

EXTERIOR LIGHT FIXTURES
NOTE: ALL EXTERIOR LIGHTING SHALL BE FULL CUT-OFF AND / OR ANGLED TO PREVENT LIGHT FROM GLARING ON ADJACENT PROPERTIES AND ROADWAYS.
TYPE 1: WALL PACK UP 10'-0"
TYPE 2: RECESSED SOFFIT DOWNLIGHT

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CORD BEARING	CORD DIST.
C1	87.06'	410.00'	12° 09' 56"	N10° 46' 03" W	86.89'
C2	28.71'	25.00'	65° 47' 51"	N16° 02' 55" E	27.16'
C3	45.22'	50.00'	51° 48' 47"	N23° 02' 27" E	43.69'

LEGEND
ASPHALT PAVING
CONCRETE WALK

LEGAL DESCRIPTION

LOT NUMBERED FORTY-THREE OF ALAMEDA BUSINESS PARK, (A REPLAT OF TRACT B-1-A-1, LANDS OF SPRINGER BUILDING MATERIALS CORPORATION), ALBUQUERQUE, NEW MEXICO, AS THE SAME AS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 29, 1999, IN BOOK 99C, PAGE 167, AS DOC. NO. 1999085494.

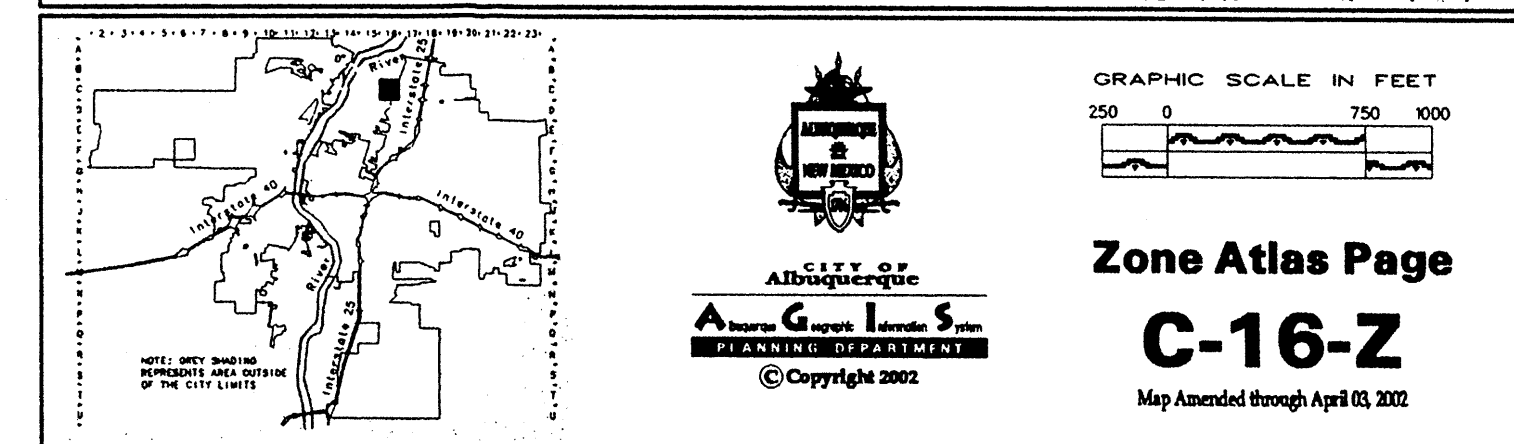
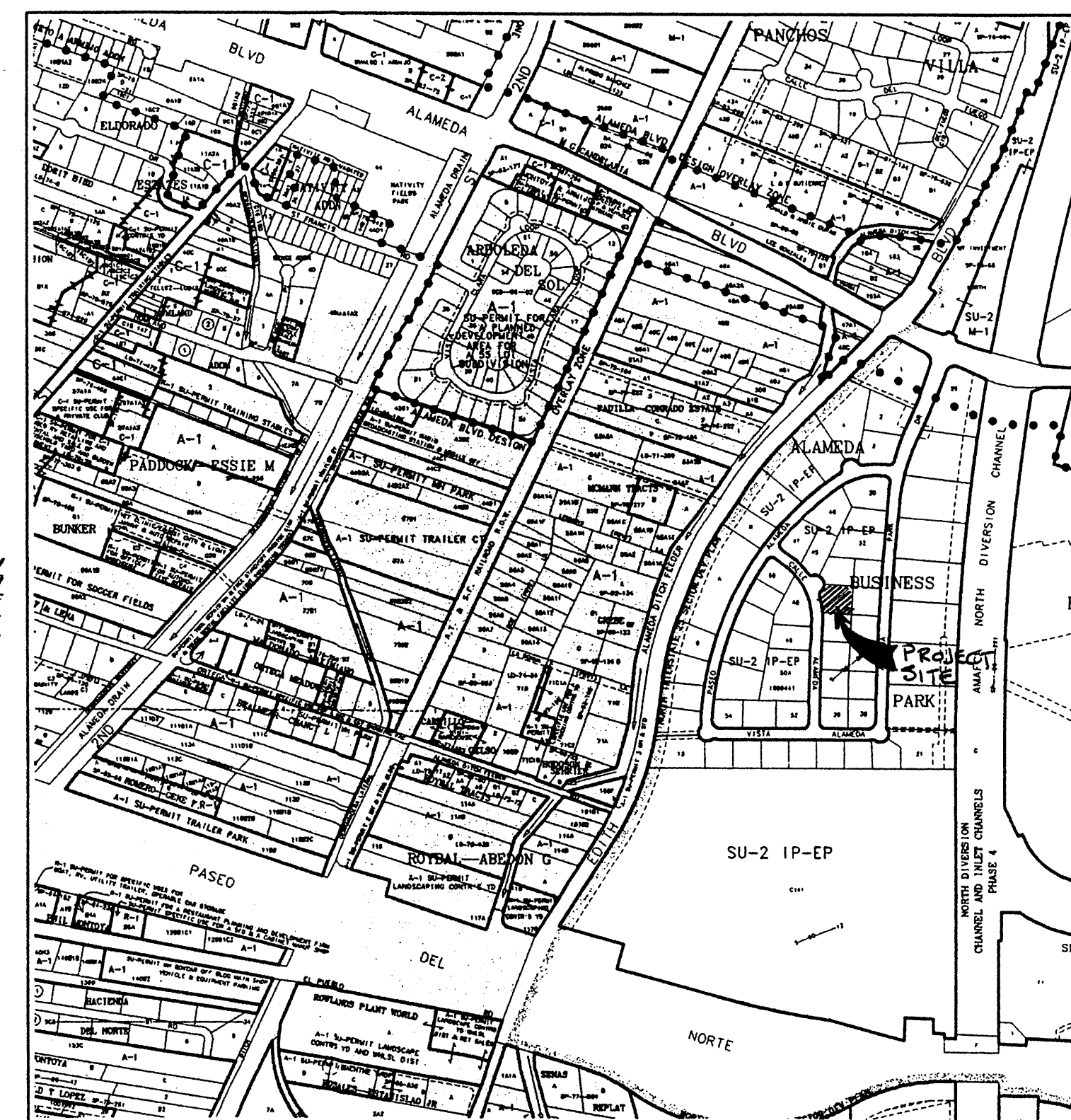
WAREHOUSE 50' X 95' = 4750 SF. 1 PARKING SPACE PER 2000 SF. = 3 SPACES
OFFICE = 2230 SF. 1 PARKING SPACE PER 200 SF. = 12 SPACES
TOTAL REQUIRED 15 SPACES

TOTAL PROVIDED
REG. CAR 14 SPACES
HANDICAP 1 SPACES
SMALL CAR 7 SPACES
TOTAL 22 SPACES

THE TOTAL LANDSCAPED AREA REQUIRED SHALL EQUAL NOT LESS THAN 15% OF THE NET LOT AREA. NET = TOTAL AREA OF LOT MINUS THE AREA OF THE LOT COVERED BY BUILDINGS

LOT SIZE = 24,733 SF.
-6980 SF. BUILDING FOOTPRINT
17,753 SF.
X15%
2663 SF. LANDSCAPING REQUIRED
3100 SF. LANDSCAPING PROVIDED

ATD PLANNING OFFICE
2-24-03

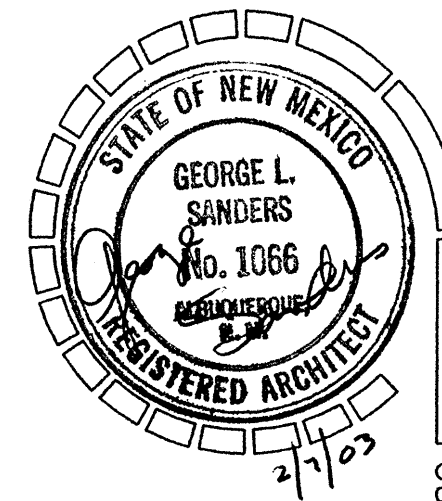


PROJECT NUMBER: 1002507
APPLICATION NUMBER: 03DRB-00302

SITE DEVELOPMENT PLAN APPROVAL:

Environmental Health Department 3/11/03
Traffic Engineering, Transportation Division 3/12/03
Parks and Recreation Department 3/12/03
City Planner, Planning Department 3/12/03
Solid Waste Management 2-24-03
Utilities Department 3-12-03
City Engineer 3/12/03
signature block.xls 11/5/02

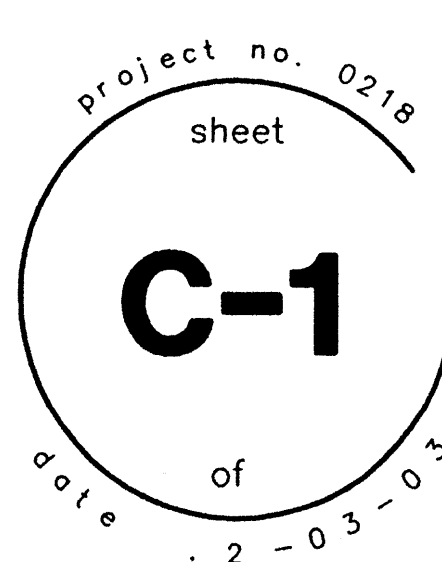
APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Development Process Manual.



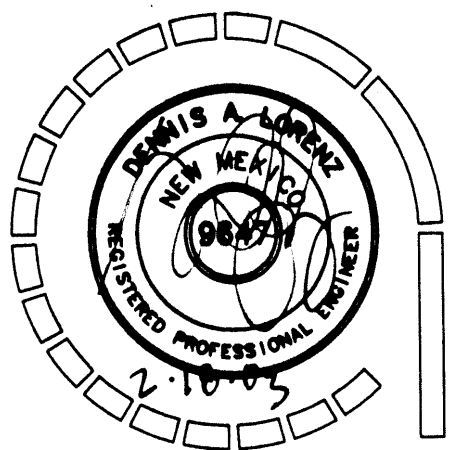
BAKER CONSTRUCTION OFFICE/WAREHOUSE

LOT 43 CALLE ALAMEDA
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 600 CENTRAL AVE. S.W. SUITE 111 ALBUQUERQUE N.M. 87102 (505) 842-8413 FAX (505) 242-2280



SITE PLAN FOR BUILDING PERMIT

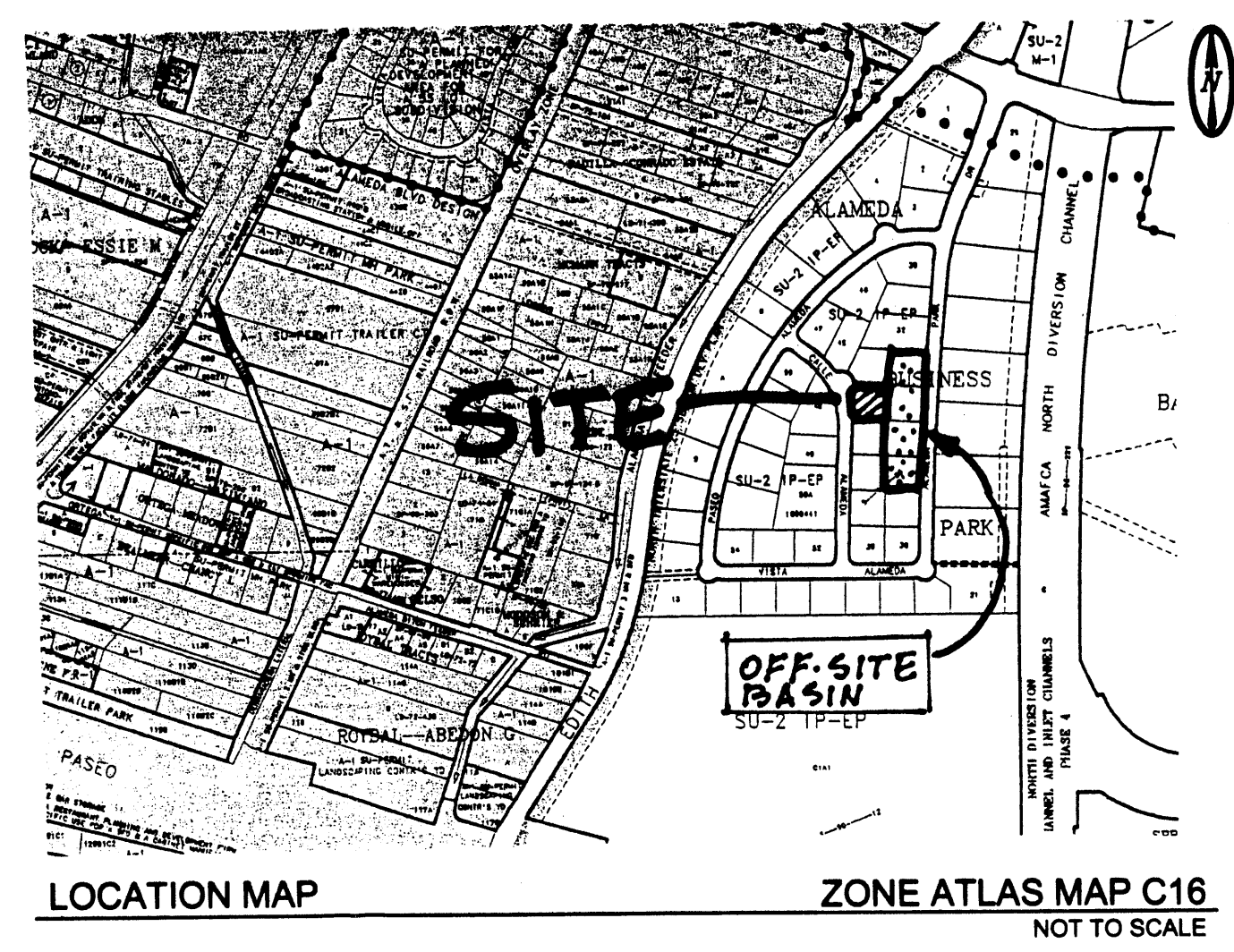
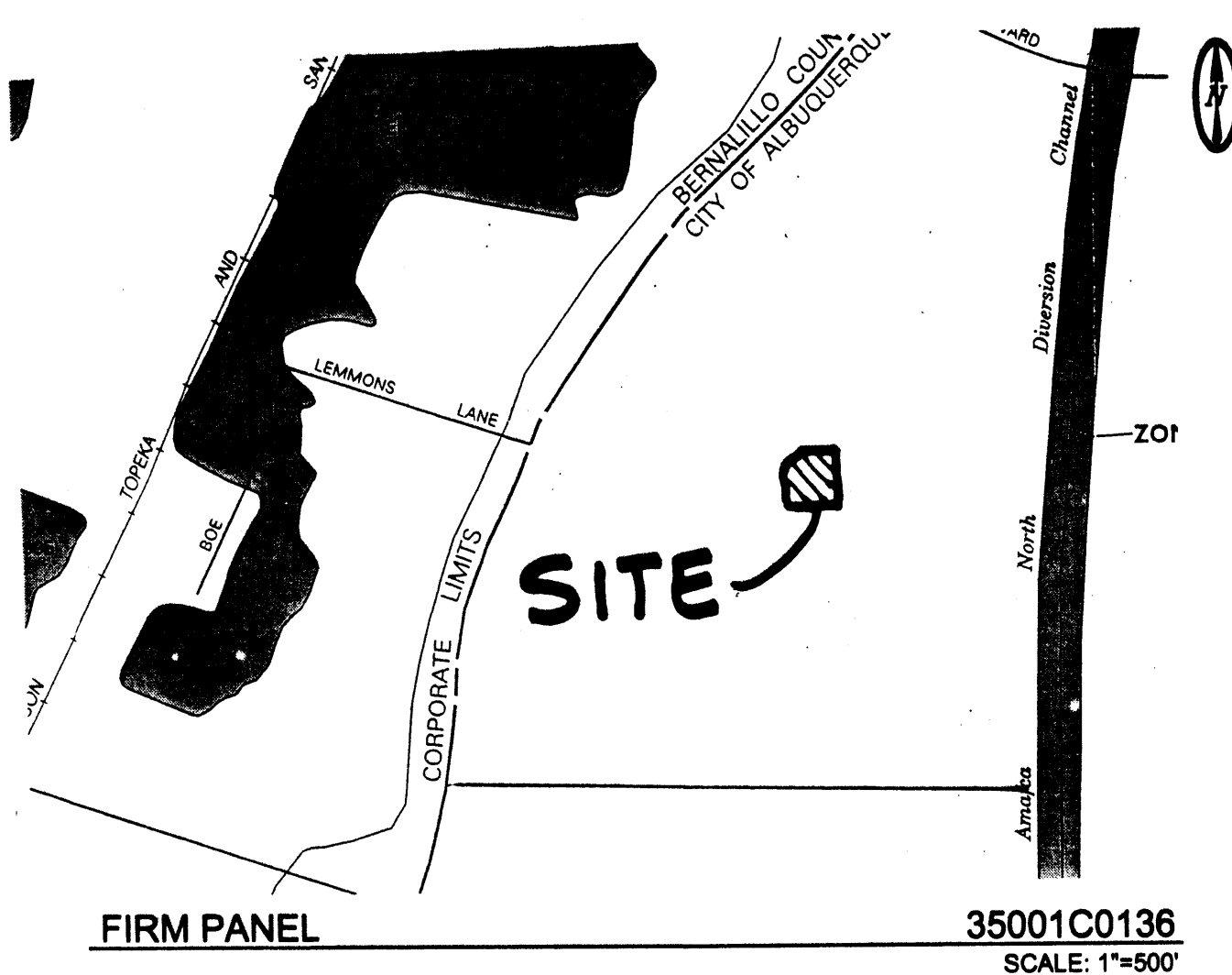


BRASHER & LORENZ
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Albuquerque, New Mexico 87110
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LOT 43 CALLE ALAMEDA
ALBUQUERQUE, NEW MEXICO

02556

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GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of Baker Office/Warehouse located at 8524 Calle Alameda NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS

The project site is approximately 0.57 acres in size and is located at 8524 Calle Alameda NE, just north of Vista Alameda. The project site is particularly described as Lot 43, Alameda Business Park. The site is bounded by industrial properties on the east, north and south, and Calle Alameda on the west. Site topography slopes from east to west at approximately 2 percent, draining to Calle Alameda. The site is also north and east by Masterplan drainage channels that convey runoff from an off-site consisting of Lots 33 thru 36 (2.05--acres). All off-site runoff discharges through 2 existing sidewalk culverts to Calle Alameda. From the site all on-site and off-site runoff drains to improvements provided by Alameda Business Park. Masterplan drainage improvements constructed for the development convey all runoff to an existing retention pond located to the north on Tract A. The retention pond drains by a sump pump to the AMAFCA North Diversion Channel.

As shown by the attached FIRM Panel, this site is not impacted by a Flood Hazard Zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the construction of the Baker Office/Warehouse with associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. Flow arrows give the direction of drainage flows and the project hydrology is tabulated for both existing and proposed conditions. The drainage criteria for the site was established by the Drainage Masterplan for Alameda Business Park, prepared by Bohannon Huston, dated February 19, 1999.

All drainage flows will be managed on-site and discharge to the Masterplan drainage improvements that convey all runoff to an existing retention pond located to the north. Basin A drains north to the north easement channel. The channel will be modified as shown by Section 'A'. Basin B drains west to Calle Alameda through the proposed south driveway.

EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the construction boundaries to mitigate sediment deposition into the adjoining properties and public streets, and public streets. It is the contractors responsibility to properly maintain these facilities during the construction phase of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

LEGEND

ITEM	EXISTING	PROPOSED
MOUNTABLE CURB		
STD CURB & GUTTER		
DROP INLET		
OVERHEAD ELEC	— OHU —	
UNDERGROUND ELEC, GAS, TEL, TV	— UGT —	
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	99.3	99.31
SPOT ELEV.	X 16.7	16.7
SEWER SERVICE		
POWER POLE (GUYPD)	PP	
CENTERLINE		
RETAINING WALL		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
STREET LIGHT		
DIRECTION OF FLOW		
DRAINAGE SWALE		
DRAINAGE BASIN DIVIDE		

PROPERTY ADDRESS

8524 Calle Alameda NE

LEGAL DESCRIPTION

Lot 43, Alameda Business Park

MAPPING

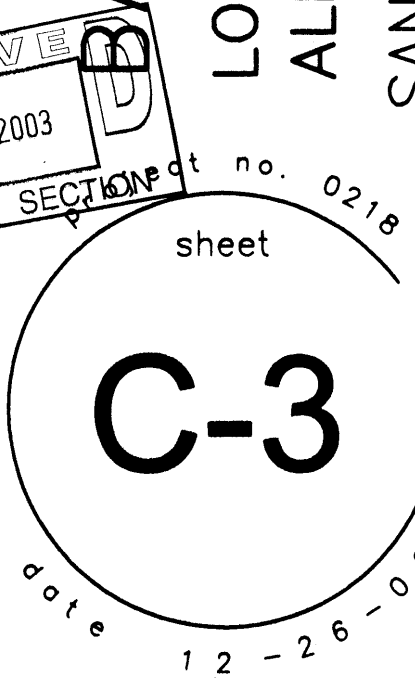
Topographic and Field Measurements by
Brasher & Lorenz
Dated January, 2003

PROJECT BENCHMARK

AMAFCA BRASS TABLE "NDC-7-1B2"
station is located along NDC west frontage road at STA 150+55, approx 0.4 mile south of Alameda Blvd. ELEV = 5064.40 feet MSLD

KEYED NOTES

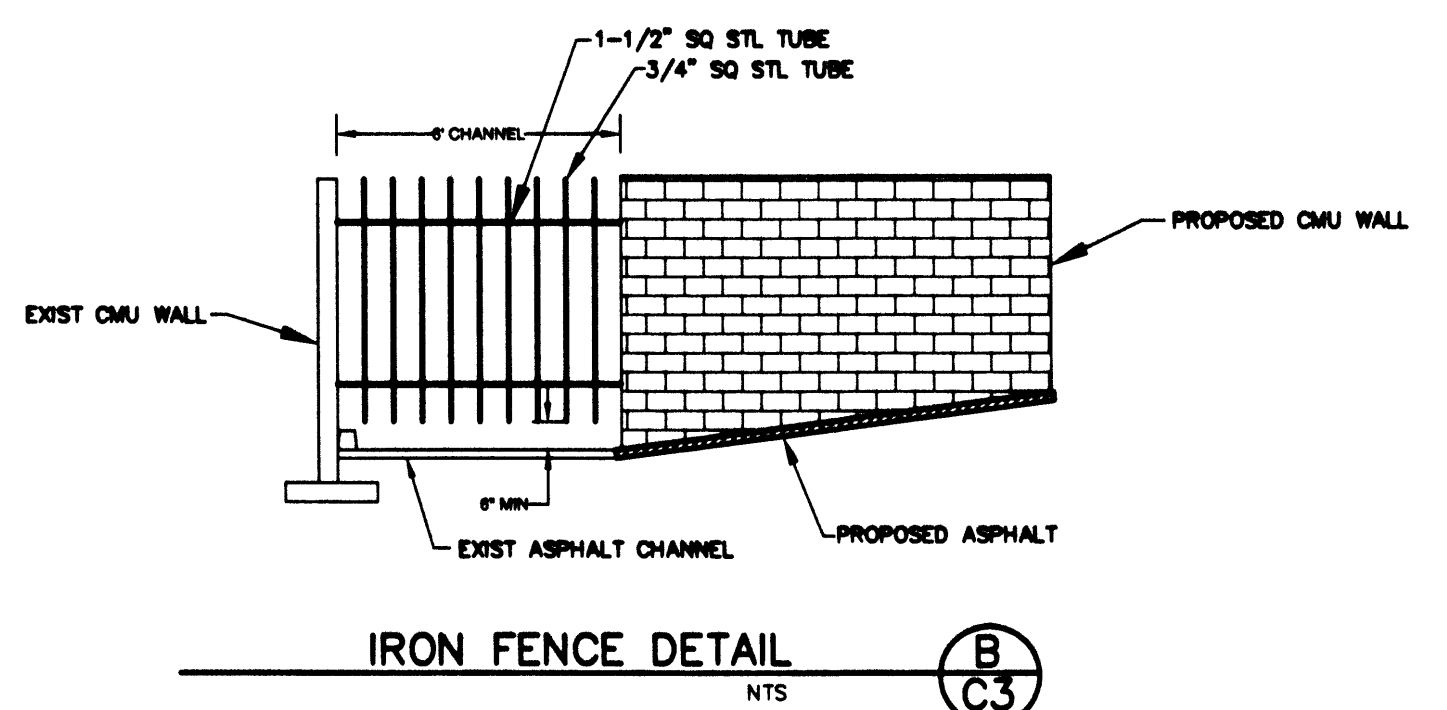
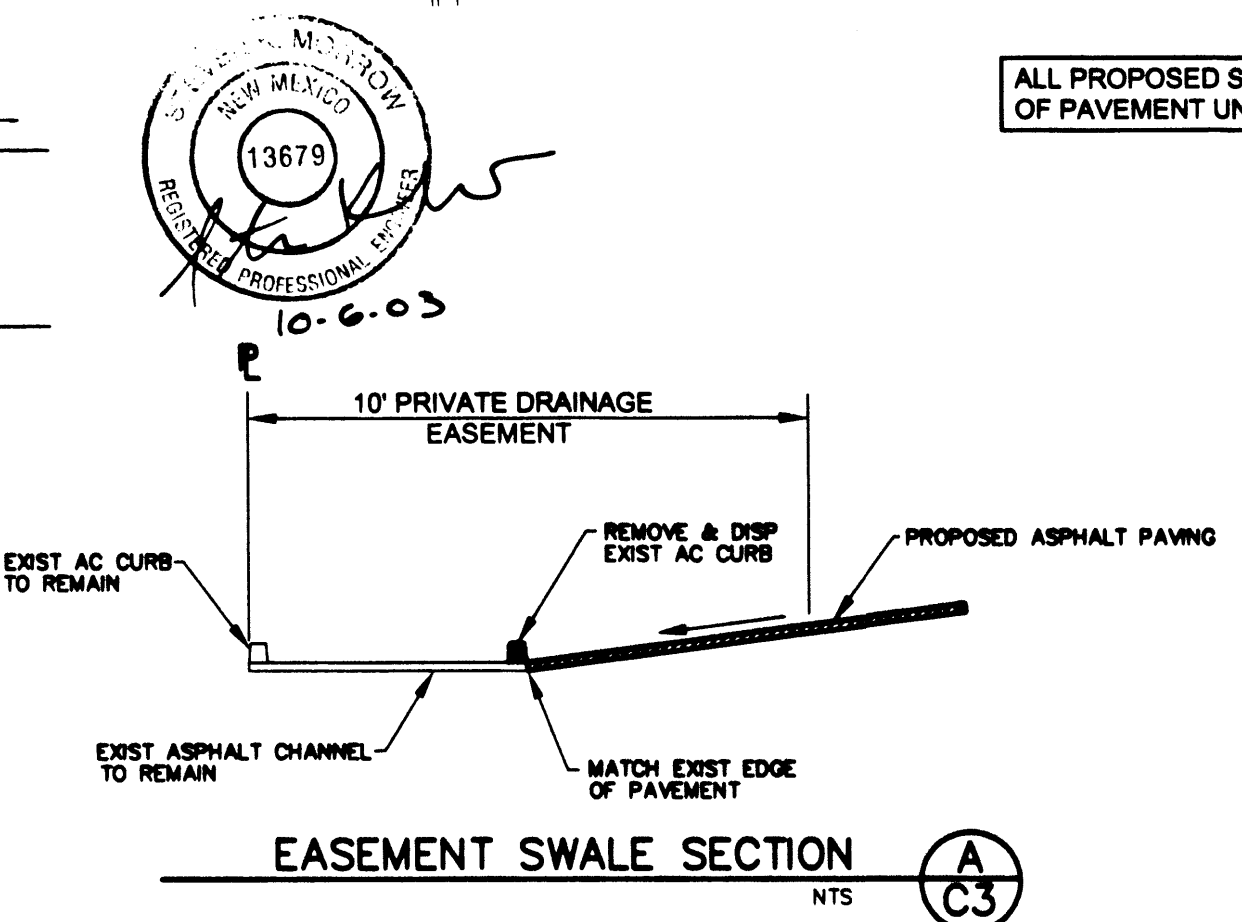
- EXISTING STD CURB & GUTTER
- SAWCUT EXIST STD C & G. CONSTRUCT 24' DRIVEPAD PER COA STD DWG 2425
- CONSTRUCT 4' SIDEWALK
- CONSTRUCT HANDICAP RAMP. SEE SITE PLAN
- NO CURB AT ACCESSIBLE AREA. PROVIDE CONCRETE TIRE STOP AS SHOWN
- CONSTRUCT REFUSE ENCLOSURE. SEE SITE PLAN
- CONSTRUCT 6" EXTRUDED CONCRETE CURB
- CONSTRUCT TURNDOWN SIDEWALK. SEE SITE PLAN
- INSTALL 6" HIGH CMU WALL. SEE SITE PLAN
- CONSTRUCT ASPHALT PAVEMENT. SEE SITE PLAN
- PAINTED STRIPING PER COA CRITERIA
- DIRECTION OF ROOF DRAINAGE
- INSTALL 6 LF IRON FENCE AT CHANNEL. SEE DETAIL B
- EXISTING ASPHALT CHANNEL. SEE SECTION A
- EXISTING AC CURB TO REMAIN
- REMOVE & DISPOSE OF EXISTING AC CURB AS SHOWN
- EXISTING CMU WALL
- INSTALL 2 - 24" CHECKERED PLATES AT EXIST SW CULVERT PER COA STD DWG 2236
- CONSTRUCT 12 LF-6" CONCRETE HEADER CURB AS SHOWN
- LANDSCAPING
- ROOF DRAINS



DRAINAGE CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 2/18/03. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow NMPE 13679

10-6-03
Date



DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1995.
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS
INSPECTOR: *Carol Ann North* DATE: 9/8/03

CURVE	LENGTH	RADIUS	DELTA	CORD BEARING	CORD DIST.
C1	87.06'	410.00'	12° 08' 56"	N10° 48' 03" W	86.88'
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HYDROLOGY - AHYMO									
Precipitation Zone 2 P360 = 2.35 in									
Basin	Basin	Land Treatment (acre)			Ew	V100	Q100		
		A	B	C	D	(in)	(cfs)	(cfs)	
Existing Conditions									
SITE	0.57	0	0	0.57	0	1.13	0.5370	1.80	
OFFSITE	2.05	0	0	2.05	0	1.13	0.1930	6.47	
Developed Conditions									
SITE	0.57	0	0.03	0.06	0.48	1.95	0.0926	2.5	
A	0.23	0	0.02	0.03	0.27	1.95	0.0520	1.4	
B	0.25	0	0.01	0.02	0.22	1.95	0.0406	1.1	
OFFSITE	2.05	0	0.10	0.20	1.75	1.95	0.3331	9.0	

GRADING & DRAINAGE PLAN

SCALE: 1" = 20'-0"

