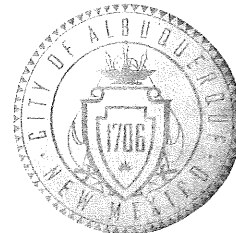


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 27, 2008

Ann Marie Dennis, Registered Architect
6801 Jefferson NE, Ste. 100
Albuquerque, NM 87109

Re: Certification Submittal for Final Building Certificate of Occupancy for
Yearout Mechanical, [C-17 / D1U10]
8501 Washington ST. NE
Architect's Stamp Dated 03/20/08

Dear Mr. Dennis:

The TCL / Letter of Certification submitted on March 27, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Yearout Mechanical Warehouse ZONE MAP: C-17-2
DRB#: _____ EPC#: _____ WORK ORDER#: D1010

LEGAL DESCRIPTION: _____
CITY ADDRESS: 8501 Washington Street N.E.

ENGINEERING FIRM: Bridgers & Paxton CONTACT: Tim Kehoe
ADDRESS: 4600 - C Montgomery Blvd N.E. PHONE: 883-4111
CITY, STATE: _____ ZIP CODE: 87109

OWNER: Kevin Yearout CONTACT: Kevin Yearout
ADDRESS: 8501 Washington St N.E. PHONE: 884-0994
CITY, STATE: Albuquerque N.M. ZIP CODE: 87109

ARCHITECT: Ann Marie Dennis CONTACT: Ann Marie Dennis
ADDRESS: 7601 Jefferson St N.E. Shiloh PHONE: 761-9700
CITY, STATE: Albuquerque N.M. ZIP CODE: 87109

SURVEYOR: Bohannon Huston CONTACT: Bruce Stidworthy
ADDRESS: 7500 Jefferson St. N.E. PHONE: 823-1000
CITY, STATE: Albuquerque N.M. ZIP CODE: 87109

CONTRACTOR: Reid & Associates CONTACT: Mike Lucero
ADDRESS: 6300 Riverside Plaza Lane N.W. PHONE: 891-2528
CITY, STATE: Albuquerque N.M. ZIP CODE: 87120

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

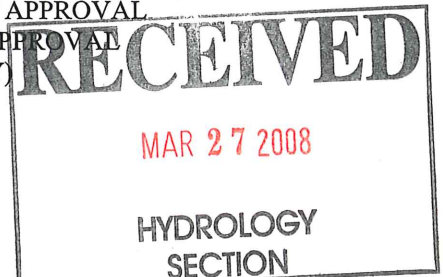
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

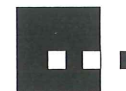
DATE SUBMITTED: _____ BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



March 20, 2008

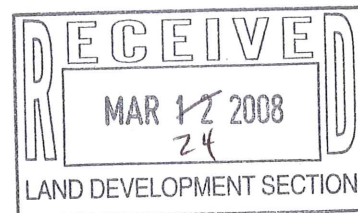


Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development & Building Services; Planning Dept.
600 2nd Street NW
Albuquerque, NM 87102

**Re: Traffic Certification for
Permanent Certification of Occupancy
Yearout Mechanical
8501 Washington NE
Albuquerque, NM**



Dear Mr. Fernandez:

I Ann Marie Dennis, NMRA No. 3852, of the firm Dekker/Perich/Sabatini, hereby certify that this project has in substantial compliance with and in accordance with the design intent of the approved plan dated July 15, 2007. I further certify that I have personally visited the project site on March 19, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy.

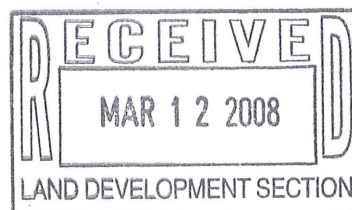
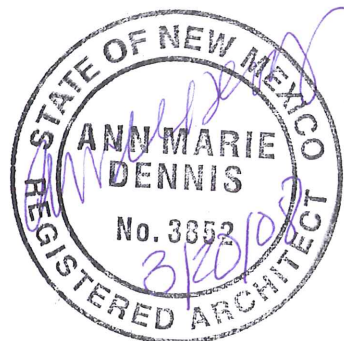
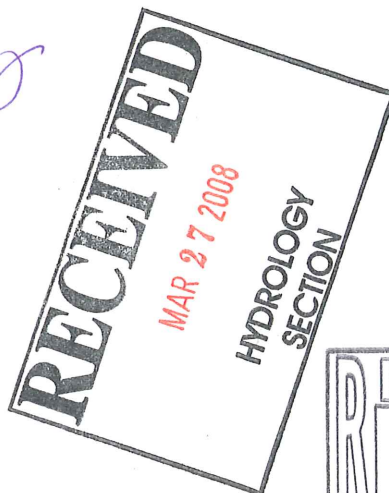
November 9th 2007
E.M.S.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

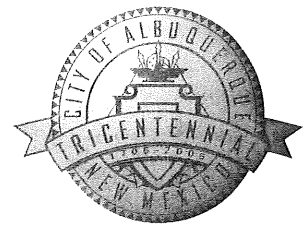
Very truly yours,

Dekker/Perich/Sabatini Ltd.

Ann Marie Dennis, AIA
Principal



CITY OF ALBUQUERQUE



November 9, 2007

Ann Marie Dennis, R.A.
Dekker Perich Sabatini
7601 Jefferson NE Suite 100
Albuquerque, NM 87109

Re: Yearout Mechanical, 8501 Washington Street, Traffic Circulation Layout
Architect's Stamp dated 11-07-07 (C17-D001U10)

Dear Ms. Dennis,

The TCL submittal received 11-07-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Please note that a permanent certificate of occupancy will not be issued for this site until a copy of the recorded sidewalk easement (paper or plat) is received for our files.

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: YearOut Mechanical ZONE MAP/DRG. FILE # C-17-2/D01410
DRB#: 1006788 EPC#: _____ WORK ORDER#: C-17/D001410

LEGAL DESCRIPTION: 8501 Washington St.
CITY ADDRESS: Abuquerque

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Eric Shreve CONTACT: Dekker Penzh Sabathi
ADDRESS: _____ PHONE: 761-9700
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

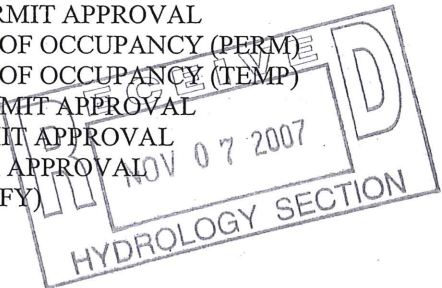
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Eric Shreve DRB # 1006788 DATE: 11-7-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



11-7-07

Kristal D Metro, PE
Senior Engineer, Planning Dept.
Development and Building Services
C-17/D001U10

Dear Ms Metro:

I believe that I have answered all your concerns in regards to the TCL for Yearout Mechanical Warehouse. I do have written responses for you comments #4 and # 6

Comment #4 asks for a side walk easement to be shown. This will be shown on our updated re-plat for approval. - *Not on plat - will need paper easement*

Comment #6 asks for the operation of the gate. I was informed that the gate is always left closed. However, during business hours the gate is operated by a sensor for opening and exiting the site as needed. After business hours the gate is operated by a key card for opening and sensor for existing.

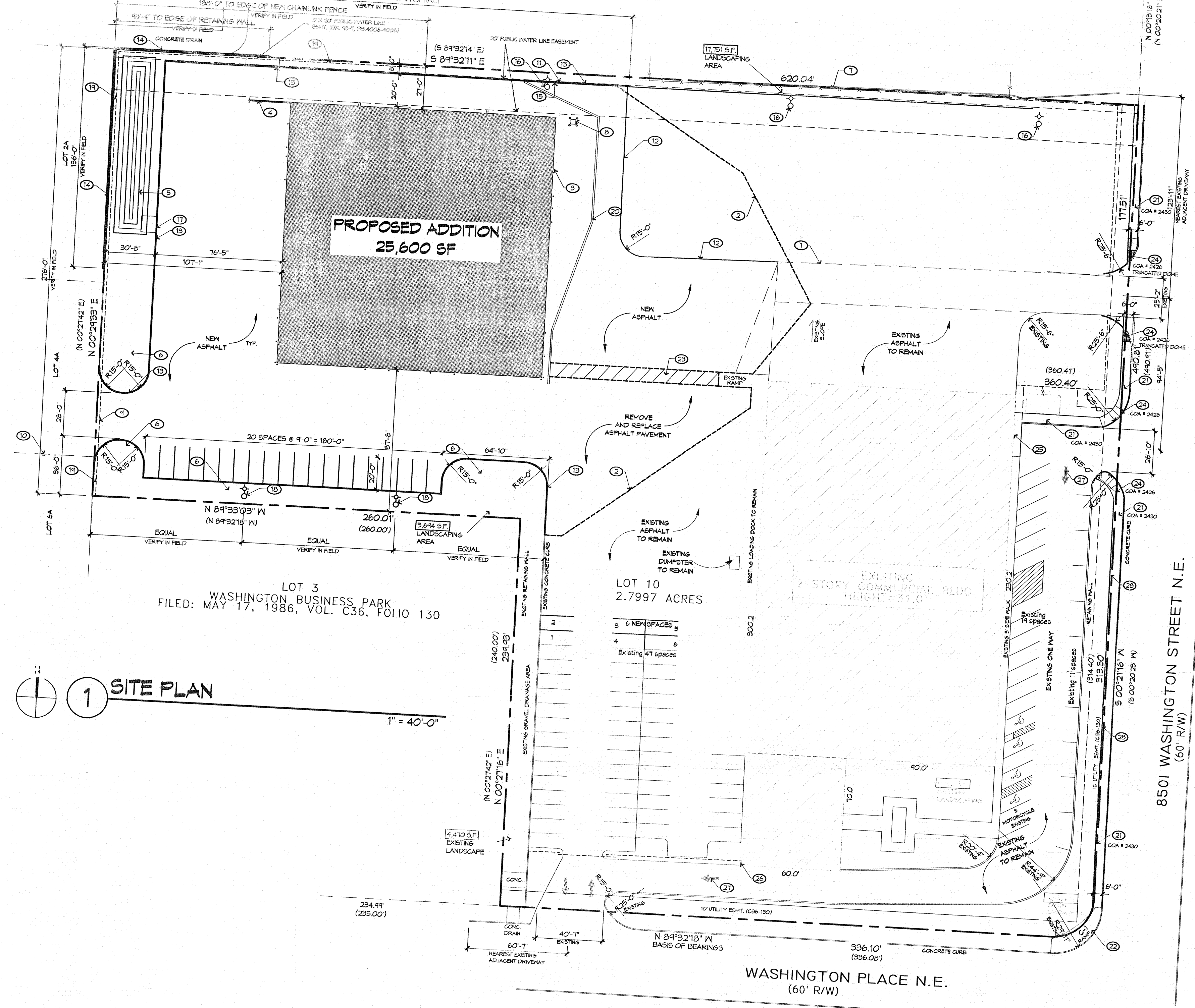
If you have questions please contact me at 761-9700

Dekker/Perich/Sabatini Ltd.

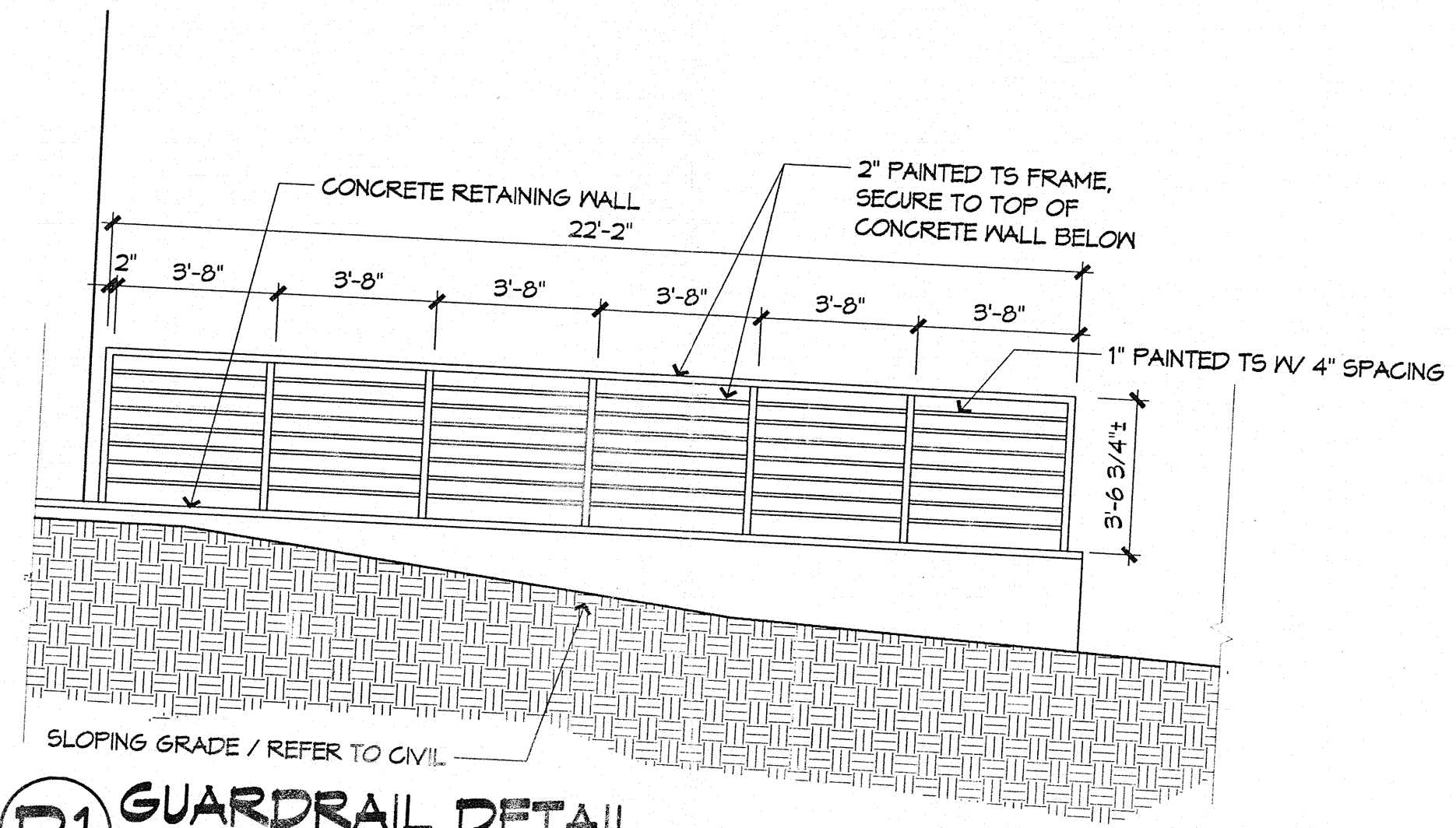


Eric Shreve
Architect

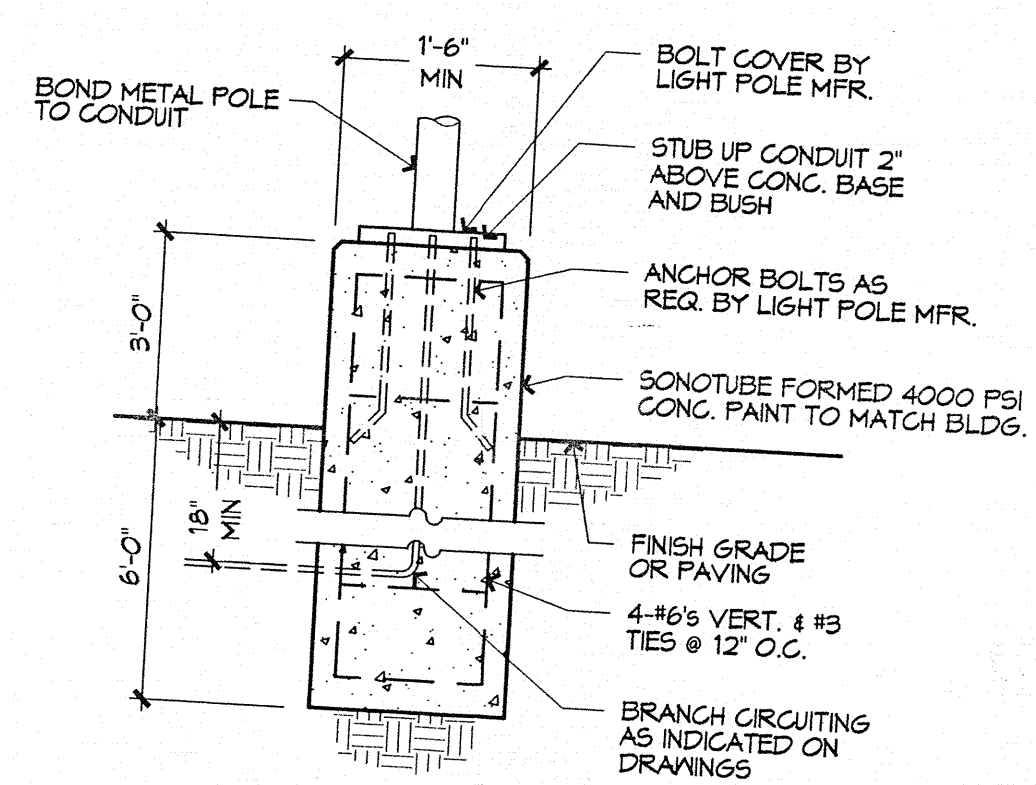
WASHINGTON BUSINESS PARK
FILED: MAY 17, 1986, VOL. C36, FOLIO 130



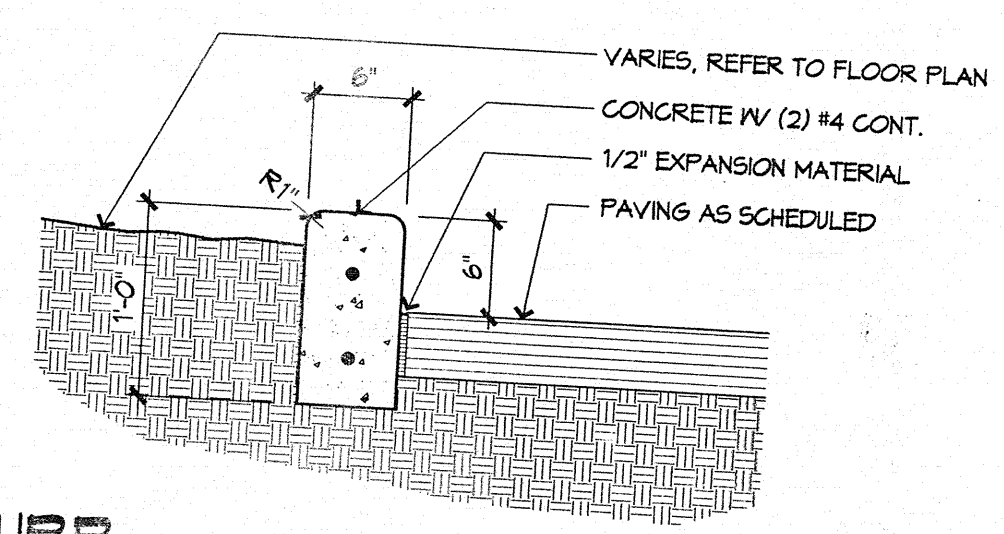
1 SITE PLAN



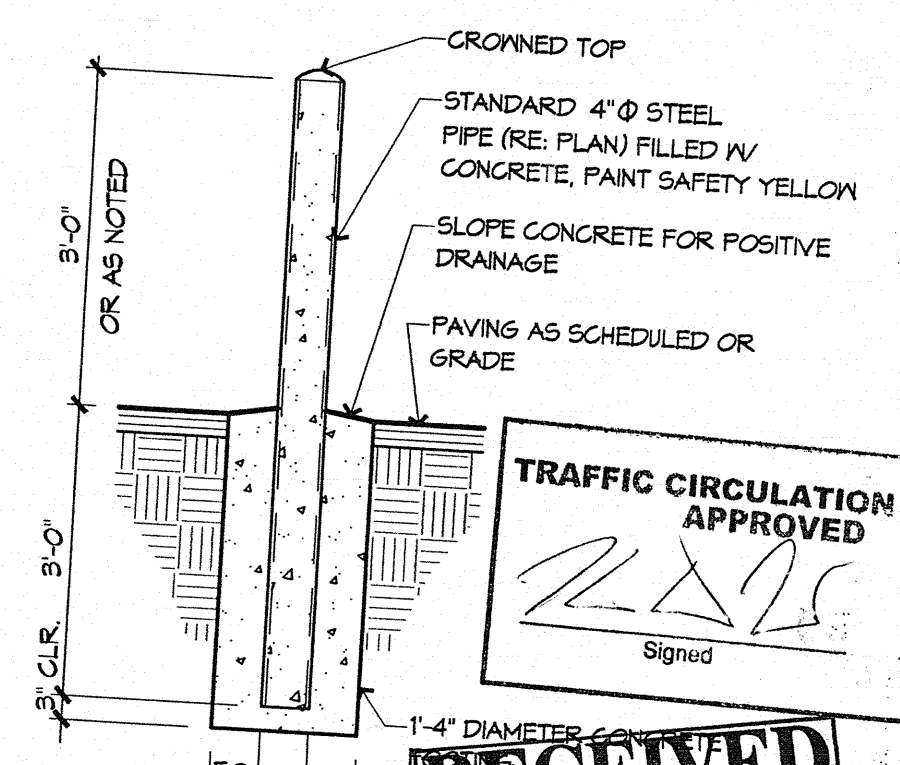
D1 GUARDRAIL DETAIL



D2 LIGHT POLE BASE DETAIL



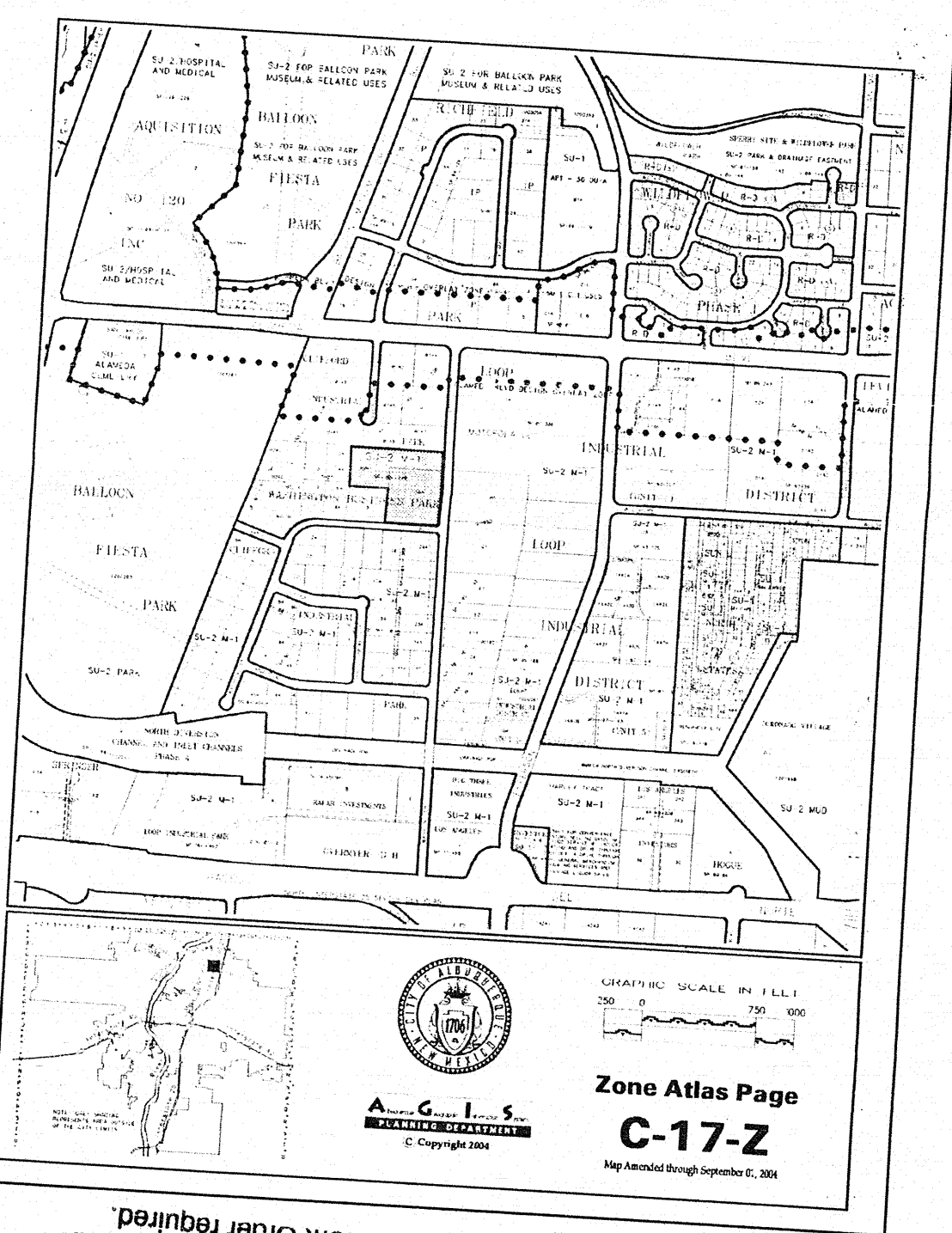
D3 CURB DETAIL



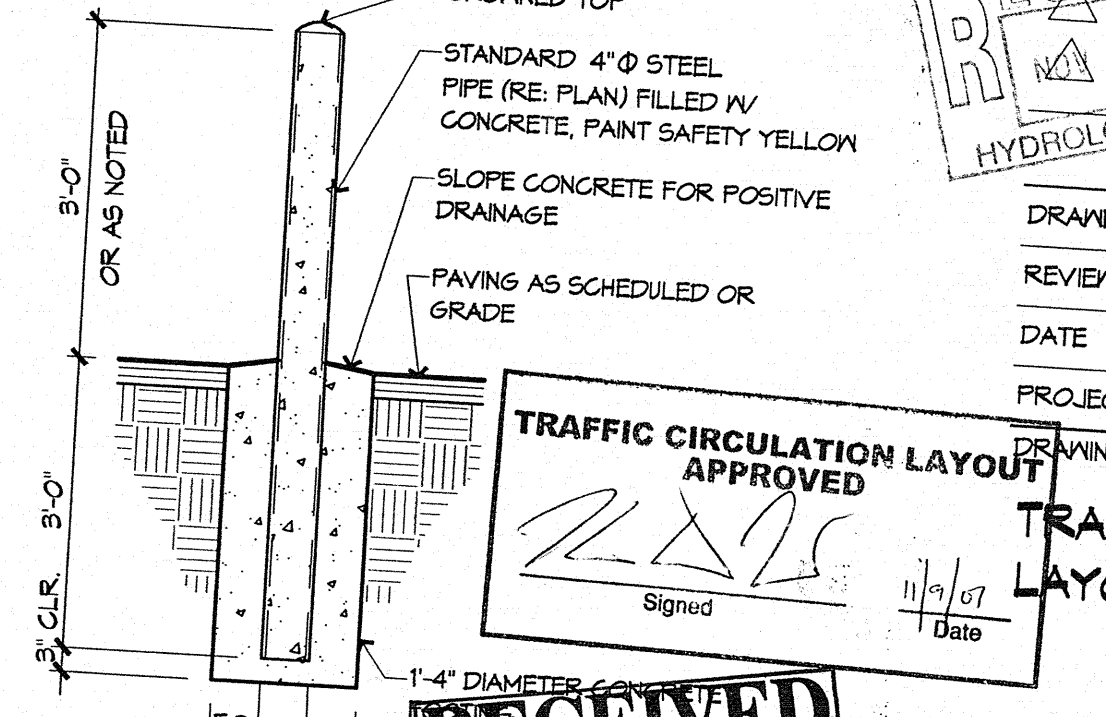
D4 BOLLARD DETAIL

GENERAL NOTES
CONTRACTOR TO COORDINATE ARCH, CIVIL, LANDSCAPE, PLUMBING & ELECTRICAL SITE PLANS.
REFER TO CIVIL FOR NEW GRADING PLAN.
REFER TO LANDSCAPE SHEET L1 FOR LOCATION OF ALL REED LANDSCAPE.
REFER TO PLUMBING SHEET P1 FOR LOCATION OF NEW LANDSCAPE.
REFER TO ELECTRICAL SHEET E1 FOR POWER TO NEW BUILDING AND PARKING LIGHTS.

- KEYED NOTES
1. MATCH TO EXISTING ASPHALT PAVEMENT EDGE.
 2. LIMITS OF GRADING.
 3. NEW 4" BOLLARD, TYPICAL OF (28) / RE. D4/A001
 4. RETAINING WALL FOR BUILT-UP SLOPE, WITH GUARDRAIL ON NORTHWEST CORNER / RE. D1/A001
 5. DETENTION POND FOR WATER RUN-OFF / REFER TO CIVIL
 6. NEW LANDSCAPING TO BE ADDED / REFER TO L1 FOR EXTENTS
 7. ADJACENT PROPERTY OWNER FENCING TO REMAIN.
 8. NEW WATER METER / REFER TO CIVIL
 9. LOCATION OF RELOCATED GATE
 10. EXISTING FIRE HYDRANT LOCATION
 11. NEW FIRE HYDRANT / REFER TO CIVIL
 12. TERMINATION LINE FOR ASPHALT PAVEMENT
 13. NEW 6" CONCRETE CURB / RE. D3/A001
 14. RETAINING WALL / REFER TO CIVIL
 15. 6" CONCRETE CURB PAINTED RED, "FIRE LANE" STENCILED PER FIRE DEPARTMENT STANDARDS.
 16. EXISTING PARKING LIGHTS TO REMAIN
 17. CONCRETE RUNDOWN
 18. LOCATION OF NEW AND RELOCATED PARKING LIGHT / RE. D2/A001
 19. NEW 8'-0" FENCE TO TIE IN WITH EXISTING FENCE ON NORTH FACADE, AND FOLLOW WITHIN RETAINING WALL BOUNDARIES
 20. NEW RIDGE DRAIN / REFER TO CIVIL
 21. NEW 6'-0" WIDE SIDEWALK AS PER COA DRAWING #2430
 22. EXISTING SIDEWALK 4'-6" RAMP TO REMAIN
 23. STRIPPED PEDESTRIAN PATH MAY BE BETWEEN BUILDINGS
 24. ENTRANCE CURB PER COA #2426 WITH TRUNCATED DOMES
 25. ONE WAY SIGNAGE - MOUNTED TO BUILDING
 26. DO NOT ENTER SIGNAGE - EXIST ONLY
 27. DIRECTIONAL ONE WAY ARROWS PAINTED ON ASPHALT SIDEWALK EASMENT AS SHOWN ON RE-FLAT
 - 28.
- TRACT 1
TRACT LETTERED "B" - 3-A-1" OF WASHINGTON BUSINESS PARK, ALBUQUERQUE, NEW MEXICO
AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF
THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON JULY 26TH, 1994 IN MAP BOOK
93C, FOLIO 204.
- TRACT 2
LOT 10-A PLAT OF TRACT B-3-A-1 AND LOT 10-A WASHINGTON BUSINESS PARK.
- PARKING REQUIREMENTS FOR ENTIRE SITE INCLUDING NEW + EXISTING BUILDING
CITY OF ALBUQUERQUE ZONING CODE
SECTION 14-16-3-1 OFF STREET PARKING REGULATIONS
WAREHOUSE: ONE SPACE PER 2000 SQUARE FEET. 54,314 / 2000 = 27
OFFICE: ONE SPACE PER 200 SQUARE FOOT. 14,471 / 200 = 72
REQUIRED: 99
PROVIDED: 103
- DESIGNATED DISABLED PARKING SPACES
51 - 100 MINIMUM DESIGNATED PARKING SPACES: 4 REQUIRED
4 PROVIDED
- MOTORCYCLE PARKING
51 - 100 REQUIRED PARKING SPACES 3 REQUIRED
3 PROVIDED



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



RECEIVED
MAR 27 2008
HYDROLOGY SECTION

Dekl
Peri
Saba
7601 Jefferson
Albuquerque
505 761-97
fax 761-42
dps@dpsdes
ARCHITECT

ENGINEER

PROJECT
Yearout Mechanical, Inc.
Warehouse
8501 Washington St. N.E.

REVISIONS
DRAWN BY
REVIEWED BY
DATE 10-
PROJECT NO.
DRAWING NAME
TRAFFIC CIRCULATION LAYOUT
SHEET NO.
A00
OF