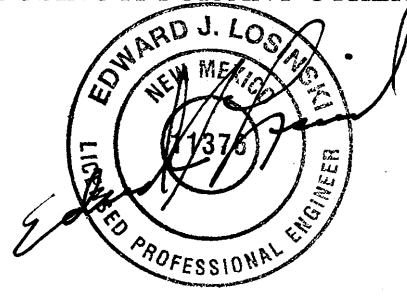


DRAINAGE CERTIFICATION

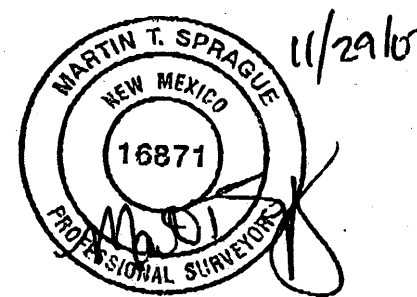
I, EDWARD J. LOSINSKI, NMPE #11376, OF THE FIRM OF JEL & ASSOCIATES, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED APRIL 26, 2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MARTIN T. SPRAGUE, NMPS #16871, OF THE FIRM OF ACCURATE SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 6, 2007 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY AND FINAL COMPLETION. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

EDWARD J. LOSINSKI, P.E., NMPE 11376

1/2/08
DATE



POINT NO.	88 DATUM	29 DATUM	DESCRIPTION
1	5036.55	33.75	BOW/ASPH FL @ DRIVE
2	5035.36	32.56	FL FABRIC
3	5035.85	33.05	FL FABRIC
4A	5036.21	33.41	FL CMU
4B	5035.89	33.09	FL FABRIC
5	5036.46	33.66	ASPH @ NW COR BLDG
6	5038.74	35.94	ASPH @ NE COR BLDG
7	5038.03	38.23	LANDSCAPE GRAVEL
8	5038.03	35.23	FL ASPH PARKING
9	5037.33	34.53	FL ASPH @ GATE
10	5038.03	35.23	MAIN ENTRY EOAE/OC
11	5037.78	34.98	EOA @ LANDSCAPE
12	5038.67	35.77	EOAE/OC @ GAR ENTRY
13	5038.68	35.88	FIN FLOOR N BAY
ACS-14-C16	5004.89		CITY BM
NDC 7-182	5067.3		GPS DATA
NDC 7-182	5064.50 +/-		PER CLIENT



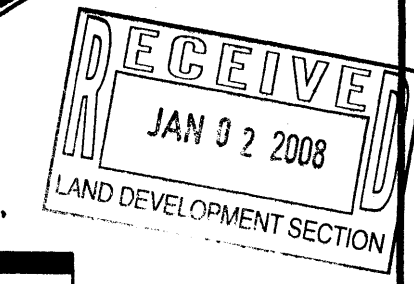
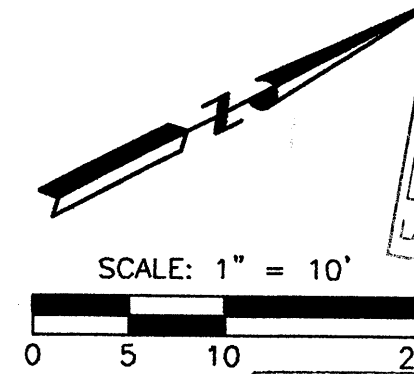
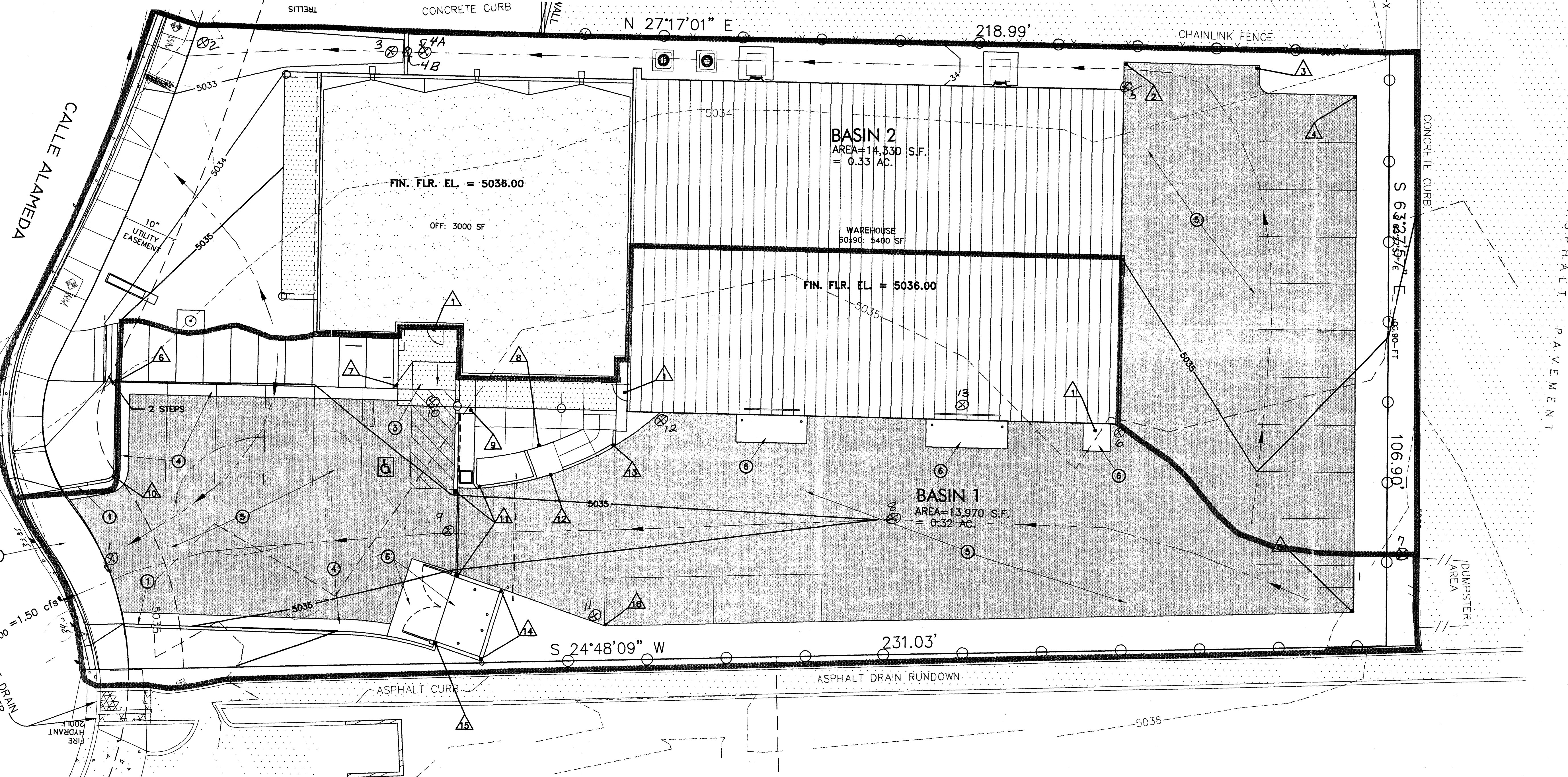
ALAMEDA BUSINESS PARK
FILED: JUNE 29, 1999
BOOK 99C, PAGE 167

KEYED NOTES:

1. TAPER CURB FACE FROM 6" HIGH TO FLUSH WITH TOP OF SIDEWALK OVER FIVE FEET.
2. INSTALL 24" WIDE CONCRETE DRIVE PAD PER COA STANDARD DETAIL DRAWING 2425.
3. INSTALL HANDICAP ACCESS RAMP PER ADA REQUIREMENTS.
4. INSTALL CURB AND GUTTER PER COA STANDARD DETAIL DRAWING 2415.
5. INSTALL 2-1/2" THICK ASPHALT PAVING OVER 6" OF AGGREGATE BASE COURSE OVER 10" OF SCARRIFIED AND COMPACTED SUBGRADE. MINIMUM COMPACTION TO BE 95% OF MODIFIED PROCTOR ASTM D-1557.
6. INSTALL CONCRETE PAD, SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

SPOT ELEVATION TABLE

NO.	ELEVATION	DESCRIPTION
1	5035.98	TOP OF CONCRETE THRESHOLD
2	5034.35	TOP OF ASPHALT
3	5034.50	TOP OF ASPHALT
4	5034.75	TOP OF ASPHALT
5	5035.65	TOP OF ASPHALT
6	5035.00	TOP OF CURB
7	5035.74	TOP OF CURB
8	5035.71	TOP OF CONCRETE
9	5035.78	TOP OF CONCRETE
10	5035.50	TOP OF CURB
11	5035.68	TOP OF CURB
12	5035.20	TOP OF ASPHALT
13	5035.73	TOP OF CURB
14	5035.78	TOP OF CURB
15	5035.68	TOP OF CURB
16	5035.20	TOP OF ASPHALT



DESIGNED BY:

DRAWN BY:

CHECKED BY:

JEL & ASSOCIATES, LLC
P.O. BOX 3180/250 BAZAN LP.
CORRALES, N.M. 87046
505-833-1555
505-833-2192 FAX
jelassoc@comcast.net

ARAPAHO DRILLING
GRADING AND DRAINAGE PLAN

DRAWING NUMBER
C1

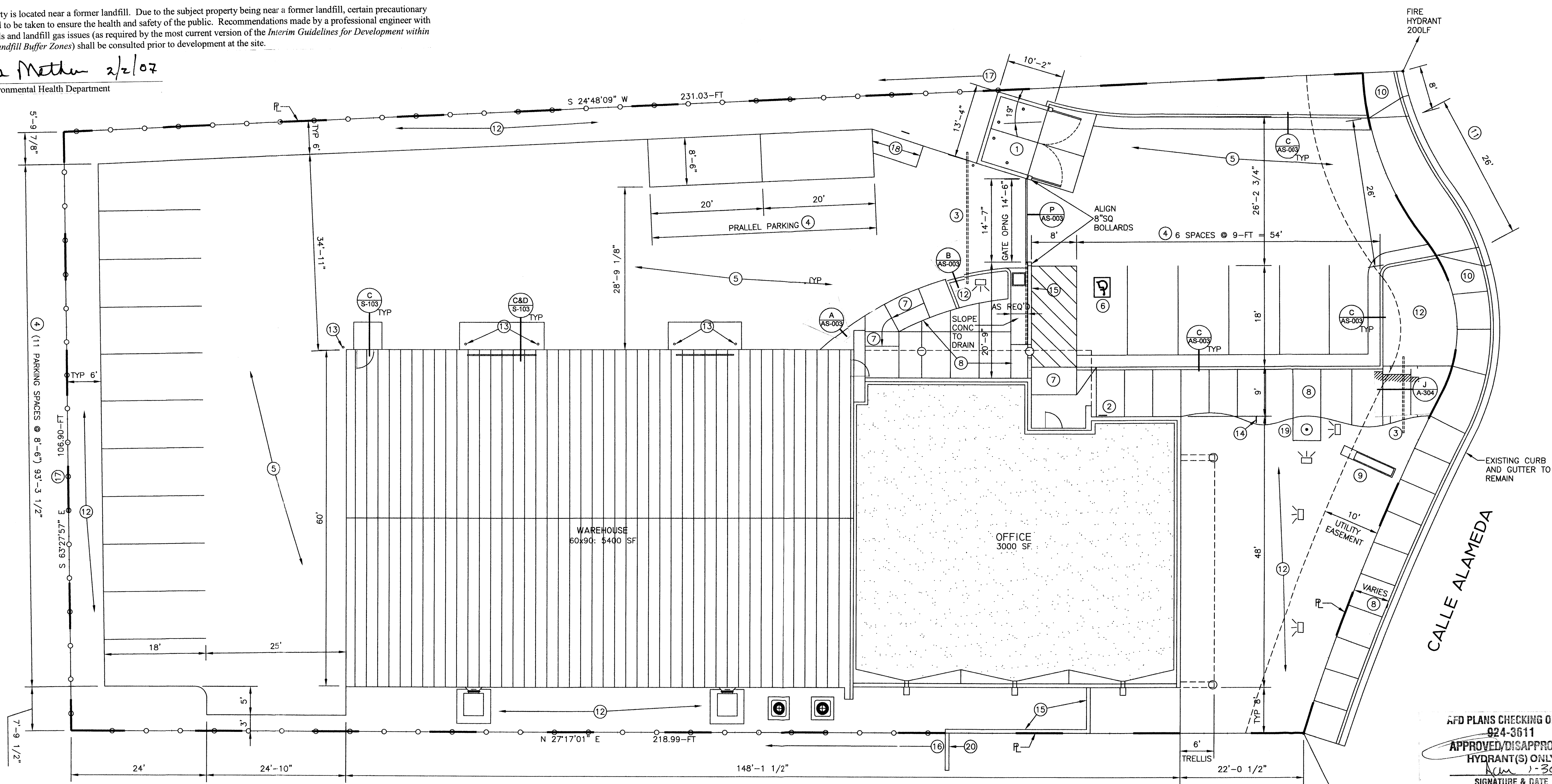
1 OF 2

DISCLOSURE STATEMENT

The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the *Interim Guidelines for Development within City Designated Landfill Buffer Zones*) shall be consulted prior to development at the site.

Rhonda Methen 2/2/07

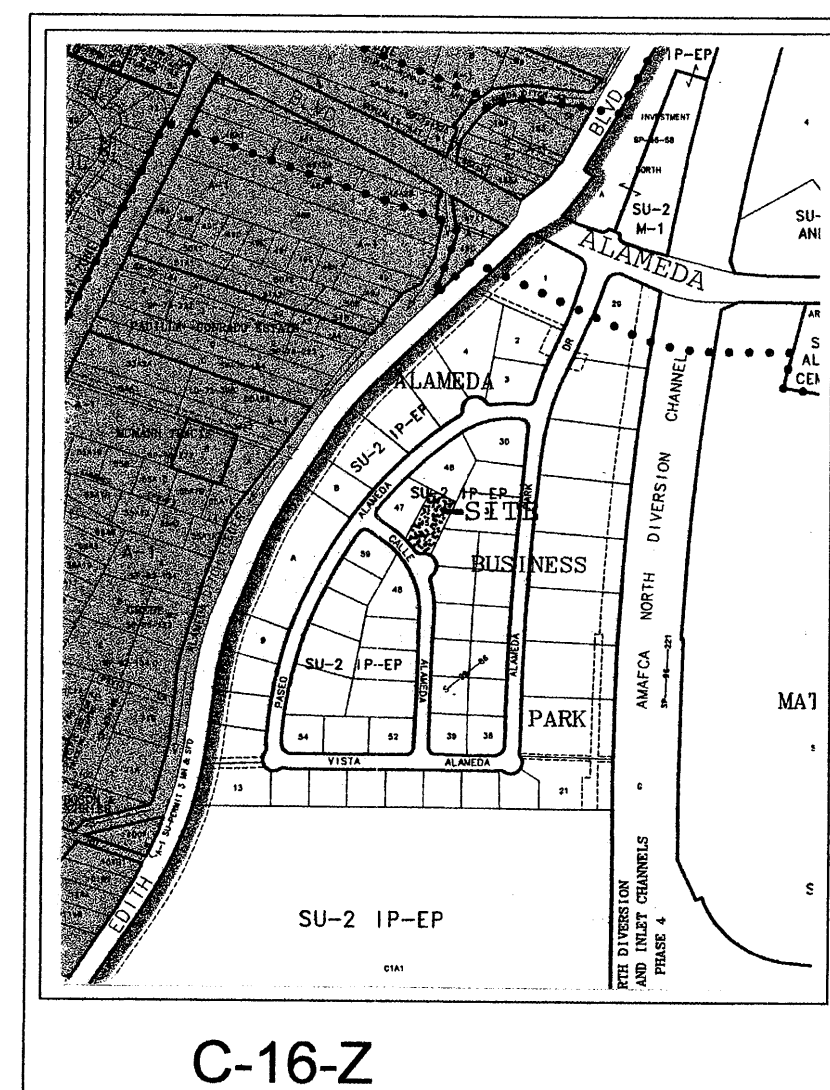
Albuquerque Environmental Health Department



LANDSCAPE NOTES:

1. ALL LANDSCAPE EDGING SHALL STEEL PREFINISHED GREEN, 1/8" X 4" WITH ACCESSORIES AS REQ'D.
2. ALL PLANTERS OR PLANTED AREAS SHALL BE FILLED SO THAT THE ROCK MULCH IS FLUSH WITH THE TOP OF ADJACENT CURB OR CONCRETE WALK.
3. SEE DETAIL FOR TREE PLANTING.
4. SEE DETAIL FOR SHRUB PLANTING.
5. WEED BARRIER FABRIC SHALL BE BY DeWITT, (800) 888-9669, POLYPROPYLENE, 4 OZ, BLACK WITH GREEN STRIPE, 5.28 MILS THICK

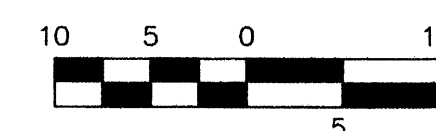
NOTE: INSTALL IRRIGATION CONTROLLER AS DIRECTED BY THE OWNER.
NOTE: INSTALL IRRIGATION SYSTEM AS SPECIFIED. MUELLERMIST IRRIGATION CO., RAIN BIRD SPRINKLER MFG. CORP., THE TORO CO., IRRIGATION DIV., OR WEATHER-MATIC DIV./TELISO INDUSTRIES.
IRRIGATION SHALL BE INSTALLED AS REQUIRED BY PLANT MATERIAL TYPE AND LOCATION. COVERAGE SHALL BE 95% AT TURF AND 85% AT BEDDED PLANTS.



KEYED NOTES

1. Refuse enclosure, see sheet AS-004.
2. Handicapped parking sign, see E/A-003.
3. 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
4. Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
5. Asphalt paving, see Geotechnical Report and L/A-003.
6. Handicapped parking symbol, see detail. City of Albuquerque standard detail 2426.
7. Handicap ramp, per COABQ standard detail 2441, see F/A-003. All ramps shall comply with ADA requirements, 60"-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of all ramps shall be scored per ADA for detectable warning surfacing.
8. Concrete walk, as shown, per COABQ standard detail 2430.
9. Monument sign (interior lighted): sign base under this contract, see N/A-003. See site lighting plan.
10. Install wheelchair ramp per City of Albuquerque standard detail 2441, see detail.
11. Cut and remove existing curb and gutter as required to install concrete driveway per COABQ standard detail 2425. See grading and drainage plan.
12. Landscaped area, see landscaping plan and J&K/A-003.
13. Pipe bollard, see H/A-003.
14. Bicycle rack, see L/A-003.
15. Stucco covered landscape wall, 6'-0" high, see M/A-003.
16. Existing adjoining properties chainlink fence along west property line as shown.
17. Chainlink fence, 6'-0" high, see G/A-003.
18. 4' x 8' motorcycle parking space with minimum 12" x 18" sign designating 'MOTORCYCLE PARKING'. Mount on sign standard with bottom of sign no less 48" above finish grade, see E/A-003.
19. 30-FT flag pole with up lighting, see O/AS-003.
20. Adjoining property CMU wall.
21. Asphalt paving in yard area has no curbing, thicken asphalt around all edges, see L/A-003.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



ZONING DATA

LEGAL: LOT 45, ALAMEDA BUSINESS PARK, ALBUQUERQUE, NM
ADDRESS: 8532 CALLE ALAMEDA
SITE AREA: 0.6074 ACRES (26,323 SF)
ALLOWABLE BLDG AREA (50% SITE AREA): 13,229 SF
ACTUAL BLDG AREA (32% SITE AREA): 8400 SF
ZONING: SU-2 FOR IP-EP (ATLAS PAGE C-16-Z)
REQUIRED SETBACKS:
FRONT: 20-FT
SIDE: 10-FT
REAR: 10-FT
PROVIDED ON-SITE PARKING: 19 SPACES (INCLUDES 1 HC-VAN SPACE)
REQUIRED ON-SITE PARKING: 18 SPACES
OFFICE PARKING REQUIRED: 3000 SF / 200 = 15 SPACES
WAREHOUSE PARKING REQUIRED: 5400 SF / 2000 = 3 SPACES

GENERAL NOTES

1. Provide cuts in curbing and landscape drainage swales as required by the grading and drainage plan.
2. All earthwork and site preparation shall comply with the GRADING AND DRAINAGE PLAN.
3. Contractor shall remove all existing site improvements, utilities, excavated and plant materials, and shall dispose of them as required by the plans and specs.
4. All exterior concrete shall be 3000 PSI @ 28 days.

PROJECT NUMBER: 1005360

APPLICATION NUMBER: 07DRB-00372

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

MARK	DATE	DESCRIPTION
	4-20-07	DATE
	4/11/07	DATE
	4/11/07	DATE
	4/11/07	DATE
	2/2/07	DATE
	4/30/07	DATE
	4/30/07	DATE

akt architects LLC
P.O. BOX 3366
ALBUQUERQUE, NM 87190
T: (505) 281-9560
F: (505) 286-1055
C: (505) 259-7919
aktarch@earthlink.net

CONSULTANT

PROJECT

OFFICE/WAREHOUSE
BUILDING
FOR
ARAPAHOE DRILLING

8532 CALLE
ALAMEDA

ALAMEDA BUSINESS
PARK

MARK DATE DESCRIPTION
ISSUE DATE: APRIL 20, 2007

PROJECT NO:
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

SITE
DEVELOPMENT
PLAN FOR
BUILDING PERMIT

AS-001

RECEIVED
NOV 09 2007
HYDROLOGY SECTION