD. METAL PANELING MAY NOT USED, PER APPROVED MASTER PLAN 7/12/00.

LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" REVISED AUGUST 29, 2000) SHALL BE CONSULTED PRIOR DEVELOPMENT OF THE SITE.

SITE DATA

PROPOSED USAGE: OFFICE/STORAGE
LOT AREA: 48,182 S.F. (1.1061 ACRE)
OFFICE AREA: 3,394 S.F.
STORAGE AREA: 6,886 S.F.
CONSTRUCTION TYPE: IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTABLE INTERIOR FRAMING)

LANDSCAPE CALCULATIONS:
NET LOT AREA: 37,902 SF ±
LANDSCAPING REQUIRED: 5,685 SF ±
15% OF 37,902 SF
LANDSCAPE PROVIDED: 12,102 SF ± (31.9%)

PARKING CALCULATIONS:
PARKING REQUIRED:
OFFICES: 3,394 GSF / 200 GSF 17 SPACES
STORAGE: 6,886 GSF / 2,000 GSF 3 SPACES
TOTAL: 20 SPACES

TOTAL PARKING PROVIDED: 25 SPACES
HC PARKING REQUIRED: 1 SPACE (1 VAN)
HC PARKING PROVIDED: 2 SPACE (1 VAN)
BICYCLE SPACES REQUIRED: 2 SPACE
BICYCLE SPACES PROVIDED: 2 SPACE



VICINITY MAP:

C-16-Z

LEGAL DESCRIPTION:

LOT 13, ALAMEDA BUSINESS PARK, CONTAINING 1.1061 ACRE.
ZONING SU1 FOR IP

SHEET INDEX

- SITE PLAN
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- ELEVATIONS

PROJECT # 1000 624

DRB Application # 01420-00000-00810

CASE NUMBER: DRB-98-223

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

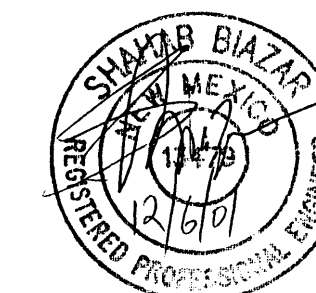
SITE DEVELOPMENT PLAN

Richard A. Danks 7/30/01
Traffic Engineer, Transportation Division Date
Melanie E. Cardelino 7/11/01
Parks & Recreation Services Department Date
Nancy Ormiston 7/25/01
Public Works, Water Utilities Division Date
Loren A. Wain 7/11/01
City Engineer, Engineering Division / AMAFCA Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

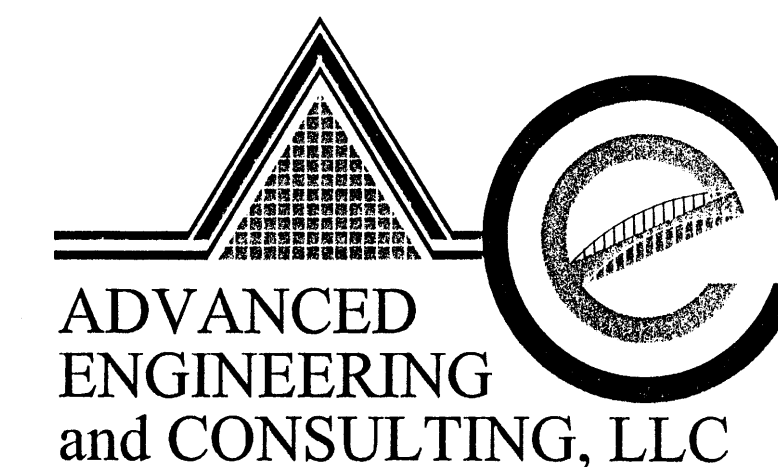
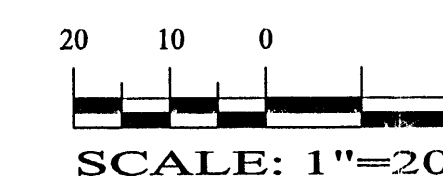
Shahab Biazar 8/1/01
City Planner, Albuquerque / Planning Division Date
Shahab Biazar 8/1/01
Solid Waste Date
Shahab Biazar 8/1/01
Environmental Health Date
PLN2 (10706) 4/96

I SHAHAB BIAZAR, A REGISTER ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE DRB APPROVED SITE PLAN. THE SITE WAS INSPECTED BY ADVANCED ENGINEERING AND CONSULTING, LLC ON DECEMBER 5, 2001



△ Add a new Parking Space

GRAPHIC SCALE



SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**HB CONSTRUCTION
SITE PLAN**

DRAWING: 200123-ST.DWG	DRAWN BY: SBB	DATE: 06-04-01	SHEET # 1 OF 4
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