

THE PROPOSED IMPROVEMENTS AS SHOWN BY THE VICINITY MAP, ARE LOCATED ON PASEO ALAMEDA, ON THE SOUTHWEST CORNER OF THE INTERSECTION OF PASEO ALAMEDA AND ALAMEDA PARK. THE SITE IS UNDEVELOPED AND SLOPES FROM TO THE NORTHWEST AT AN APPROXIMATE SLOPE OF 1.0% PER PANEL 01360. THE SITE DOES NOT LIE WITHIN A FLOOD HAZARD ZONE. THE SITE IS HIGHER THAN THE LANDS TO THE WEST AND NORTH. HE EXISTING CURB AND GUTTER ALONG ALAMEDA PARK TO THE EAST BLOCKS FLOWS FORM THAT DIRECTION. THE LAND TO SOUTH SLOPE TO THE WEST THEREFORE OFFSITE FLOWS ARE CONSIDERED INSIGNIFICANT.

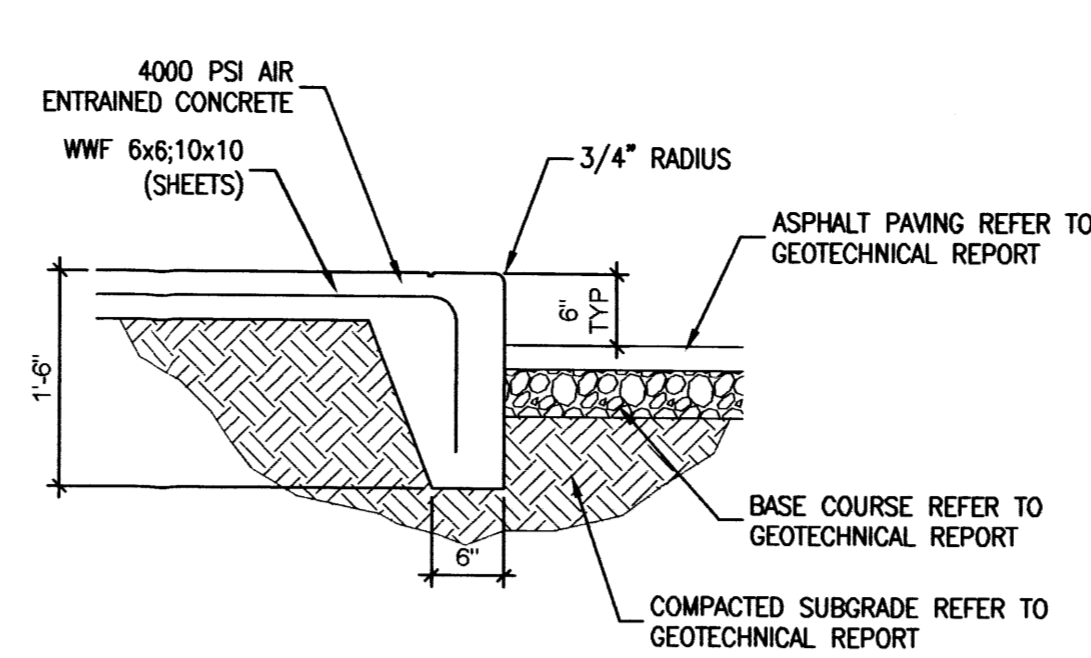
THE SITE HAS BEEN DIVIDED INTO THREE SUBBASINS. BASIN A1 WILL DISCHARGE TO THE PROPOSED DRIVE ENTRANCE ON PASEO ALAMEDA AT THE NORTHWEST CORNER OF THE SITE. BASIN A2 (TRUCK COURT) WILL DISCHARGE AT THE PROPOSED CURB CUT ON PASEO ALAMEDA AT THE NORTHWEST PROPERTY CORNER. BASIN B1 WILL DISCHARGE AT THE EXISTING DRAINAGE CHANNEL AT THE SOUTHWEST PROPERTY CORNER.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OR ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

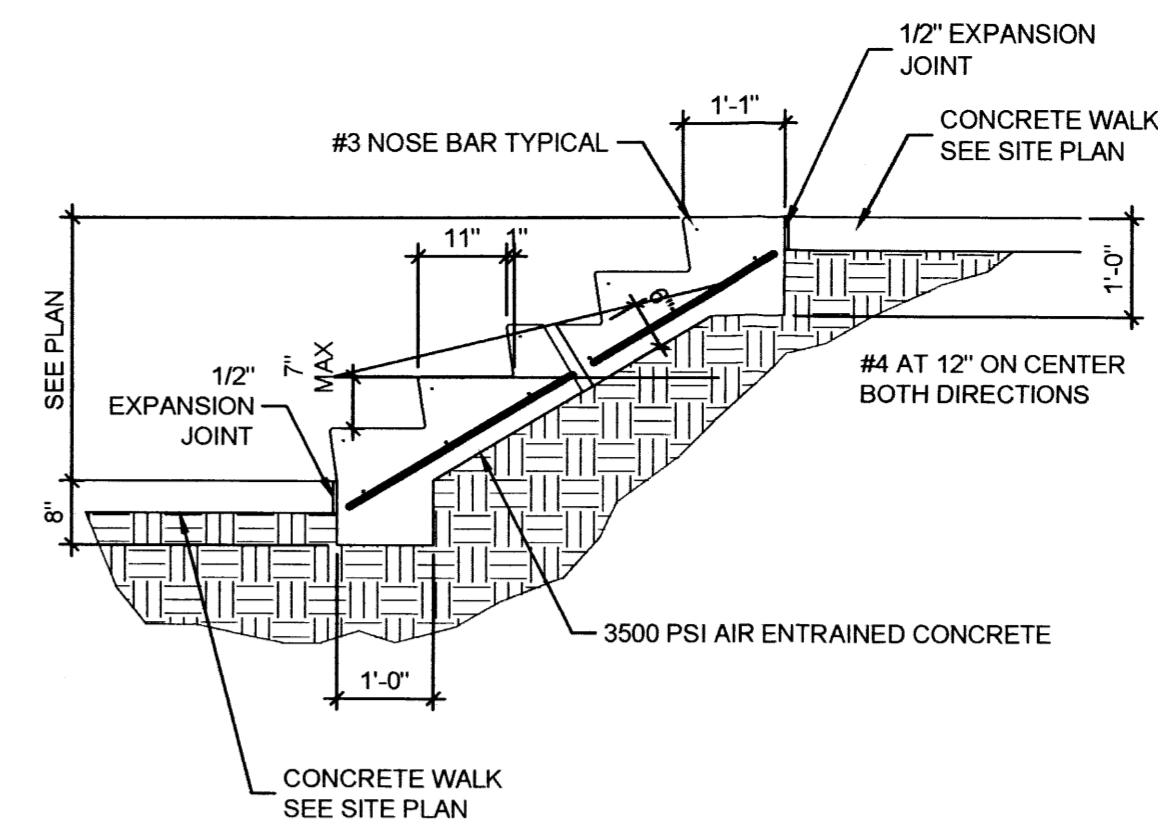
CALCULATIONS
 PRECIPITATION ZONE = 2
 TOTAL SITE AREA = 1.518 ACRES
 EXISTING CONDITIONS
 LAND TREATMENT A=100%
 $E = 0.53(1.00) = 0.44$ INCHES
 $V = 0.53(1.518) / 12 = 0.067$ ACRE FEET
 $Q = 1.56(1.00) (0.985) = 2.4$ CFS

DEVELOPED CONDITIONS
BASIN A1 (TO DRIVE ENTRANCE)
BASIN AREA = 0.883 ACRES
LAND TREATMENT B=26% D=74%
E = 0.78(0.26)+2.12(0.74)= 1.77 INCHES
V = 1.77 (0.883) / 12 = 0.131 ACRES FEET
Q = [1.29 (0.19)+4.37(0.81)](0.985)=3.6 CFS

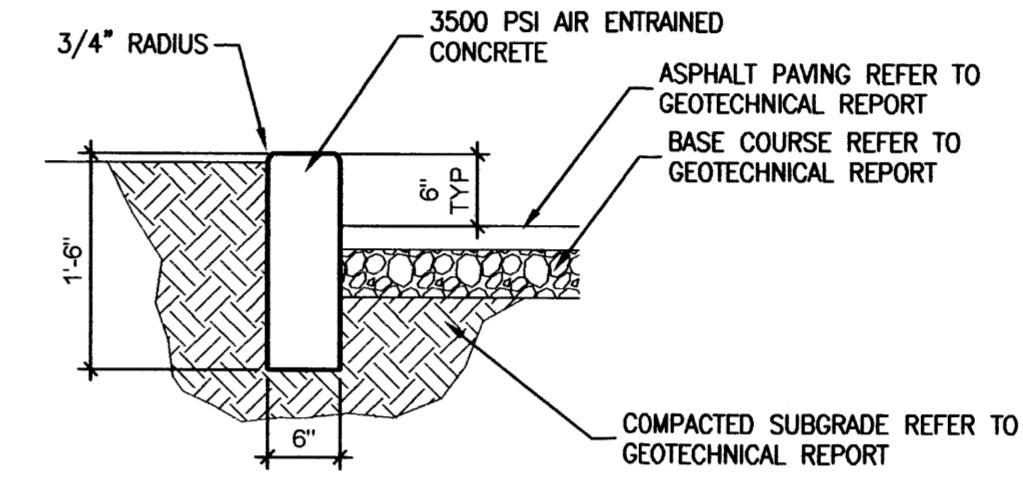
BASIN A2 (TO CURB CUT)
 BASIN AREA = 0.212 ACRES
 LAND TREATMENT B=0% D=100%
 $E = 2.12(1.00) = 2.12$ INCHES
 $V = 2.12(0.212) / 12 = 0.037$ ACRE FEET
 $Q = 4.70(1.00)(0.212) = 1.0$ CFS
 BASIN B1 (TO EXISTING CHANNEL)
 BASIN AREA = 0.432 ACRES
 LAND TREATMENT B=7% D=93%
 $E = 0.78(0.07+2.12)(0.93) = 2.03$ INCHES
 $V = 0.03(0.432) / 12 = 0.072$ ACRE FEET
 $Q = [1.29(0.07)+4.37(0.93)](0.432) = 1.9$ CFS
 TOTAL SITE
 $V = 0.131 + 0.037 + 0.072 = 0.240$ ACRE FEET
 $Q = 3.6 + 1.0 + 1.9 = 6.5$ CFS
 $Q = 6.5 / 1.518 = 4.3$ CFS/ACRE
 INCREASE IN VOLUME OF RUNOFF = 0.173 ACRE FT
 INCREASE IN RATE OF RUNOFF = 4.1 CFS



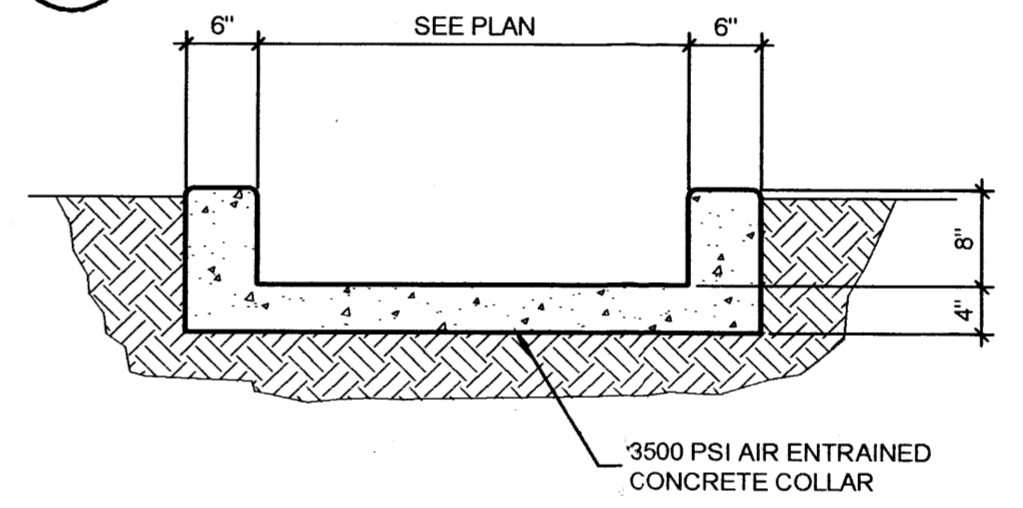
2 TYPICAL SIDEWALK
3/4"=1'-0"



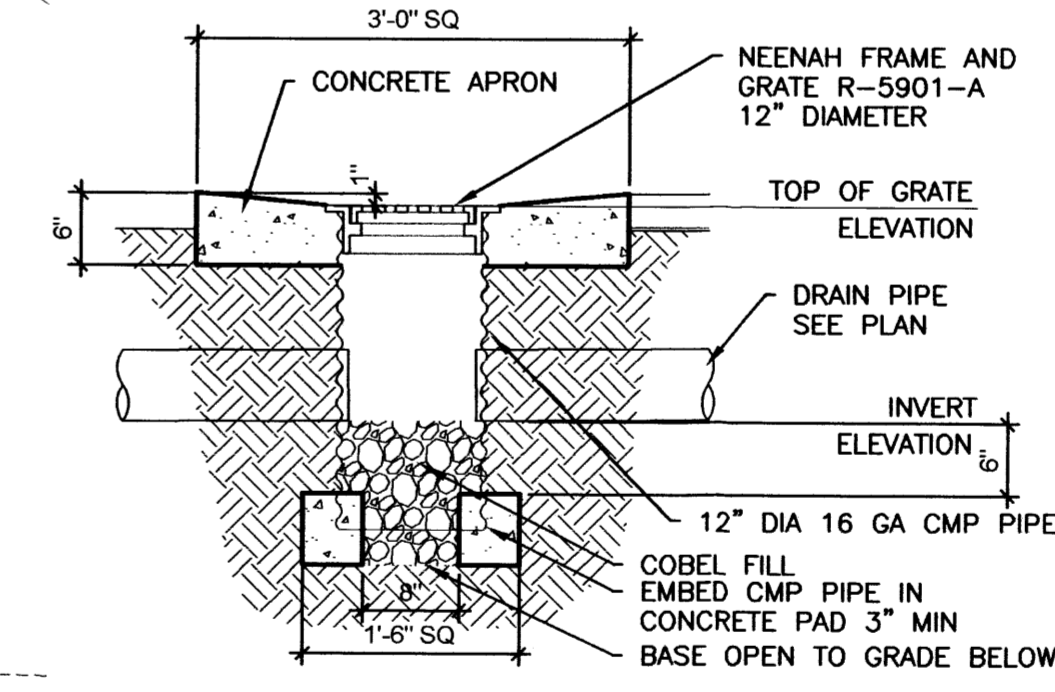
1 TYPICAL STAIR
1/2"=1'-0"



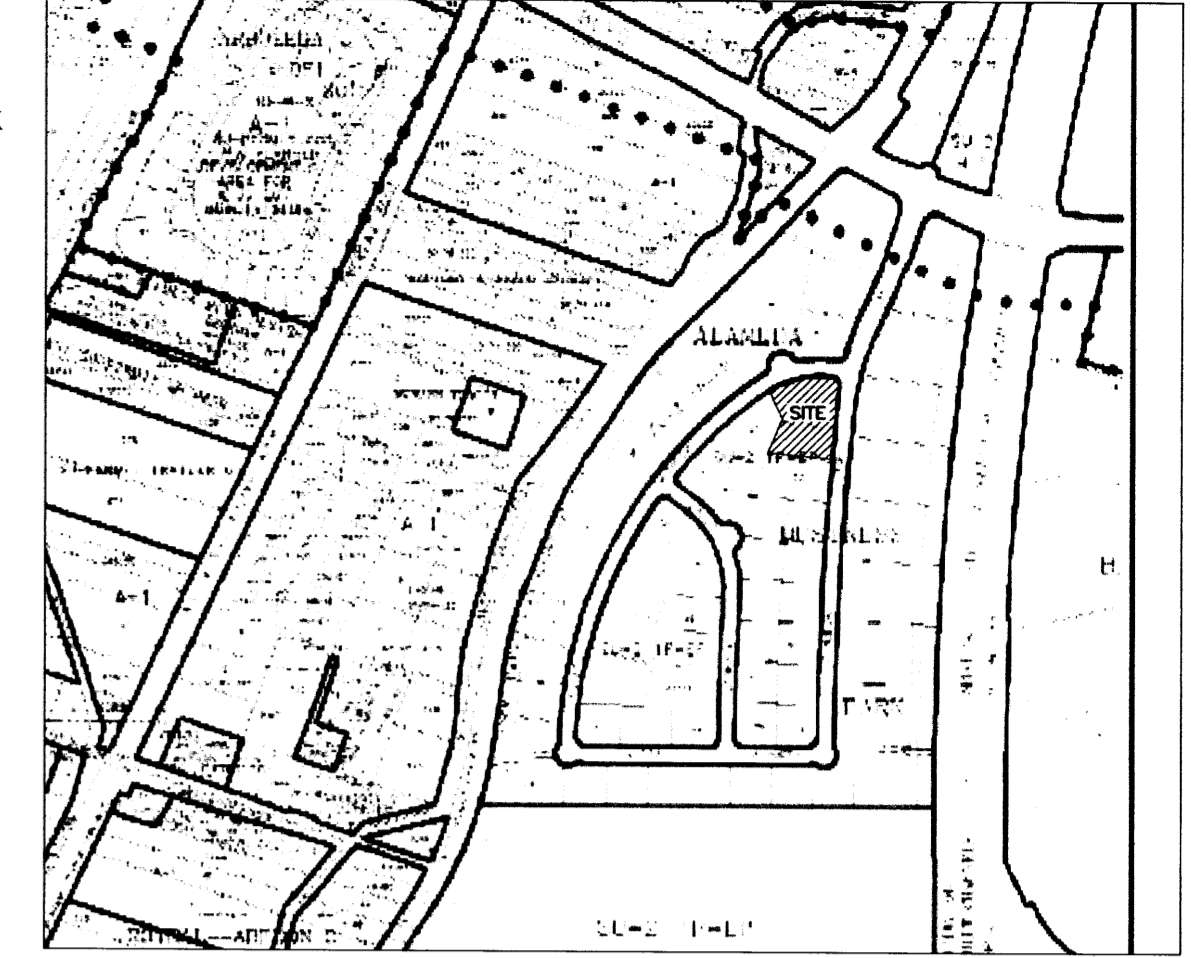
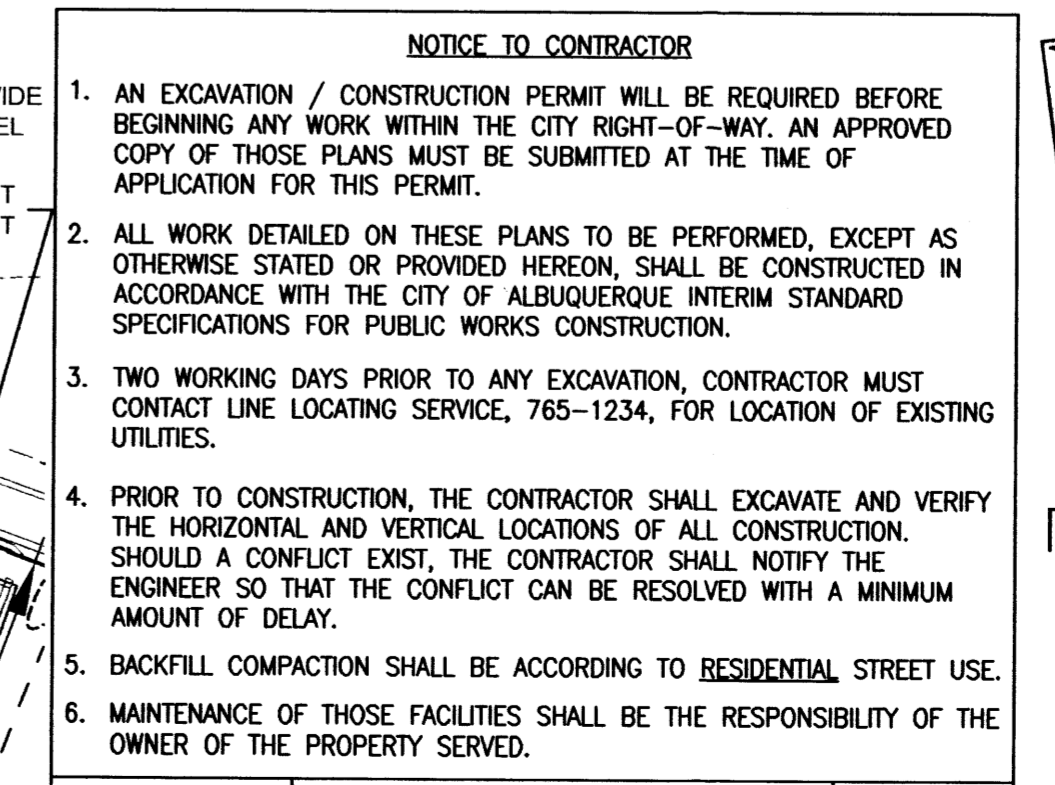
3 HEADER CURB
3/4"=1'-0"



4 CONCRETE CHANNEL
3/4"=1'-0"



5 CATCH BASIN
3/4"=1'-0"



D5 VICINITY MAP – C16
NOT TO SCALE

CONSTRUCTION NOTES












1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
2. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
5. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION.
6. THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.), ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ALL TIMES DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
7. THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING CONSTRUCTION.
8. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
9. ALL POND BOTTOMS SHALL RECEIVE GRAVEL AND FILTER FABRIC SEE LANDSCAPE PLAN. FACILITY ACCESSIBILITY
ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALK, CURB, GUTTER OR STREET SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

- | | | | |
|---|---|---|--|
| <p>LEGEND:</p> <p>  51.00 </p> <p>  51 </p> <p>  51 </p> <p>  SWALE </p> <p>  51.0 </p> <p>  51.0 </p> <p>  BASIN BOUNDARY </p> <p>  PROPERTY LINE </p> | <p>EXISTING SPOT ELEVATION</p> <p>NEW SPOT ELEVATION</p> <p>EXISTING CONTOUR</p> <p>NEW CONTOUR</p> <p>SWALE</p> <p>VERIFIED ELEVATION</p> <p>AS BUILT ELEVATION</p> <p>BASIN BOUNDARY</p> <p>PROPERTY LINE</p> | <p>FL</p> <p>GROUND</p> <p>INV</p> <p>TA</p> <p>TC</p> <p>TG</p> <p>TS</p> <p>TW</p> <p>TBM</p> <p> GRAVEL</p> <p> ASPHALT PAVING</p> <p> CONCRETE</p> | <p>FLOW LINE</p> <p>GROUND</p> <p>INVERT</p> <p>TOP OF ASPHALT</p> <p>TOP OF CURB</p> <p>TOP OF GRATE</p> <p>TOP OF CONCRETE SLAB</p> <p>TOP OF WALL</p> <p>TEMPORARY BENCH MARK</p> |
|---|---|---|--|

RECEIVED
MAR 26 2008
HYDROLOGY
SECTION OF

THE CORNER AT THE
ALAMEDAS
OFFICE / WAREHOUSE

8615 ALAMEDA PARK NE
ALBUQUERQUE, NM 87113-1547

G. DONALD DUDLEY AIA

ARCHITECT

SIMMS TOWER STUDIO 85
400 GOLD AVENUE S
ALBUQUERQUE, NEW MEXIC
8 7 1 0
TEL 505.243.810
FAX 505.843.682



date: AUGUST 13, 2007

drawn by: jab

6-1

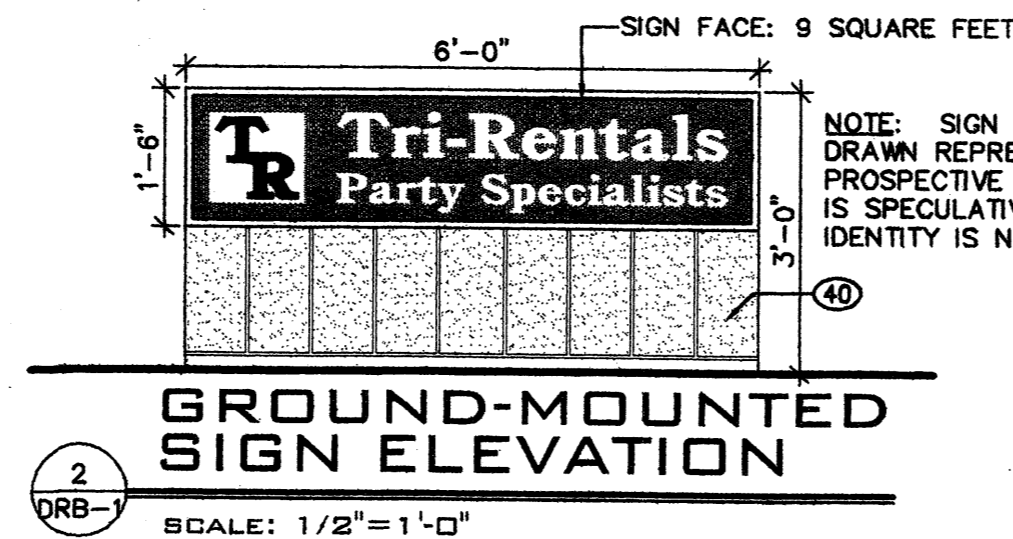
| REVISED 9/25/07

C-I

sequence no. of:

A1 SITE GRADING PLAN
1"=20'-0"

(A1) 1"=20'-0"



PARKING CALCULATIONS:

WAREHOUSE: 17,741 SF, 1 SPACE PER 2,000 SF = 8.87 SPACES REQUIRED
 OFFICE: 3,259 SF, 1 SPACE PER 200 SF = 16.3 SPACES REQUIRED
 26 TOTAL SPACES REQUIRED
 2 REQUIRED TO BE HANDICAP ACCESSIBLE
 26 SPACES PROVIDED
 BICYCLE SPACES REQUIRED (1 SPACE / 20 VEHICULAR SPACES): 2
 2 BICYCLE SPACES REQUIRED, 3 PROVIDED

KEYED NOTES

1. LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS, CIVIL DRAWINGS
2. 4" WIDE PAINT STRIPING AT ACCESSIBLE ROUTE AND PEDESTRIAN CONNECTION, BLUE COLOR
3. 4" WIDE PARKING STRIPING
4. CONCRETE CURB RE: CIVIL
5. PAVING RE: CIVIL
6. T.P.O. MEMBRANE ROOF
7. EXISTING SIDEWALK TO REMAIN
8. PAINTED WHEELCHAIR SYMBOL AT REAR OF PARKING SPACE, BLUE COLOR
9. LOCATION OF ACCESSIBLE PARKING SIGN RE: 2/C1.1
10. OUTLINE OF AWNING BELOW
11. CONCRETE SIDEWALK RE: CIVIL, LIGHT BROOM FINISH, "THUNDERBOLT" TB-5-G PRE-MANUFACTURED BIKE RACK W. GALVANIZED FINISH AS MANUFACTURED BY CREATIVE PIPE, INC., HERMOSA BEACH, CA., PHONE (310)376-9536, WWW.CREATIVEPIPE.COM
12. LOCATION OF TRASH RECEPTACLE
13. LOCATION OF RECYCLING RECEPTACLE
14. LOCATION OF EXISTING FIRE HYDRANT (TO REMAIN)
15. CATTAIL MARSH - SEE CIVIL AND LANDSCAPE DRAWINGS
16. DRAINAGE CHANNEL TO EXISTING PRIVATE DRAINAGE EASEMENT, SEE CIVIL
17. EXISTING ACCESSIBLE CURB RAMP TO REMAIN
18. EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION
19. EXISTING TREE TO BE REMOVED
20. EXISTING CURB ENCROACHMENT TO BE REMOVED - CONTRACTOR TO NOTIFY ADJACENT PROPERTY OWNER PRIOR TO DEMOLITION
21. CRICKET
22. WELDED STEEL SCUPPER
23. ACCESSIBLE CURB RAMP
24. STEEL GATE (TO BE CONSTANTLY OPEN DURING BUSINESS HOURS)
25. CONCRETE PAD, BOLLARDS, AND AREA DRAIN
26. 6" TALL CONCRETE BLOCK WALL, BLOCK COLOR TO BE RINKER "SANDIA SAND" OR UTILITY BLOCK COMPANY "CORAL" BLOCK TO BE FROM MINIMUM OF FOUR DIFFERENT PRODUCTION RUNS TO PROVIDE SMALL VARIATIONS IN COLOR, LAID AT RANDOM
27. NEW CONCRETE DRIVEWAY APRON, SEE CIVIL
28. EXISTING CURB AND GUTTER TO REMAIN
29. ROOF OVERFLOW SLOT (NO SCUPPER), SEE CONCRETE PANEL DRAWINGS
30. HANDICAP PARKING SIGN
31. LOCATION OF FIRE DEPARTMENT SIAMSE CONNECTION
32. EXISTING ADJACENT BUILDING ON ADJACENT SITE
33. EXISTING CURB ON ADJACENT SITE
34. SKYLIGHT WITH SMOKE AND HEAT VENTING, SEE MECHANICAL
35. 15' TALL 150W METAL HALIDE POLE LIGHT W. BRONZE, ANODIZED FINISH, FULL CUTOFF SHIELD
36. LINE OF OFFICE/WAREHOUSE SEPARATION BELOW
37. LOCATION OF GROUND-MOUNTED SIGN, SIZE TO NOT EXCEED 75 SQUARE FEET, HEIGHT NOT TO EXCEED 4'-0"
38. CONCRETE BLOCK BASE FOR INTERNALLY LT SIGN IN PAINTED METAL FRAME, BLOCK TO MATCH YARD WALLS
39. TWO MOTORCYCLE PARKING SPACES @ 4'x8'
40. POLE-MOUNTED MOTORCYCLE PARKING SIGN, NO SMALLER THAN 12'x18", LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE

PROJECT NUMBER: **1000624**

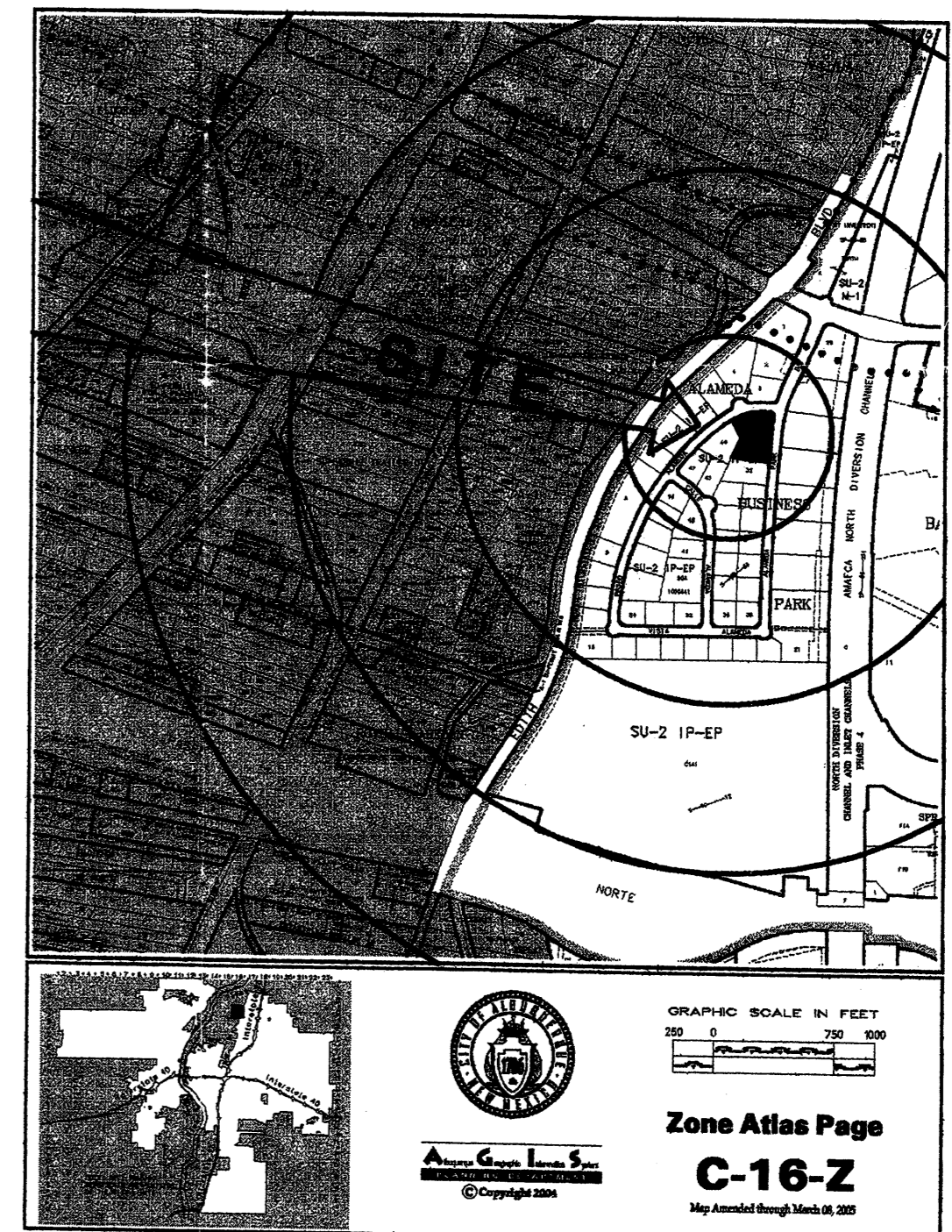
Application Number: **07 DRB - 00128**

DRB SITE DEVELOPMENT PLAN APPROVAL:

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-Of-Way or for construction of public improvements.

3-14-07
 Date
 Traffic Engineering, Transportation Division
 3-14-07
 Date
 Water Utility Department
 3/14/07
 Date
 Parks and Recreation Department
 3/14/07
 Date
 Bradley S. Bingham
 City Engineer

*Environmental Health (conditional)
 Michael Helton (double endorsement)
 Solid Waste Management
 3/15/07
 Date
 DRB Chairperson, Planning Department



RECEIVED
 MAR 07 2008
 HYDROLOGY
 SECTION

ALBUQUERQUE
 BUILDING & SAFETY
 SEP 20 2007
 U.S.C.
 PLAN CHECK SECTION

ZONE ATLAS MAP
 SCALE: 1" = 1 MILE

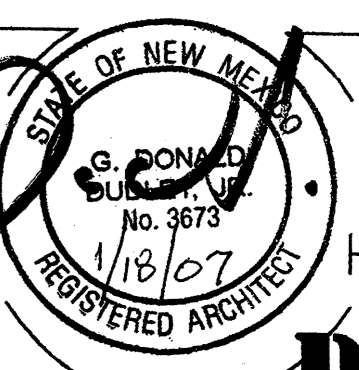
THE CORNER AT THE ALAMEDAS
 OFFICE/WAREHOUSE

8615 ALAMEDA PARK NE
 ALBUQUERQUE, NM 87113-1547

G. DONALD DUDLEY AIA

ARCHITECT

SIMMS TOWER STUDIO 850
 400 GOLD AVENUE SW
 ALBUQUERQUE, NEW MEXICO
 8 7 1 0 2
 TEL 505.243.8100
 FAX 505.843.6820



date: JANUARY 18, 2007

drawn by: GDD, eh

DRB-1

sequence no. of

**SITE DEVELOPMENT PLAN
 FOR BUILDING PERMIT**

SCALE: 1" = 20'
 0 10' 20' 40' 80'

APD PLANS CHECKING OFFICE
 224-3511
 APPROVED/DISAPPROVED
 SIGNATURE: [Signature]
 DATE: 1-17-07

21,000 sq ft
 Type II Const
 Fully Sprinkled
 Fire Flow = 1043 gpm
 1 Fire Hydrant Required!

ALAMEDA PARK DRIVE
 60' R.O.W.

10' PUBLIC UTILITY EASEMENT, 10' LANDSCAPE EASEMENT
 20' FRONT YARD SETBACK

PROPOSED BUILDING
 21,000 SF TOTAL AREA
 CONSTRUCTION TYPE: II-B

17,684 SF
 WAREHOUSE
 AREA

3,316 SF
 OFFICE/SALES
 AREA

CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 1/14/07 APPROVED