

FIRM MAP, PANEL 350002 0009 @ 1"= 500', 1983

CALCULATIONS

1. DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR THE CITY OF ALBUQUERQUE AND ADOPTED BY THE COUNTY OF BERNALILLO. DISCHARGE RATE: $Q = Q_{peak} \times AREA$ PEAK DISCHARGE RATES FOR SMALL WATERSHEDS. VOLUMETRIC DISCHARGE: $VOLUME = E_{weighted} \times AREA$ SOIL TYPE: SILTY SAND, NON-PLASTIC, USC CLASSIFICATION (SM) UNIFIED SOIL CLASSIFICATION $P_{100} = 2.60$ INCHES, ZONE 3 DESIGN STORM: 100 YEAR / 6 HOUR, 10-YEAR / 6 HOUR WHERE $[] = 10$ YEAR VALUES

2. EXISTING CONDITIONS

PROJECT AREA = 0.5653 ACRES, WHERE EXCESS PRECIPITATION 'A' = 0.53, IN [0.13] PEAK DISCHARGE, $Q_{100} = 0.88$ cfs [0.22], WHERE UNIT PEAK DISCHARGE 'A' = 1.56 cfs/acre [0.38] THEREFORE: $VOLUME_{100} = 1088$ cf [267]

3. DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE & WEIGHTED EXCESS PRECIPITATION

AREA	LAND TREATMENT	UNIT PEAK DISCHARGE	'E'
UNDEVELOPED	A	1.56 [0.38]	0.53 [0.13]
LANDSCAPING	B	2.28 [0.95]	0.73 [0.28]
GRAVEL & COMPACTED SOIL	C	3.14 [1.71]	1.13 [0.52]
ROOF / PAVEMENT	D	4.70 [3.14]	2.12 [1.34]

$E_{weighted} = 1.93$ in [1.19]
 $Q_{100} = 2.47$ cfs, $Q_{10} = 1.60$ cfs, $VOL_{100} = 3,960$ cf, $VOL_{10} = 2442$ cf

FROM MASTER DRAINAGE REPORT, DATED FEB. 17, 1999, BOHANNAN HUSTON

$Q_{100} = 2.45$ cfs

INCREASED FLOW = 0.02 cfs

4. OFFSITE FLOWS

AS PER THE GRADING PLAN FOR THE SUBDIVISION AND THE MASTER DRAINAGE PLAN STORM WATER FLOWS FROM LOT 32 ALONG THE WESTERN PROPERTY LINE OF LOT 44. AN EXISTING SWALE DIRECTS THE OFFSITE FLOW ACROSS LOT 44 TO CALLE ALAMEDA. FLOW IS THEN DIRECT TO THE STORM SEWER SYSTEM. PLEASE REFER TO THE MASTER DRAINAGE REPORT FOR FURTHER INFORMATION.

DEVELOPED PEAK FLOW FROM LOT 32 = 3.98 cfs

WIDTH OF "V" DITCH SWALE = 3.42 ft

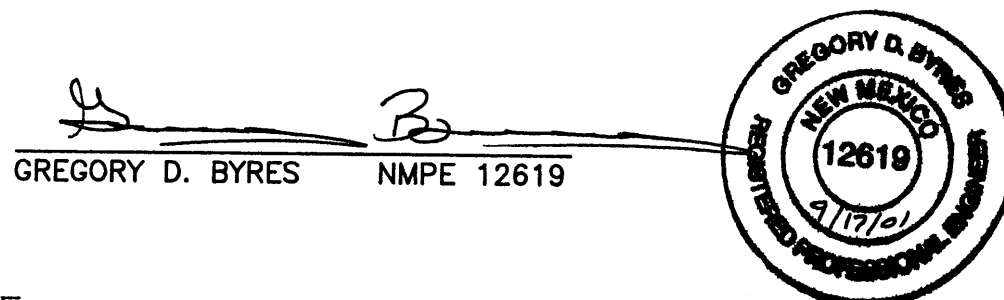
DEPTH OF "V" DITCH SWALE = 0.57 ft

SLOPE OF "V" DITCH SWALE = 1.27%

SURVEY NOTES:

- THE BOUNDARY DATA SHOWN ARE TAKEN FROM THE RECORDED PLAT.
- DATA IN PARENTHESIS AS (FIELD), ARE FIELD MEASUREMENTS.
- THIS IS NOT A BOUNDARY SURVEY.
- NO EASEMENT SEARCH WAS PERFORMED OR PROVIDED BY CLIENT.

I, GREGORY D. BYRES, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



GREGORY D. BYRES NMPE 12619

EXISTING CONDITIONS

AS SHOWN ON THE VICINITY MAP, THE SITE CONTAINS 0.5653 ACRES AND IS LOCATED WITHIN THE ALAMEDA BUSINESS PARK. THE SITE IS SOUTH OF ALAMEDA BLVD. AND WEST OF THE AMAFCA NORTH DIVERSION CHANNEL.

THE LOT TOPOGRAPHY SLOPES FROM EAST TO WEST.

MINIMAL VEGETATION IS CURRENTLY PRESENT ALONG THE SURFACE.

THE SUBDIVISION IS CURRENTLY DEVELOPED WITH CITY INFRASTRUCTURE, AND SEVERAL LOTS ARE BEING DEVELOPED OR HAVE ALREADY BEEN DEVELOPED.

ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 35002 0009D, DATED SEPTEMBER 15, 1983, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN.

THIS PLAN INDICATES:

- EXISTING AND NEW CONTOURS WITH SPOT ELEVATIONS.
- PROPOSED IMPROVEMENTS: BUILDING ENVELOPE, DRIVES, GRADING, AND UTILITIES.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUN-OFF GENERATED BY THE PROPOSED IMPROVEMENTS, ESSENTIALLY FOLLOWING THE REQUIREMENTS OF THE PREVIOUSLY PREPARED MASTER GRADING AND DRAINAGE PLAN. THIS PLAN DETERMINES THE RUN-OFF RESULTING FROM THE 100-YEAR/6-HOUR DURATION STORMS FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS. THE MASTER GRADING PLAN WAS PREPARED BY BOHANNAN HUSTON AND TITLED, REVISED DRAINAGE REPORT FOR ALAMEDA BUSINESS PARK (TRACT B-1-A-1), DATED FEBRUARY 17, 1999.

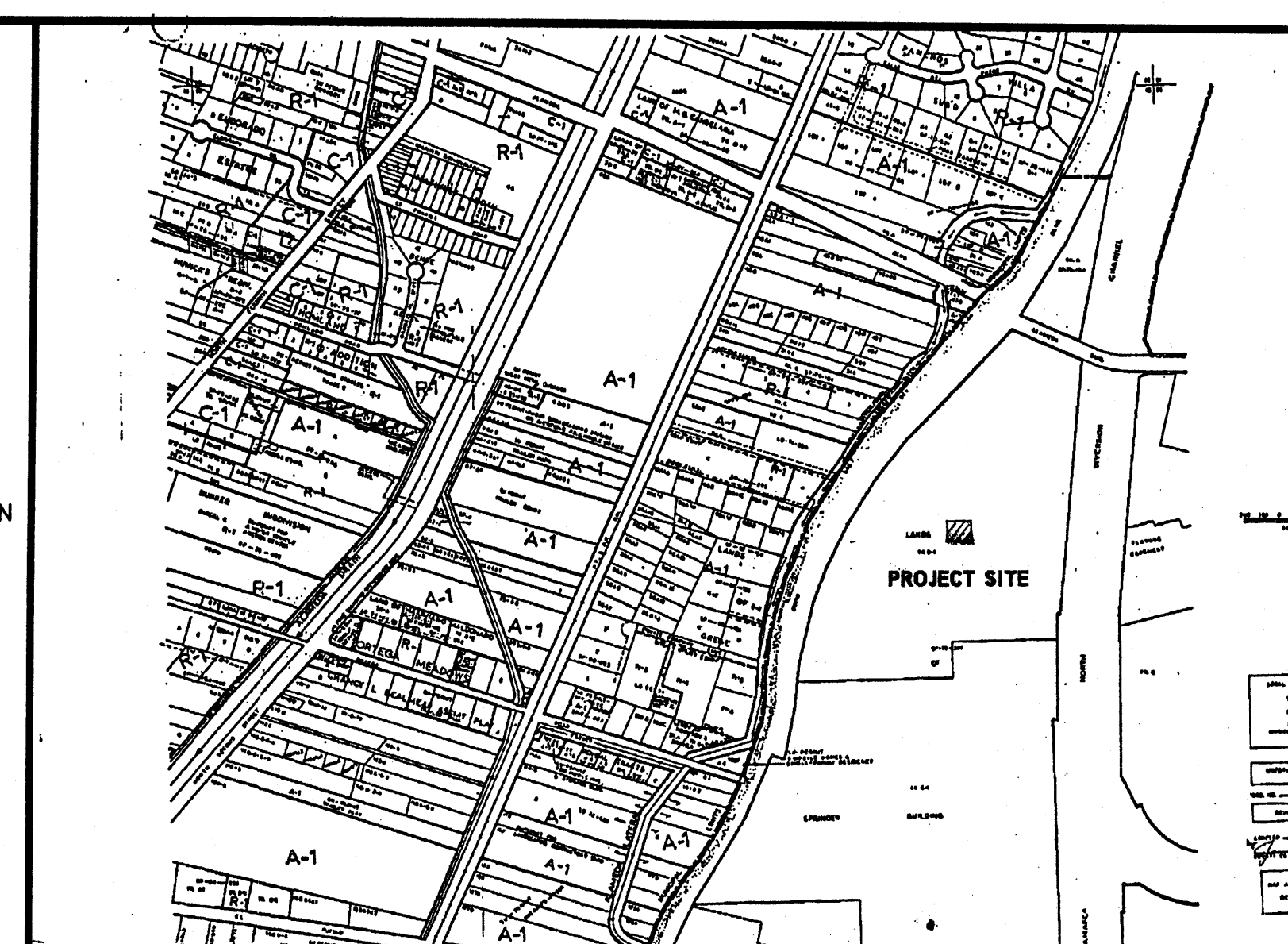
PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF THE DEVELOPMENT OF A SINGLE COMMERCIAL STRUCTURE. THE PLAN SHOWS THE PROPOSED ELEVATIONS REQUIRED TO PROPERLY GRADE THE PROPOSED IMPROVEMENTS. THE DRIVEWAY AND PARKING AREA WILL BE PAVED.

ALL DRAINAGE FLOWS WILL BE MANAGED ONSITE AND ALLOWED TO DRAIN ALONG DRAINAGE PATHS ESTABLISHED BY THE MASTER GRADING PLAN.

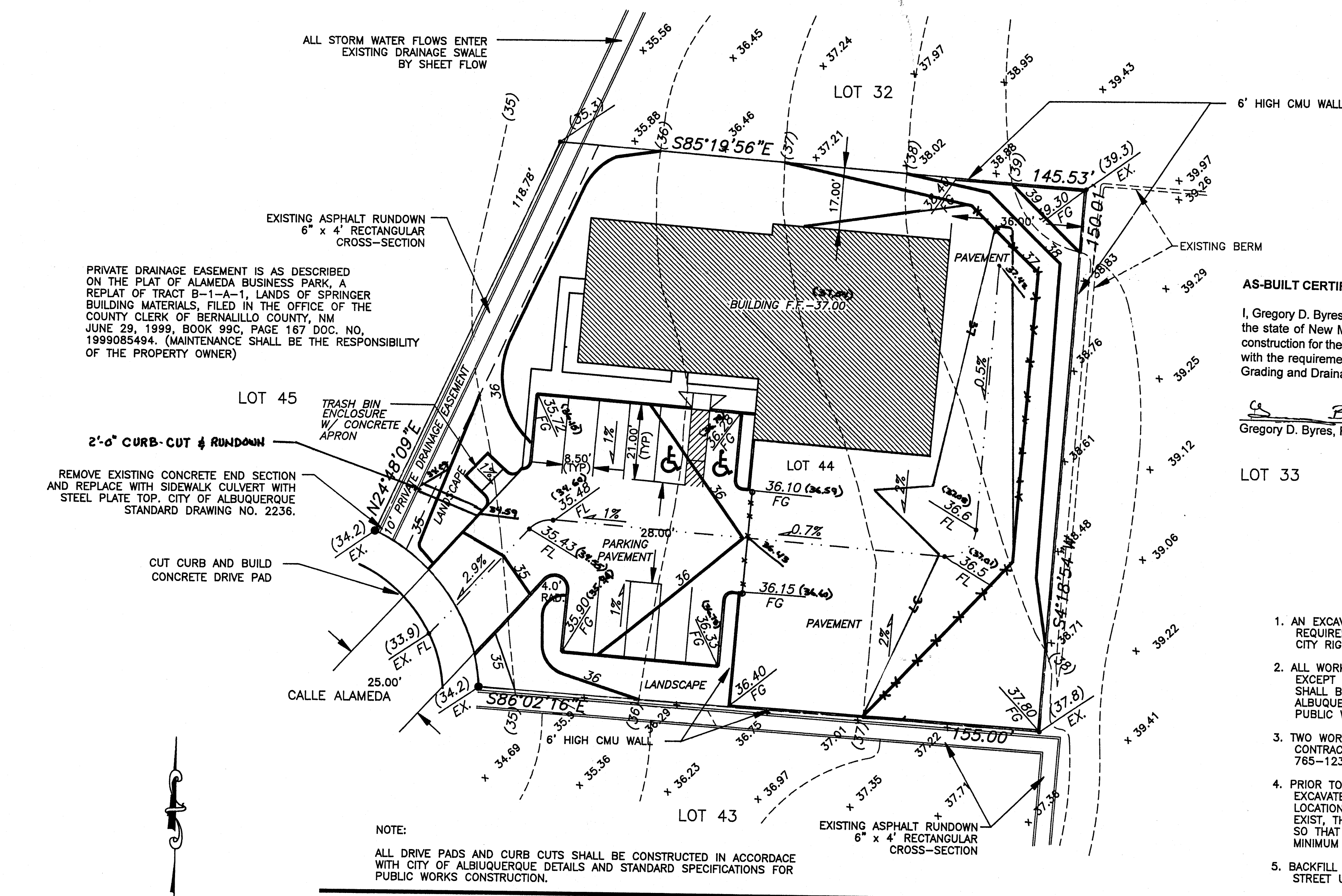
CONSTRUCTION NOTES:

- ALL EMBANKMENT SHALL BE PLACED IN ACCORDANCE WITH BERNALILLO COUNTY REQUIREMENTS. IN NO INSTANCE SHALL FILL MATERIAL BE PLACED AT LESS THAN 95 PERCENT COMPACTION IN ACCORDANCE WITH ASTM D1557.
- FINISH GRADING OF PADS SHALL ALLOW FOR A FREE DRAINING SURFACE WITH NO PONDING NEAR STRUCTURES.
- THIS IS NOT A BOUNDARY SURVEY, BEARING AND DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- ALL CONCRETE CURB SHALL BE 8" x 12" STAND-UP CONCRETE CURB, CONSTRUCTED OF 3000 PSI CONCRETE.
- ALL HANDICAP PAVEMENT MARKINGS SHALL BE FEDERAL BLUE, ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE.
- HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1.5%.
- ALL LANDSCAPING SHALL CONFORM TO CITY OF ALBUQUERQUE, RECOMMENDED LOW WATER USE REQUIREMENTS.
- ALL PAVEMENT SHALL BE 2 INCH PMBP MEETING CITY OF ALBUQUERQUE "B" RESIDENTIAL REQUIREMENTS.
- SITE UTILITIES ARE NOT INDICATED ON THIS PLAN. ALL UTILITIES SHALL BE PLACED UNDERGROUND, IN ACCORDANCE WITH CITY OF ALBUQUERQUE CRITERIA. ALL BACKFILL SHALL BE PLACED IN 8 INCH LIFTS AND COMPACTED TO 95% DENSITY.
- ALL CURB RADII ARE 2.5 FEET TO FC, UNLESS NOTED.



VICINITY MAP, ZONE C-16 @ 1"= 400'

T 11 N, R 3 E, SECTION 15, BERNALILLO COUNTY, NEW MEXICO



NOTE:

ALL DRIVE PADS AND CURB CUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE DETAILS AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

GRADING AND DRAINAGE PLAN

8528 CALLE ALAMEDA, NE ALBUQUERQUE, NEW MEXICO

AS-BUILT CERTIFICATION

I, Gregory D. Byres, a professional engineer licenced in accordance with the state of New Mexico, do hereby certify that the completed surface construction for the above referenced project is in substantial compliance with the requirements, lines, grades and conditions as provided on this Grading and Drainage Plan.

Gregory D. Byres, P.E. NM PE #12619

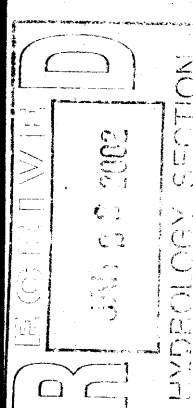
LOT 33

NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24 HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

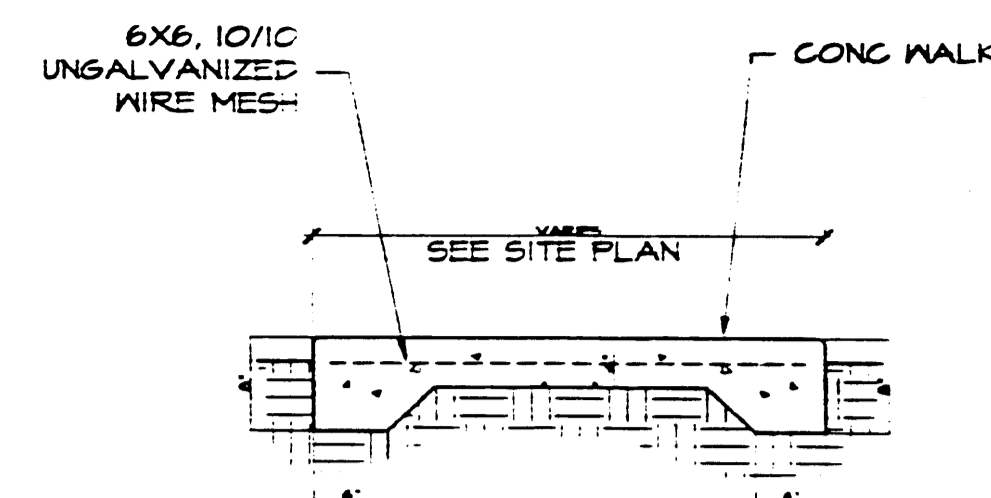
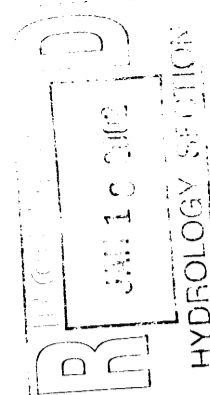
GEO-TEST, INC.
LOT 44, ALAMEDA BUSINESS PARK
ALBUQUERQUE, NEW MEXICO
GRADING AND DRAINAGE PLAN



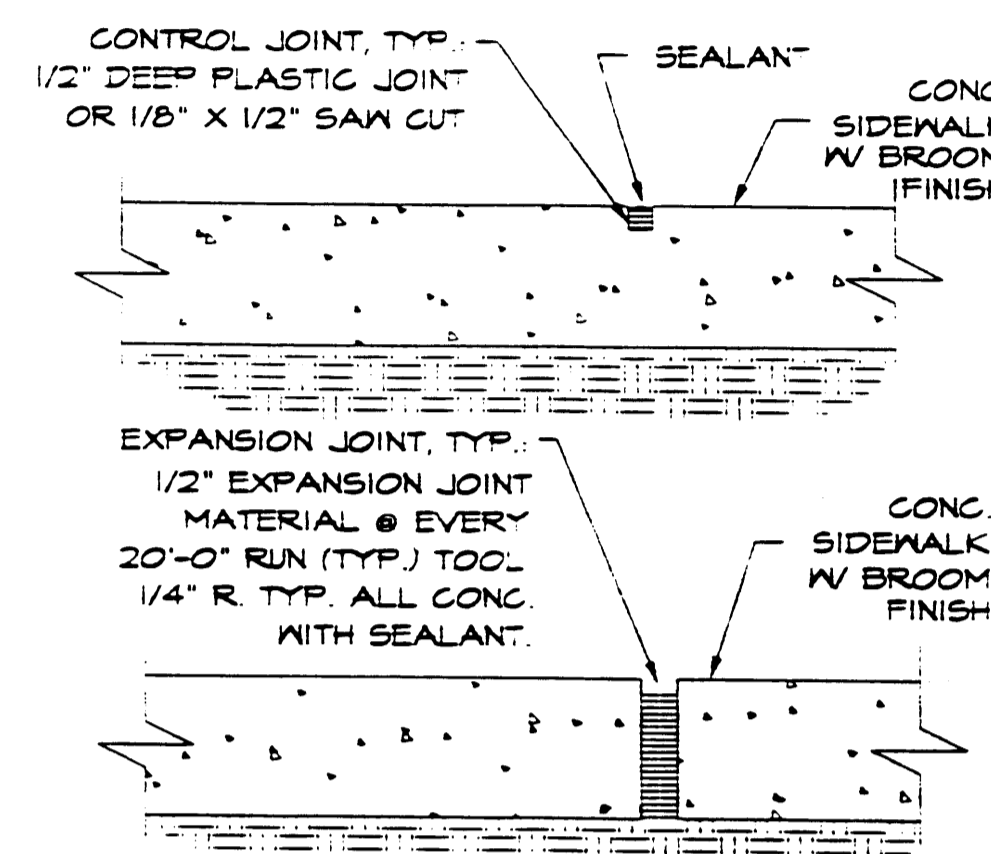
DESIGNED BY: GDB
DRAWN BY: GDB
DATE: JUNE, 2001
REVISIONS:
9/17/01 CDB Modify Submittal
10/2/01 " " " "
1/17/02 AS BUILT Confirmation

SHEET: 1

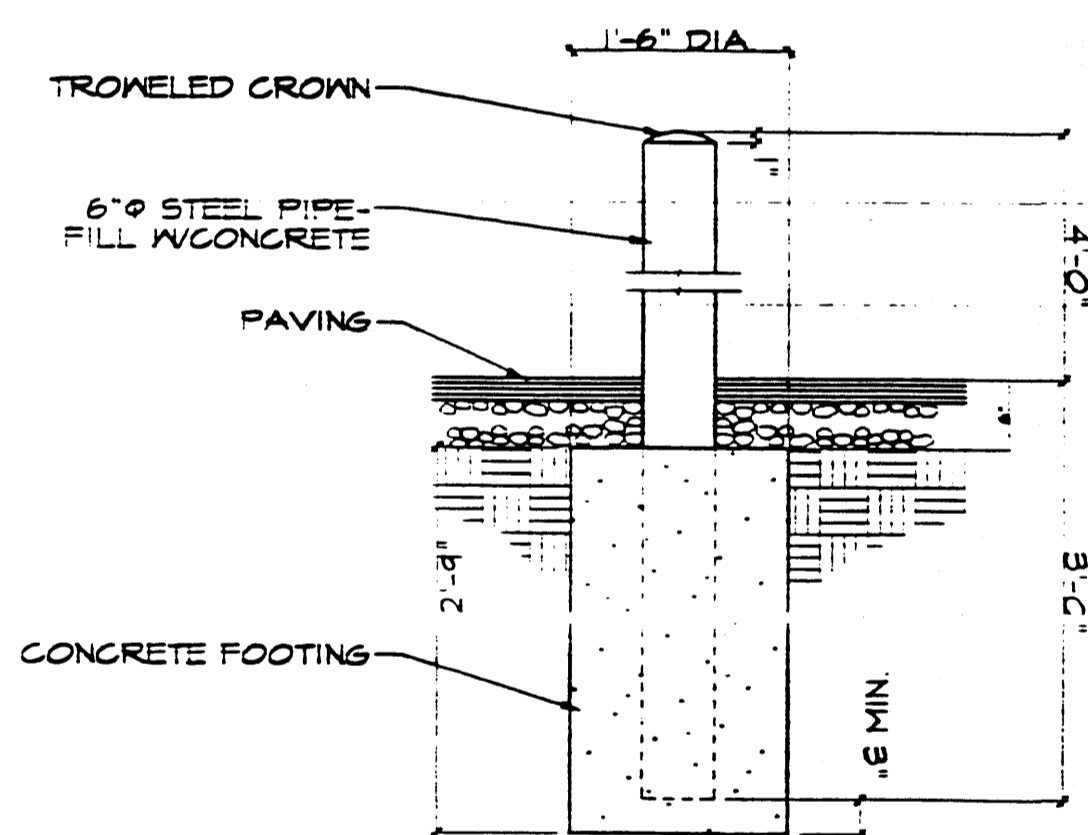
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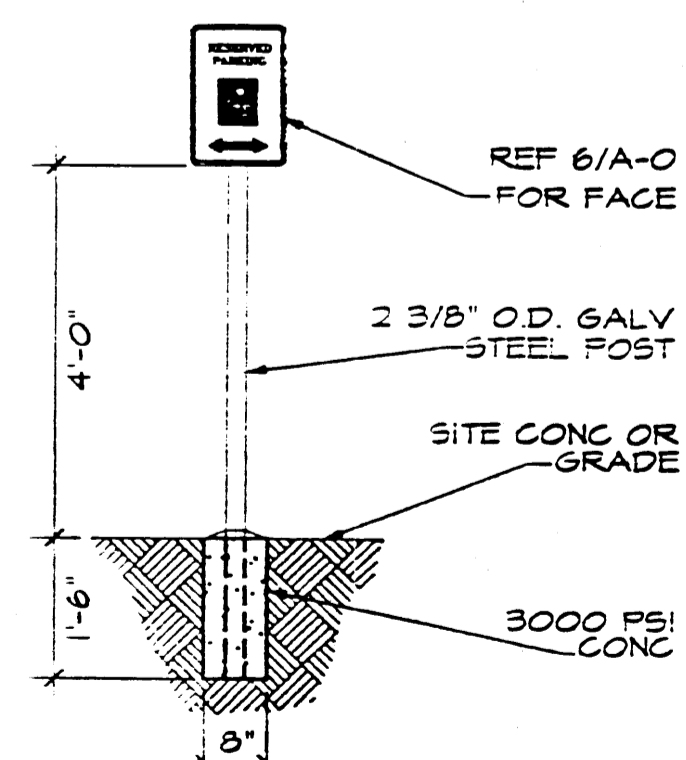
1 SIDEWALK
3/8"=1'-0"



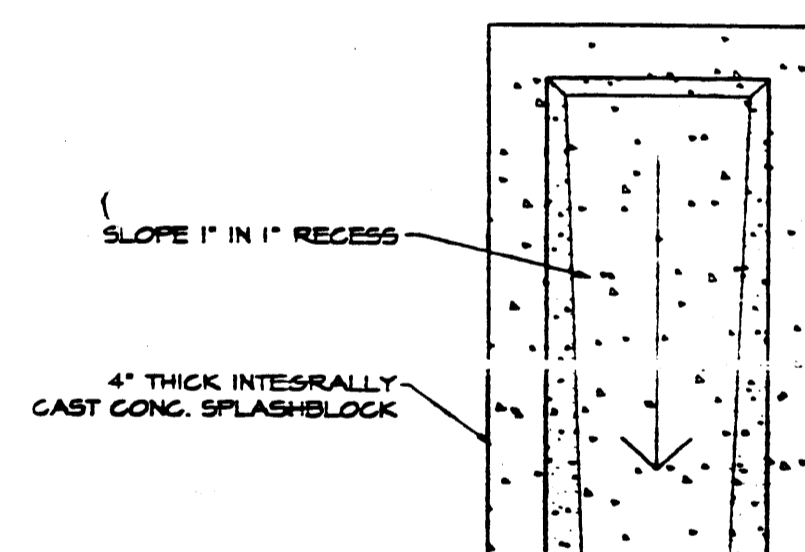
2 CONCRETE JOINTS
1 1/2"=1'-0"



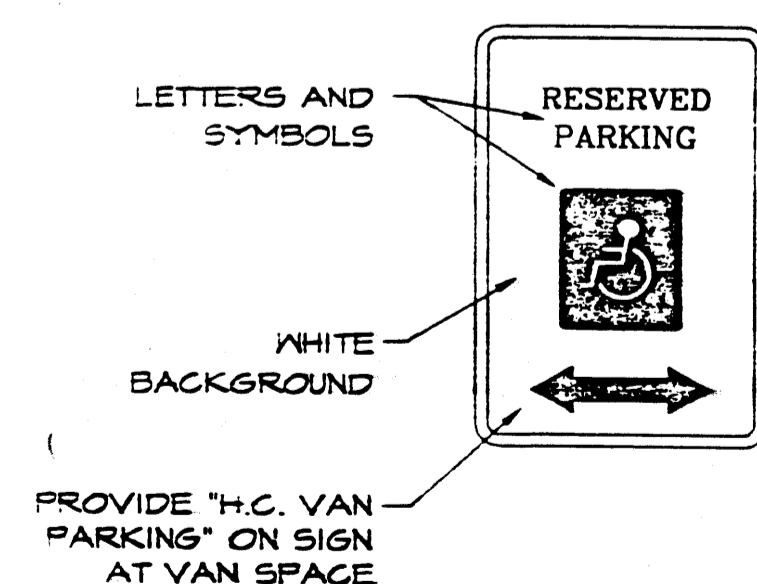
3 GUARD POST
3/4"=1'-0"



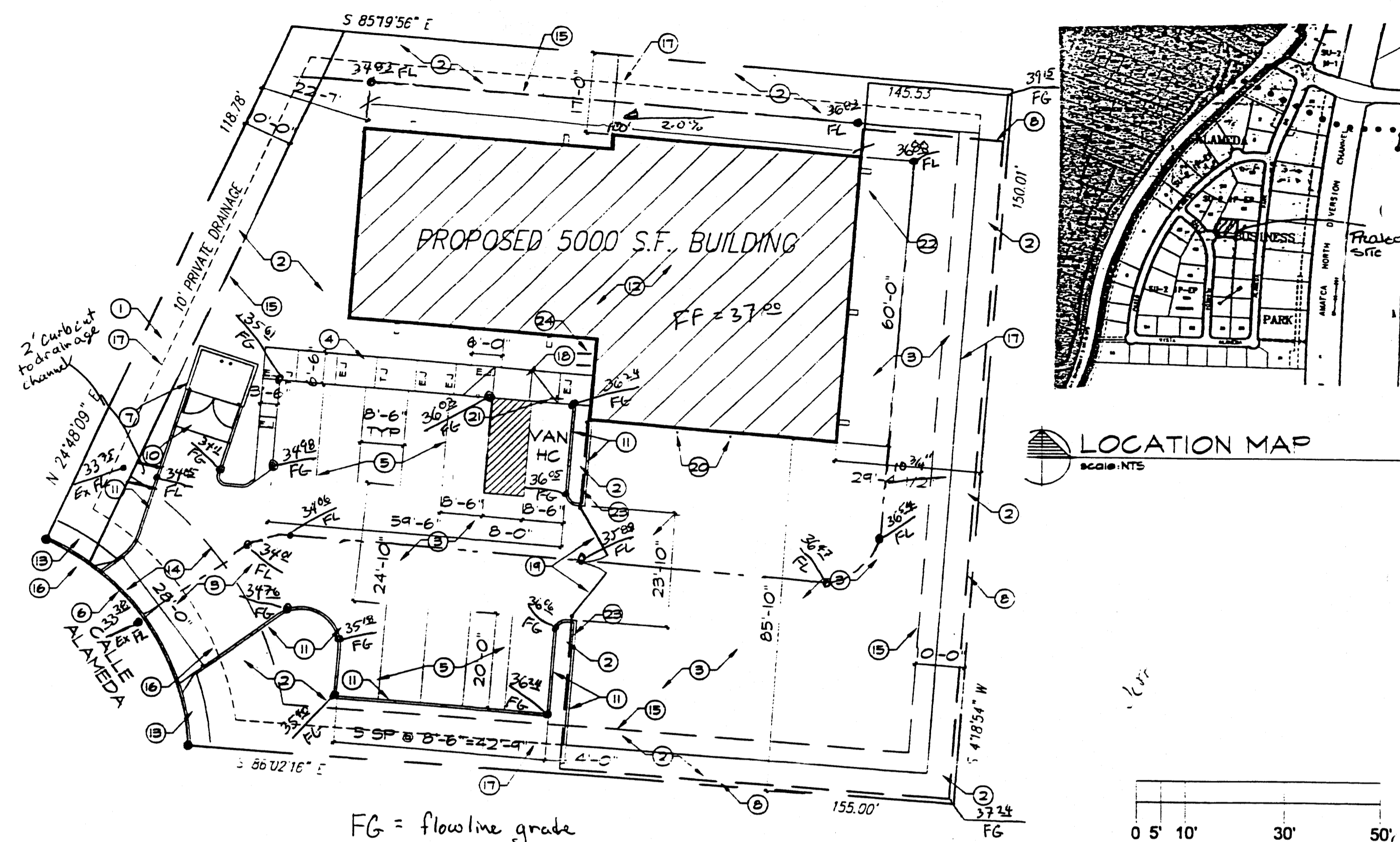
4 HANDICAP SIGN
1/2"=1'-0"



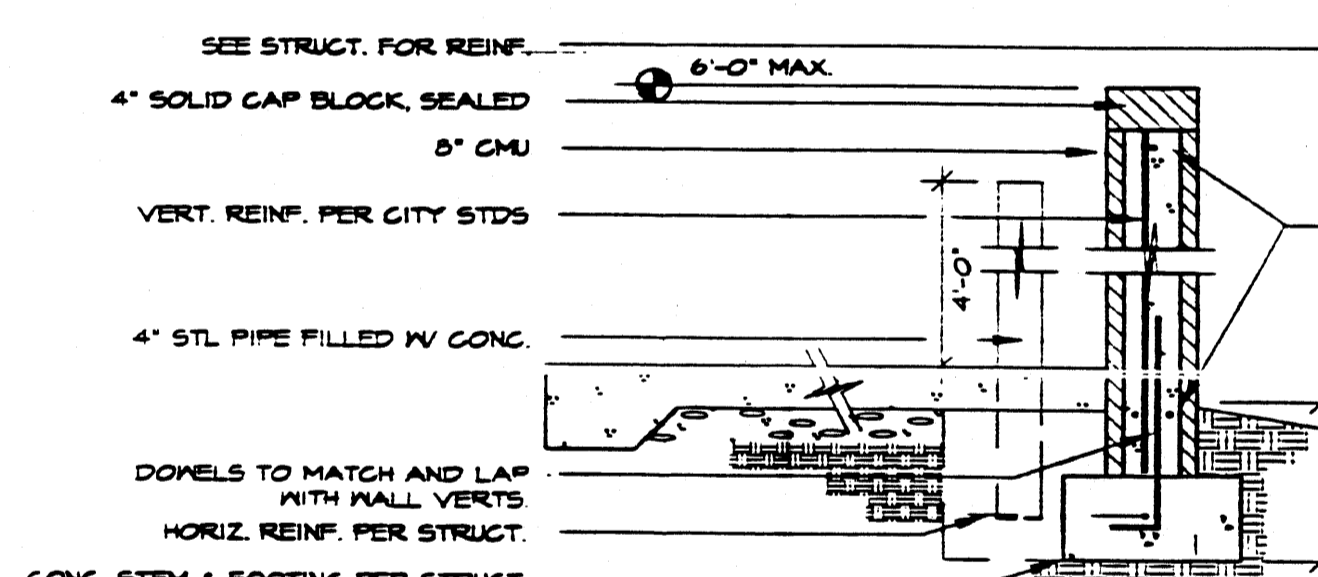
5 TYPICAL SPLASH BLOCK
NTS



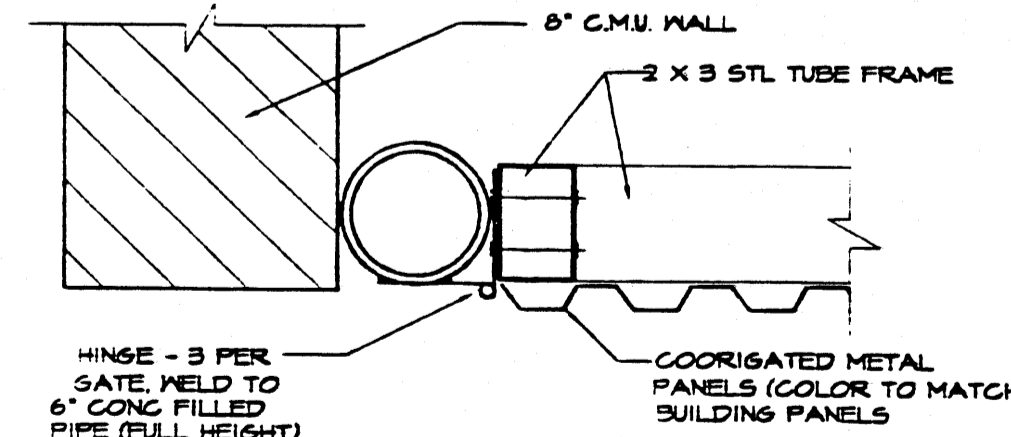
6 HANDICAP SIGN
NTS



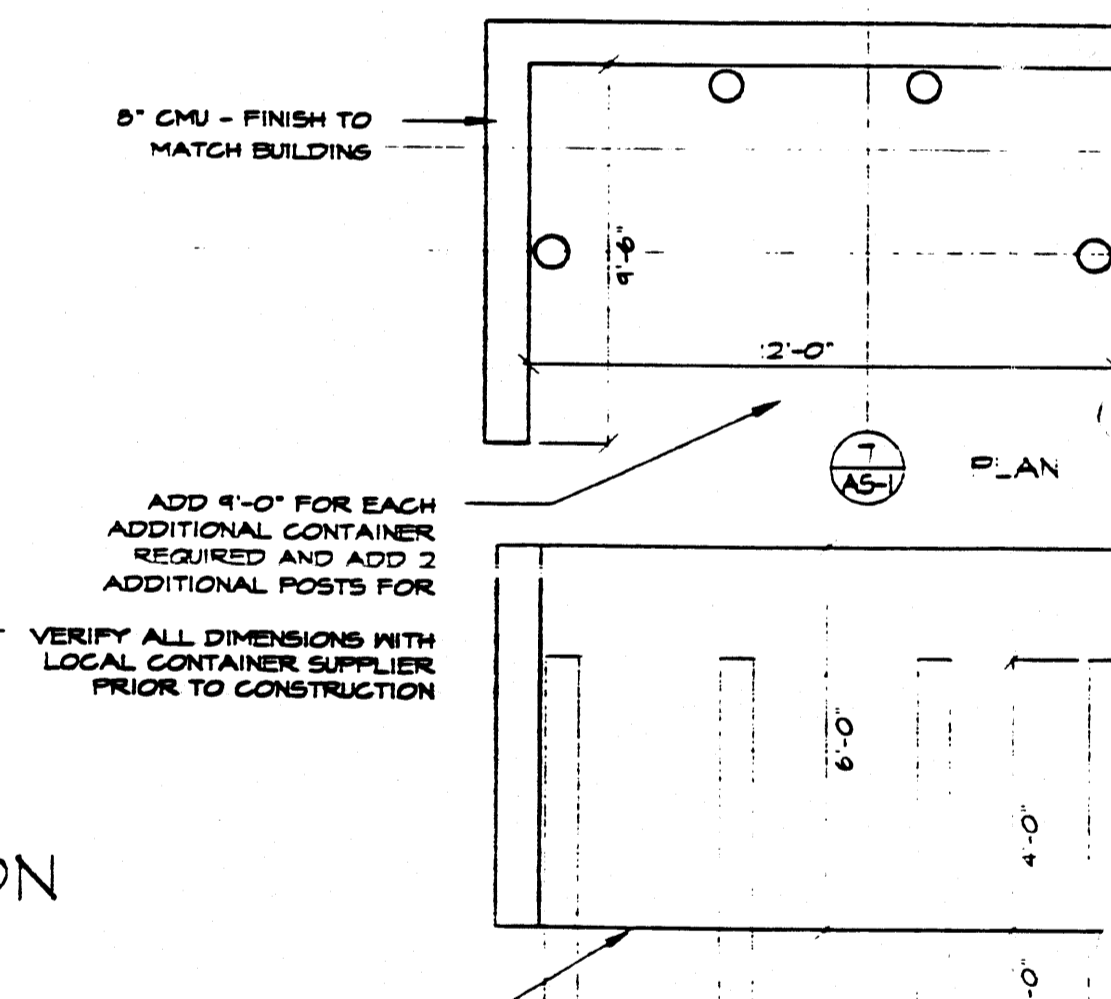
ARCHITECTURAL SITE PLAN
Scale: 1"=20'-0"



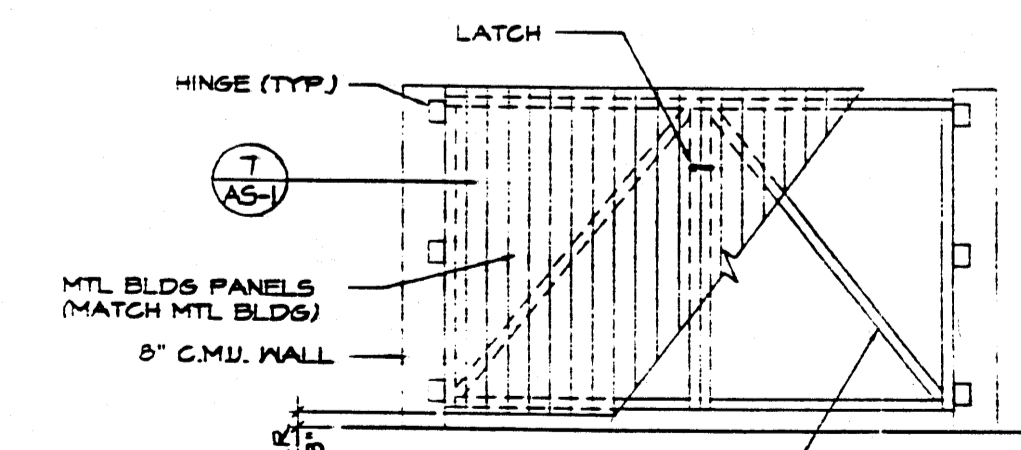
7 TYP TRASH ENCLOSURE SECTION
NTS



8 TRASH ENCLOSURE GATE
NTS



9 TYP TRASH ENCL. PLAN
NTS



10 TYP TRASH ENCL. ELEV
NTS

KEYED NOTES:

- 10'-0" DRAINAGE EASEMENT (EXIST DRAINAGE CHANNEL)
- LANDSCAPED AREA PER LANDSCAPE PLANS
- NEW ASPHALT PAVING PER CIVIL DWGS
- NEW CONC WALK PER CIVIL DWGS
- 4" THICK PAINT STRIPING (TYP)
- NEW CONC CURB CUT PER CIVIL DWGS
- NEW TRASH ENCLOSURE PER
- NEW 6'-0" HIGH CMU WALL PER SHT 2
- NOT USED
- NEW CONC APRON PER CIVIL DWGS
- CONC CURB PER CIVIL DWGS
- NEW BUILDING LOCATION. FIN FLOOR PER CIVIL DWGS
- FUTURE 4'-0" WIDE CONC WALK (NIC)
- LINE OF 20'-0" FRONT YARD SET BACK
- LINE OF 10'-0" SIDE AND REAR YARD SETBACK
- LINE OF 10'-0" FRONT YARD LANDSCAPE BUFFER
- LINE OF 6'-0" REAR AND SIDE YARD LANDSCAPE BUFFER
- CURB RAMP WITH 12 MIN SLOPE
- 28'-0"X6' HIGH WROGHT IRON GATE
- 20' PIPE BOLLARD AT EACH END OF DOOR
- HANDICAPPED SIGNAGE PER
- CONC SPLASH BLOCK PER (TYP @ ALL DOWNSPOUTS)
- 6' HIGH WROGHT IRON FENCE
- BICYCLE RACK (2 BICYCLE CAPACITY)

SITE DATA:

BUILDING AREA = 5337 S.F.
LANDSCAPE AREA REQD = 3034 S.F.
LANDSCAPE AREA PROVIDED = 7406 S.F.
TOTAL LOT AREA = 20225 S.F.
PARKING REQUIRED 12 SPACES
PARKING PROVIDED 12 SPACES

APPLICATION NO. 01450-00000-01226

Landfill Disclosure Statement:

The subject property is located (near, on) a (former, existing) Landfill. Due to the subject property being (on, near), a former landfill certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the "Interim Guidelines for development within 1000 Feet of Landfills" revised August 29, 2000) shall be consulted prior development of this site.

PROJECT NUMBER: 1000624

James R. Boren 9-28-01
SOLID WASTE DEPARTMENT DATE

Robert D. Doss 9-12-01
TRAFFIC ENGINEER, Transportation Division DATE

William E. Condit 9/5/01
Parks & General Services Department DATE

Marvin S. Dismore 9/05/01
Public Works, Water Utilities Division DATE

Bradley D. Brigham 9/5/01
City Engineer, Engineering Division/AMAFCA DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the Development Process Manual.

James R. Boren 9/15/01
City Planner, Albuquerque / Bernalillo County Planning Division DATE

APPLICATION CASE # 01450-00000-01226

JEFFREY HOWELL & ASSOCIATES
ARCHITECTURE
6815 FOREST HILLS DRIVE, NE ALBUQUERQUE, NM 87109
TELEPHONE (505) 797-5268 FAX (505) 797-5269

A TESTING FACILITY
FOR
GEOTEST INC.
A Project for:
Enterprise Builders, inc.
ALBUQUERQUE, NEW MEXICO

SHEET TITLE
LOT #44
SITE DEVELOPMENT PLAN FOR
ALEMEDA BUSINESS PARK

7-28-01
DATE 08/15/01 SHEET NO. 1