

CITY OF ALBUQUERQUE



April 25, 2019

Willard L. Eastman, RA
DWL Architects
202 Central Ave SE
Albuquerque, NM 87102

Re: Bobs Painting
8633 Paseo Alameda NE, 87113
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 3-6-19 (C16D006U)
Certification dated 4-12-19

Dear Mr. Eastman,

Based upon the information provided in your submittal received 4-25-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

GENERAL NOTES:

- IF THIS SHEET IS NOT 24" X 36" IN SIZE THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- FLOOR PLANS ARE DRAWN TO SCALE BASED UPON FIELD MEASUREMENTS AND AVAILABLE DRAWINGS.
- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND.

CHAPTER 11. ACCESSIBILITY

1104.1. WITHIN SITE: AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BUILDING SHALL BE PROVIDED TO EACH PORTION OF THE BUILDING TO ACCESSIBLE BUILDING ENTRANCES CONNECTING TO THE PUBLIC RIGHT OF WAY. THE ROUTE SHALL BE A "COMMON USE" ROUTE. THE ROUTE SHALL BE PROVIDED TO EACH PORTION OF THE BUILDING TO ACCESSIBLE BUILDING ENTRANCES CONNECTING TO THE PUBLIC RIGHT OF WAY. THE ROUTE SHALL BE A "COMMON USE" ROUTE.

1104.2. TOILET FACILITIES: EACH TOILET ROOM SHALL BE ACCESSIBLE.

ALTA / N.S.P.S. LAND TITLE SURVEY
OF
ALAMEDA BUSINESS PARK
 ELVA GALEGOS GRANT
 PROJECTED SECTION 13, T. 11 N., R. 3 E., N.M.P.M.
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2018

100 Zone Atlas
 May 2018
 AGIS

LEGAL DESCRIPTION:
 LOT 4 PLAT OF ALAMEDA BUSINESS PARK
 (A REPLAT OF TRACTS 1-A-1 LANDS OF SPRINGER BUILDING MATERIALS CORPORATION) POINT 1.7591 AC

CITY PARCEL:
 LOT 4, BLOCK 1000
 SUBDIVISION: ALAMEDA BUSINESS PARK
 PIN: A0018584
 ZONING CLASSIFICATION: NPLUM

LEGEND:
 GREY SHADE INDICATES NEW SITE WORK

CHAPTER 10. MEANS OF EGRESS

OCCUPANT LOAD TABLE, TAB 1004.1.2

B. OCCUPANCY: 2,188 SF / 100 SF = 21.88 OCCUPANTS (22)
 722 SF / 10 SF = 72.2 OCCUPANTS (73)
 71 X 15 = 10.65' EGRESS WIDTH REQUIREMENT, TAB 1005.1
 (2) 3 WIDE DOORS PROVIDED (2 X 34" = 68") EFFECTIVE WIDTH PROVIDED.

S-4 OCCUPANCY: 1,200 SF / 100 SF = 12 OCCUPANTS (11)
 11 X 15 = 1.65' EGRESS WIDTH REQUIREMENT, TAB 1005.1
 (2) 3 WIDE DOORS PROVIDED (2 X 34" = 68") EFFECTIVE WIDTH PROVIDED.

TABLE 1008.2.1. NUMBER OF EXITS AND EXIT DOORWAYS
 B. 8 OCCUPANCIES: MAXIMUM OCCUPANT LOAD OF SPACE 48
 48 / 100 = 0.48 EXITS REQUIRED, TAB 1008.2.1
 B. OCCUPANCY: ACTUAL OCCUPANT LOAD 71.2 EXITS REQUIRED, 2 EXITS PROVIDED
 S-4 OCCUPANCY: ACTUAL OCCUPANT LOAD 11.1 EXITS REQUIRED, 2 EXITS PROVIDED

TABLE 1017.2. EXIT ACCESS TRAVEL DISTANCE
 B OCCUPANCY WITHOUT SPRINKLER: 200 FEET
 S-4 OCCUPANCY WITHOUT SPRINKLER: 300 FEET

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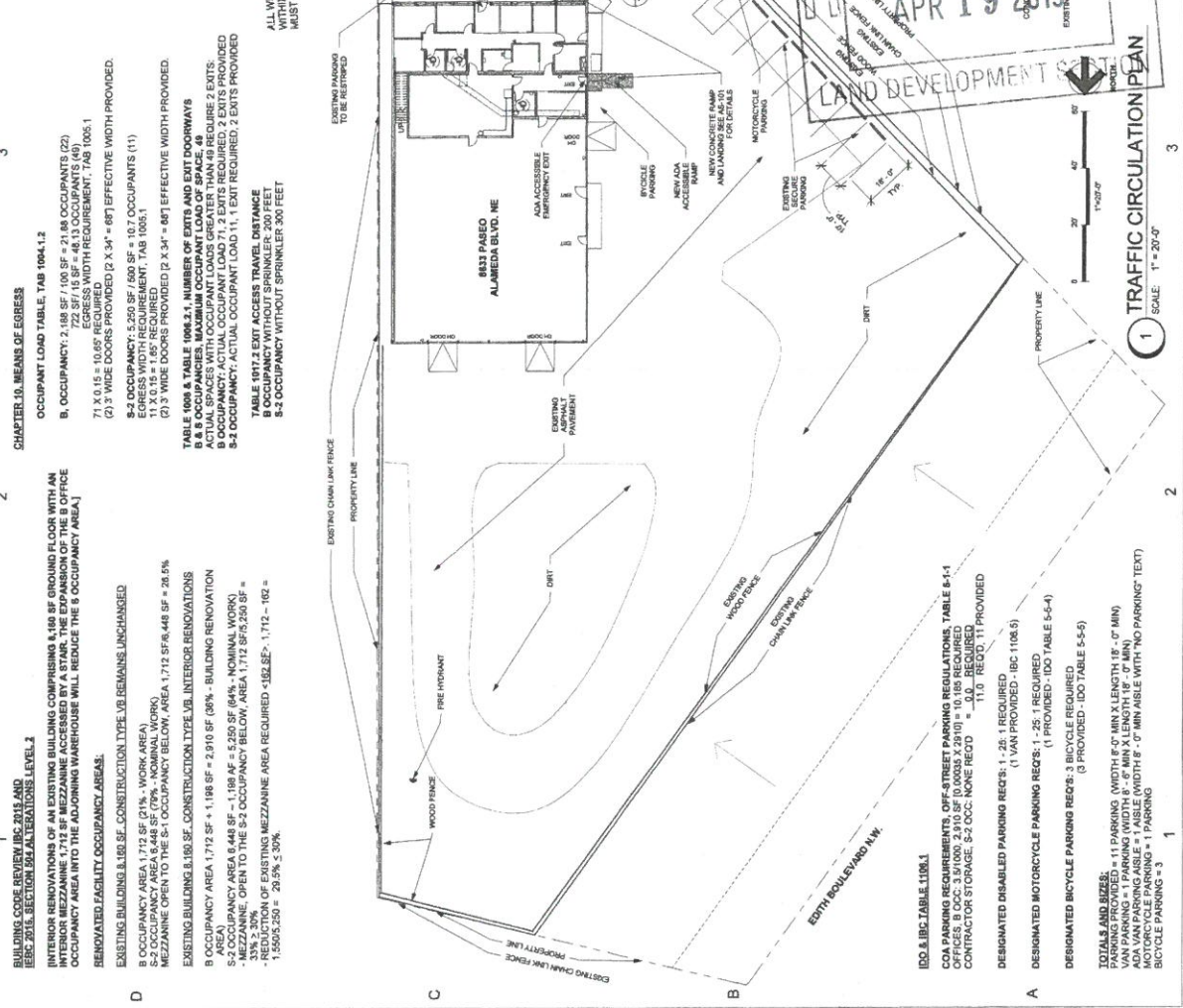
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Willard L. Eastman, AIA

TO: PLNDRS@cabq.gov

FOR: BOB'S PAINTING
8633 PASEO ALAMEDA BLVD NE
ALBUQUERQUE, NM 87113
PERMIT#BP-2019-06717

TRAFFIC CERTIFICATION

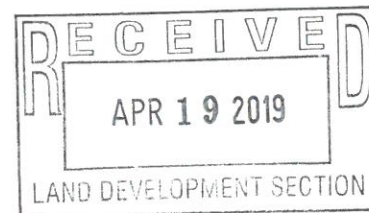
I, WILLARD L. EASTMAN, NMRA #2181, OF THE FIRM DWL ARCHITECTS & PLANNERS, INC. OF NM, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 7, 2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILLARD L. EASTMAN OF THE FIRM DWL ARCHITECTS & PLANNERS, INC. OF NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON APRIL 12, 2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

2/T-101 TYPICAL RAMP DETAIL REFLECTED A RAMP 6' IN LENGTH, EXISTING CURB HEIGHT TO EXISTING ASPHALT GRADE REQUIRED A CHANGE, RAMP IS 10' IN LENGTH, LANDING REMAINED THE SAME.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



April 12, 2019



DWL Architects & Planners, Inc. of New Mexico

Quality, Tradition, Service and Excellence

202 Central Avenue, SE, East Courtyard • Albuquerque, NM 87102 • 505.242.6202 • FAX (505) 242-4159 • w.eastman@dwlnm.com

FAST TRACK



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

C1600069

Project Title: Bobs Painting Building Permit #: 2019- Hydrology File #: C1600069
DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 8633 Paseo Alameda NE 37113

Applicant: Bob Herman Contact: _____

Address: 5916 S. Gail NE

Phone#: 228-4405 Fax#: _____ E-mail: bherman13@msn.com

Other Contact: BRANDON RAE (DWL ARCH) Contact: BRANDON

Address: 202 Central SE

Phone#: 242-6202 Fax#: _____ E-mail: Sherman@bobspainting.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____



DATE SUBMITTED: _____ By: _____

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____