

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

March 7, 2008

G. Donald Dudley, Registered Architect  
400 Gold Ave. SW, Ste. 850  
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Alameda Office Warehouse, [C-16 / D007]  
8615 Alameda Park NE  
Architect's Stamp Dated 03/05/08

Dear Mr. Dudley:

The TCL / Letter of Certification submitted on March 7, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

March 3, 2008

City of Albuquerque  
Planning Department  
Development & Building Services Division  
600 2<sup>nd</sup> Street, NW  
Albuquerque, NM 87102

Project: **Alameda Office Warehouse**  
8516 Paseo Alameda, NE  
Albuquerque, NM 87113

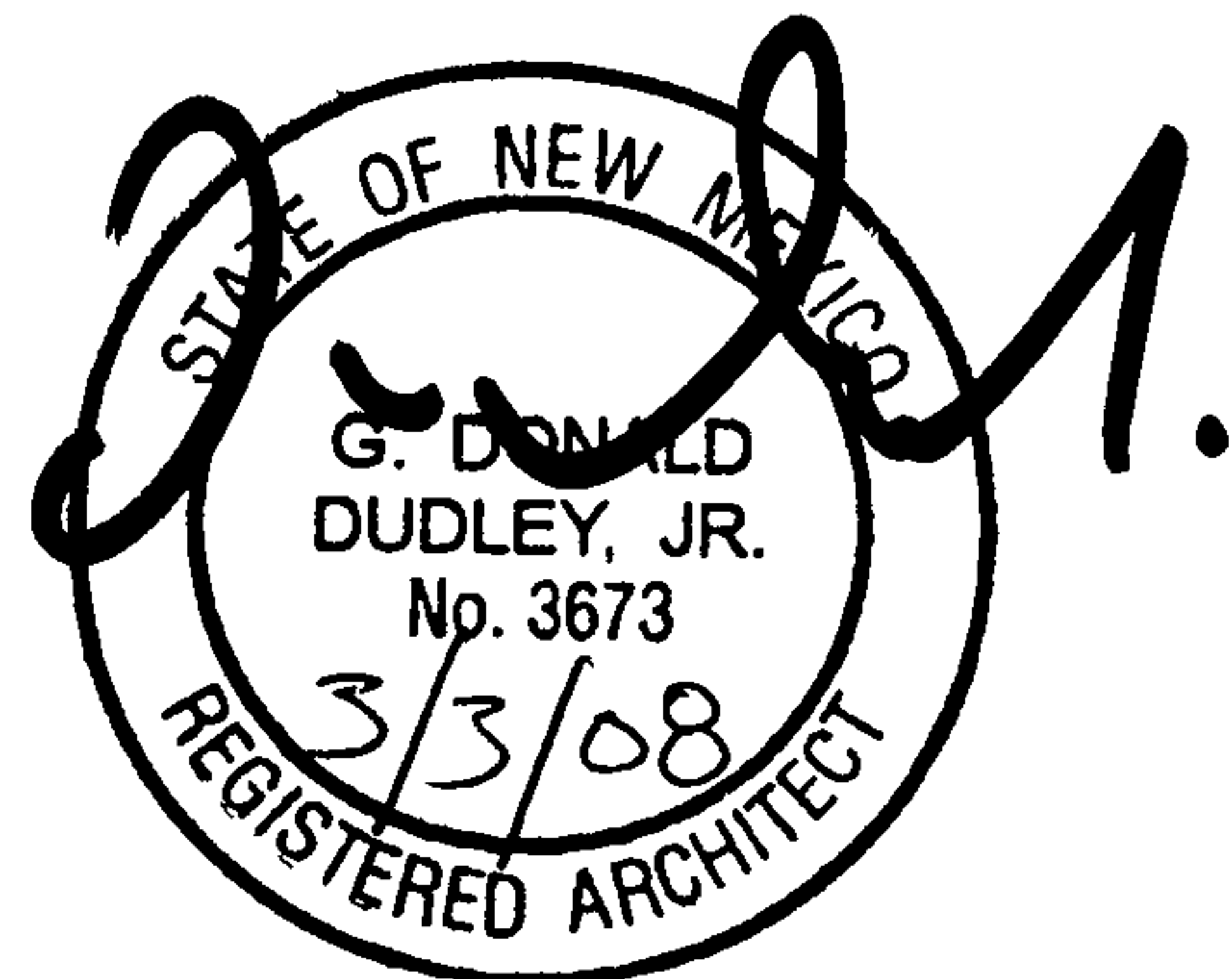
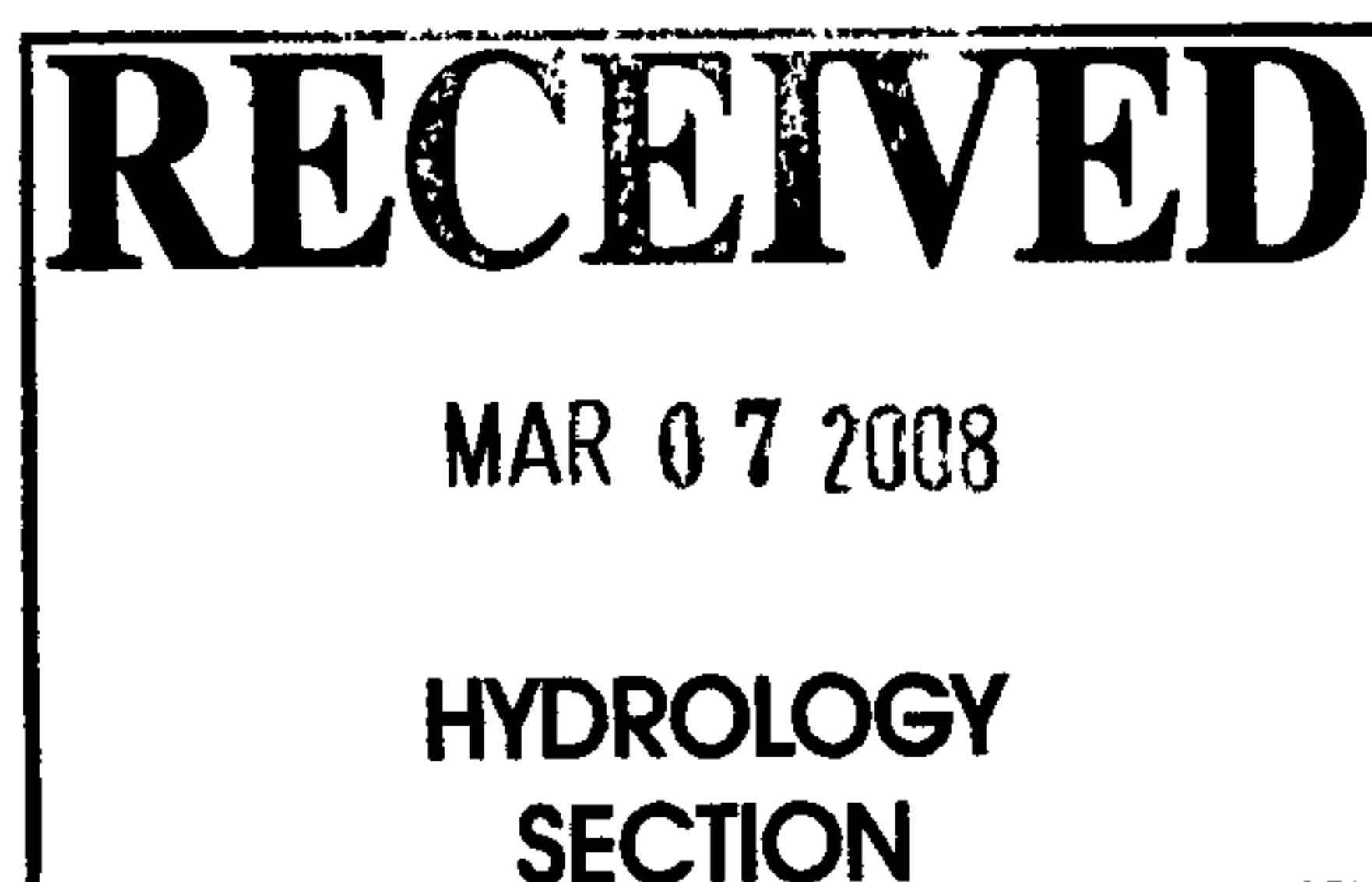
RE: TRAFFIC CERTIFICATION

I, **DON DUDLEY, NEW MEXICO REGISTERED ARCHITECT** OF THE FIRM **G. DONALD DUDLEY ARCHITECT, LTD.** HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 1/18/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **DON DUDLEY** OF THE FIRM **G. DONALD DUDLEY ARCHITECT, LTD.** I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEVERAL OCCASIONS WHILE UNDER CONSTRUCTION AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **CERTIFICATE OF OCCUPANCY**.

I AM REQUESTING NO EXCEPTIONS OR QUALIFICATIONS FOR THIS PROJECT.

I HAVE OBSERVED NO SIGNIFICANT DEFICIENCIES OR REQUIRED CORRECTIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



# CITY OF ALBUQUERQUE



March 27, 2008

J. Arthur Blessen, P.E.  
**J. Arthur Blessen Engineering**  
11930 Menaul Ste. 109  
Albuquerque, New Mexico 87112

**Re: Corner @ alameda Office/ Warehouse, 8615 Alameda Park Drive,  
(C-16/D007)**

**Approval of Permanent Certificate of Occupancy,**

**Engineer's Stamp Date 9/25/2007**

**Certification dated: 3-25-08**

Mr. Blessen:

PO Box 1293

Based upon the information provided in your submittal received 3/26/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

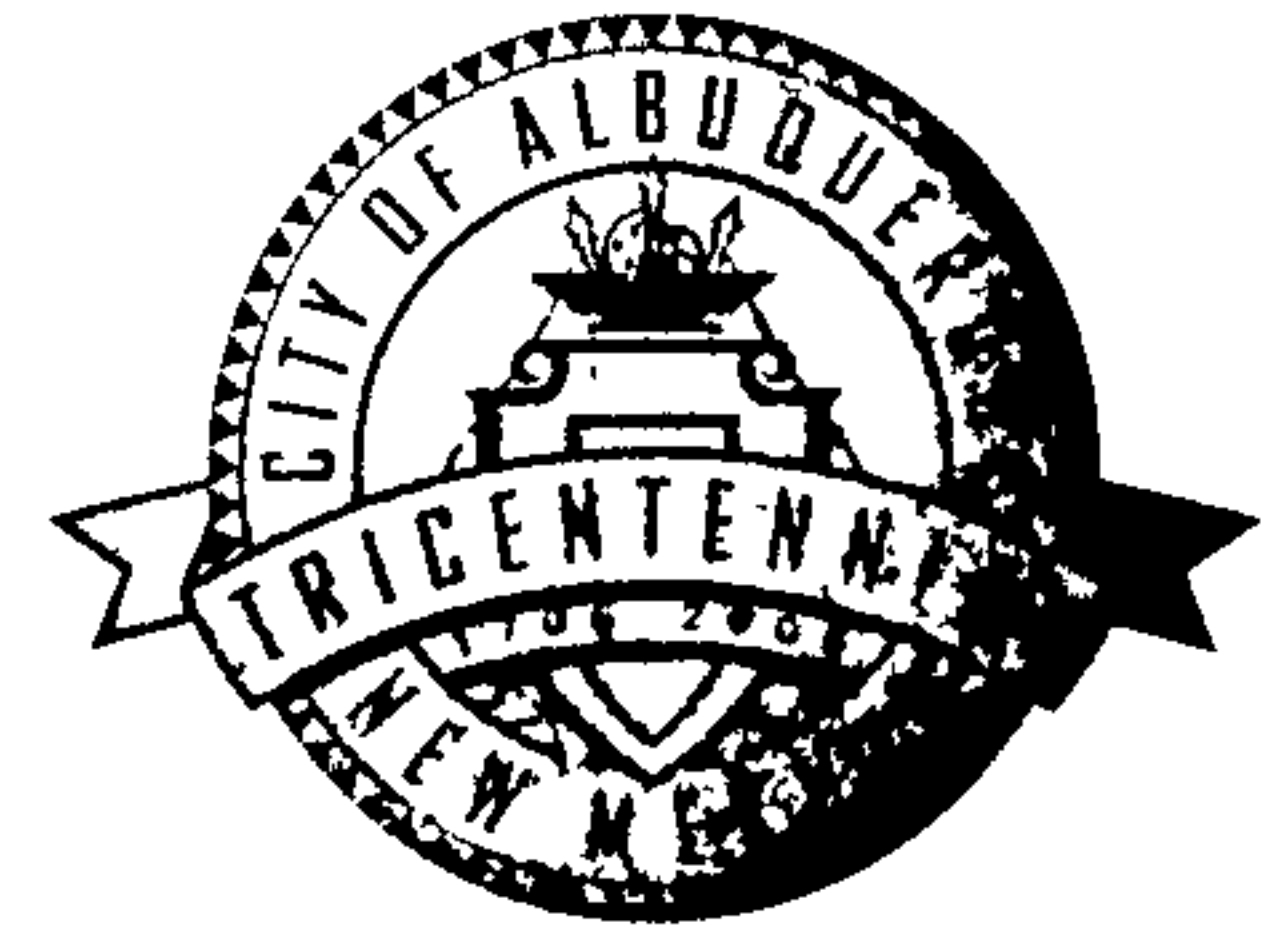
Timothy Sims

www.cabq.gov

Plan Checker-Hydrology, Planning Dept  
Development and Building Services

C: CO Clerk—Katrina Sigala  
file

# CITY OF ALBUQUERQUE



October 2, 2007

J. Arthur Blessen, P.E.  
J. Arthur Blessen Engineering  
11930 Menaul NE Suite 109  
Albuquerque, NM 87112

**Re: Corner at the Alamedas Office/Warehouse, 8615 Alameda Park NE, Grading Plan**

**Engineer's Stamp dated 9-25-07 (C16/D007)**

Dear Mr. Blessen,

Based upon the information provided in your submittal dated 9-25-07, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Department of Municipal Development, Storm Drainage Division, P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

If you have any question concerning the SWPPP, please contact Kathy Verhage 768-3654.

To obtain a temporary or permanent CO, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.

Engineering Associate, Planning Dept.  
Development and Building Services

C: file  
Kathy Verhage, DMD  
Antoinette Baldonado, Excavation and Barricading  
Duane Schmitz, Street/Storm Drain Maintenance



j arthur blessen engineering  
architect engineer  
2429 Zena Lona  
Albuquerque, NM 87112  
tel 293-1477

September 25, 2007

Curtis Cherne, PE, Engineering Associate  
City of Albuquerque Development and Building Section  
PO Box 1293  
Albuquerque, New Mexico 87103

re: Corner at Alameda Office / Warehouse, 8615 Alameda Park NE  
file: C16/D007

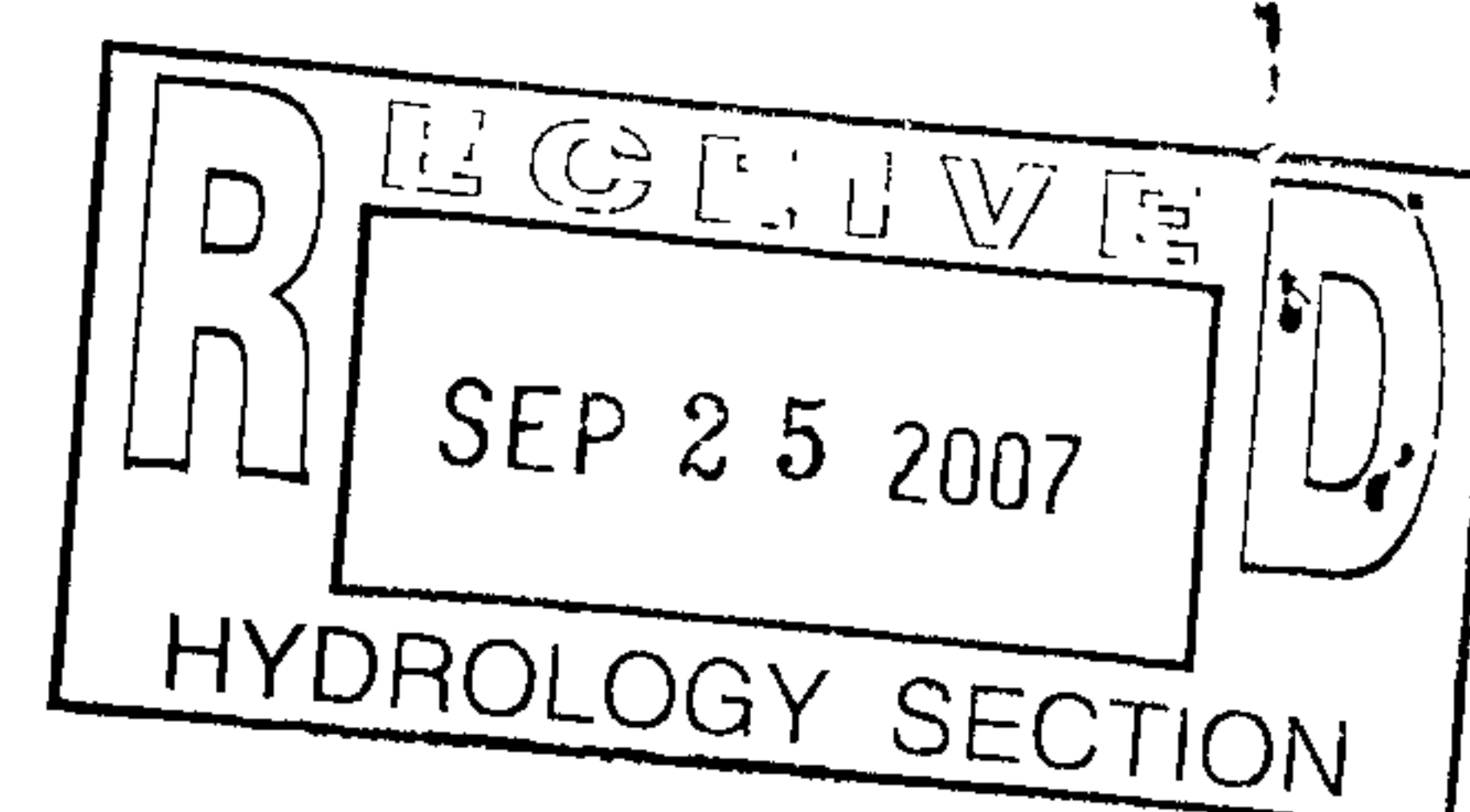
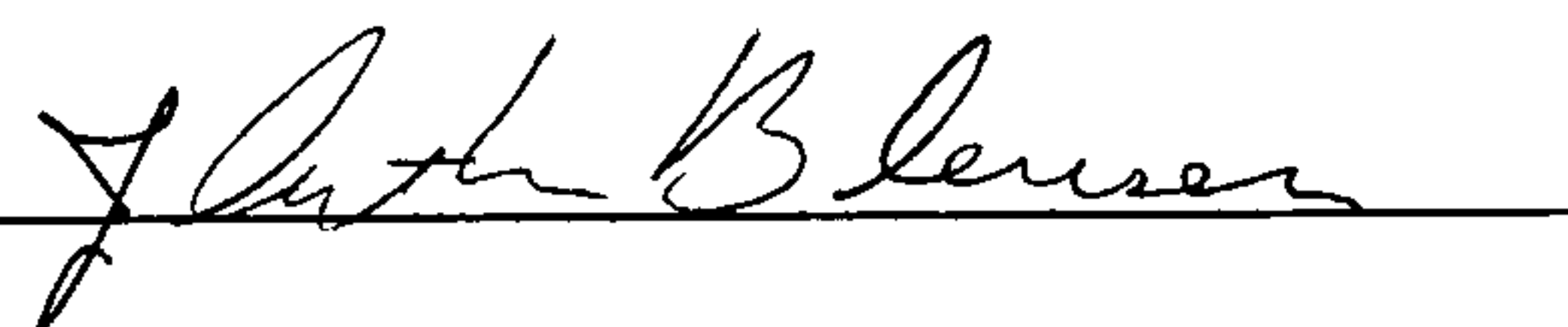
Dear Mr Cherne,

I have received your comments of September 6, 2007, to follow are the responses to those comments:

1. An enlarged plan detail of the transition has been provided as requested.
2. The drain in the trash enclosure has been delete.
3. There is a trench drain along the south side of the building. The retaining wall of the stair functions as the headwall of the discharge pipe. A detail of the trench drain has been added to the drawing.
4. The side walk culvert has been extended to the face of curb as requested. The culvert width is 2'-0" and the flow line elevations of the culvert have been noted.
5. The elevation notation has been corrected.
6. The building is acting as the retaining wall along the loading dock on the south side of the building.

Should you have any questions or require additional information please call.

J Arthur Blessen, PE



# CITY OF ALBUQUERQUE



September 6, 2007

J. Arthur Blessen, P.E.  
J. Arthur Blessen Engineering  
11930 Menaul NE Suite 109  
Albuquerque, NM 87112

**Re: Corner at the Alamedas Office/Warehouse, 8615 Alameda Park NE, Grading Plan**

**Engineer's Stamp dated 8-13-07 (C16/D007)**

Dear Mr. Blessen,

Based upon the information provided in your submittal dated 8-30-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

- Provide a detail of the area where the 2 ft wide channel meets the existing channel in the southwest corner of the site.
- Currently, only food preparation businesses require the trash enclosure to drain through a grease trap to the sanitary sewer. Trash enclosures at other business types should not drain to the sanitary sewer.
- It appears a catch basin is required just east of the west stairs on the south side of the building. Also, it appears there is a typo "TG" where an invert should be called out.
- Specify the width and the upstream invert of the sidewalk culvert east of the drive entrance on Paseo Alameda. In addition, sidewalk culverts extend to the face of curb. Please redraw to reflect this.
- There is a typo on an invert build note for the 1-foot wide channel just south of the building. The 34.0 INV should most likely be 35.0 INV.
- Specify a retaining wall on the south edge of the building.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file