

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

April 27, 2022

Jeremy Mechenbire  
Mechenbier Construction, Inc  
8500 Washington St. NE  
Albuquerque, NM 87113

**Re:           Wa h n ton . NE 8405 Washington Pl. NE**  
**Re e t o Ce t cate o Occ anc Request for certification of Occupancy**  
**T an o tat on De e o ent F na In ect on Transportation development final**  
Engineer's Stamp dated 4-21-22(C17-D001U12) inspection.  
Certification dated 4-21-22

Dear Mr. Mechenbire,

Based upon the information provided in your submittal received 04-22-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

Sincerely,

*Jeanne Wolfenbarger*

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx   via: email  
C:      CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 8405 Washington Building Permit #: 2021-13822 Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract B-2-C-1A, Washington Business Park  
City Address: 8405 Washington Pl. NE. Alb, NM 87113  
Applicant: Mechenbier Construction, Inc. Contact: Jeremy Mechenbier  
Address: 8500 Washington St. NE, Ste. A-5  
Phone#: 505-314-7700 Fax#: - E-mail: jeremy.mechenbier@mechenbier.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☒ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 4/21/22 By: Jeremy Mechenbier

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

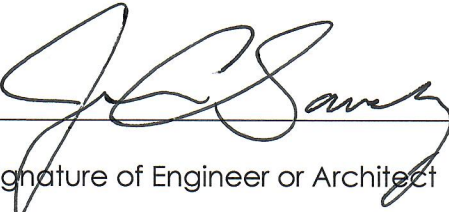
Jonathan C. Sanchez, Architect  
8609 Claremont Ave. N.E.  
Albuquerque, New Mexico 87112

**RE: 8405 WASHINGTON PLACE NE**

**TRAFFIC CERTIFICATION**

I, JONATHAN SANCHEZ NMRA 3921, OF THE FIRM JONATHAN SANCHEZ, ARCHITECT, HEREBY CERTIFY THAT THE PROJECT LOCATED AT **8405 WASHINGTON PLACE NE** IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2-2-2021 ALONG WITH PERMITTED MODIFICATIONS. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JONATHAN SANCHEZ OF THE FIRM JONATHAN SANCHEZ, ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-21-2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Signature of Engineer or Architect

**ENGINEER'S OR ARCHITECT'S STAMP**



DATE: 4-21-2022





**CITY OF ALBUQUERQUE**

PO Box 1293  
Albuquerque, New Mexico 87103

# Commercial Building Permit

Permit Number: \* BP-2021-13822

August 16, 2021

Job Number: 131323185-001

Page 3 of 3

**NOTE: Final inspections are required on all permitted work whether a Certificate of Occupancy is required or not.**

Certificate of Occupancy Required? Call (505) 924-3368

Shell Certificate of Completion Required?

YES

NO

Signature

☐
☐

YES

NO

Signature

☐
☐

**Approvals for Certificate of Occupancy (Inspector's signature and date required)**

**Zoning**

Date: 4-21-2022 (505) 924-3463

**Fire**

Date: 04/22/2022 (505) 924-3611

**Environmental Health - CHPD**

Date: \_\_\_\_\_ (505) 924-3623

**Plumbing**

Date: 4-11-22 (505) 924-3320

**Environmental Health - ESD**

Date: 4/26/2022 (505) 768-2633

**Mechanical**

Date: 4-12-22 (505) 924-3320

**Solid Waste**

Date: 04/01/2022 (505) 681-2766

**Electrical**

Date: 4/20/22 (505) 924-3320

**Transportation Development**

Letter Required

Date: \_\_\_\_\_ (505) 924-3982

**Boiler**

Date: \_\_\_\_\_ (505) 924-3325

**Hydrology**

Letter Required

Date: \_\_\_\_\_ (505) 924-3982

**Elevator**

Date: \_\_\_\_\_ (505) 924-3325

**Building Code**

Date: \_\_\_\_\_ (505) 924-3320

**Fire Suppression**

Date: \_\_\_\_\_ (505) 924-3320

**This permit will expire if an inspection is not requested within 6 months or an entire required inspection is not passed within any 6 month period. No refunds will be given after expiration.**

Building Safety  
Phone: (505) 924-3320



Keyed Notes: #

1. Landscaping
2. Bike rack, 3-bike capacity
3. USPS mailbox
4. 16'-0" flag pole with light
5. ADA van accessible parking sign
6. ADA van accessible parking space
7. Motorcycle parking sign
8. Motorcycle parking; provide 12" tall white letters "MC"
9. Precast concrete wheel stop
10. Pipe bollard, painted traffic yellow (6' @, 4'-6" high)
11. Pipe bollard, painted traffic yellow (6' @, 7'-0" high)
12. ADA compliant safety flooring detectable warning surface (2 ft. x 1 ft.)
13. Maximum slope at landing shall be 2%
14. 200' PNM easement; approved encroachment at northwest corner of building.
15. Roof membrane walkway pads (2'-6" wide)
16. Gate pin holes drilled into concrete slab for open and closed positions
17. 60 mil TPO
18. Roof crickets, slope 1/4" per foot
19. Wall pack light fixture, see electrical
20. 8" wide x 8" high canal
21. Fire arrest anchor
22. Telephone pedestal
23. Existing water meter
24. Existing transformer
25. 17' sanitary sewer, public waterline, common access and drainage easement
26. 1/2" expansion material
27. 40 foot clearance in front of dumpster
28. 18" @ 7/64" staggered centers, 30% open area metal screen.
29. 31/6" @, 1/4" staggered centers, 50% open area metal screen.
30. HSS 1 1/2" x 1" verticals and horizontals.
31. HSS 3" x 2" perimeter frame.
32. HSS 8" @ 8", cap top with 1/4" thick plate welded all around.
33. Concrete footing, 2-ft diameter x 3-ft deep.
34. Light pole foundation, see Site Electrical for fixture type.
35. Existing parking spaces on adjacent property.

Abbreviations:

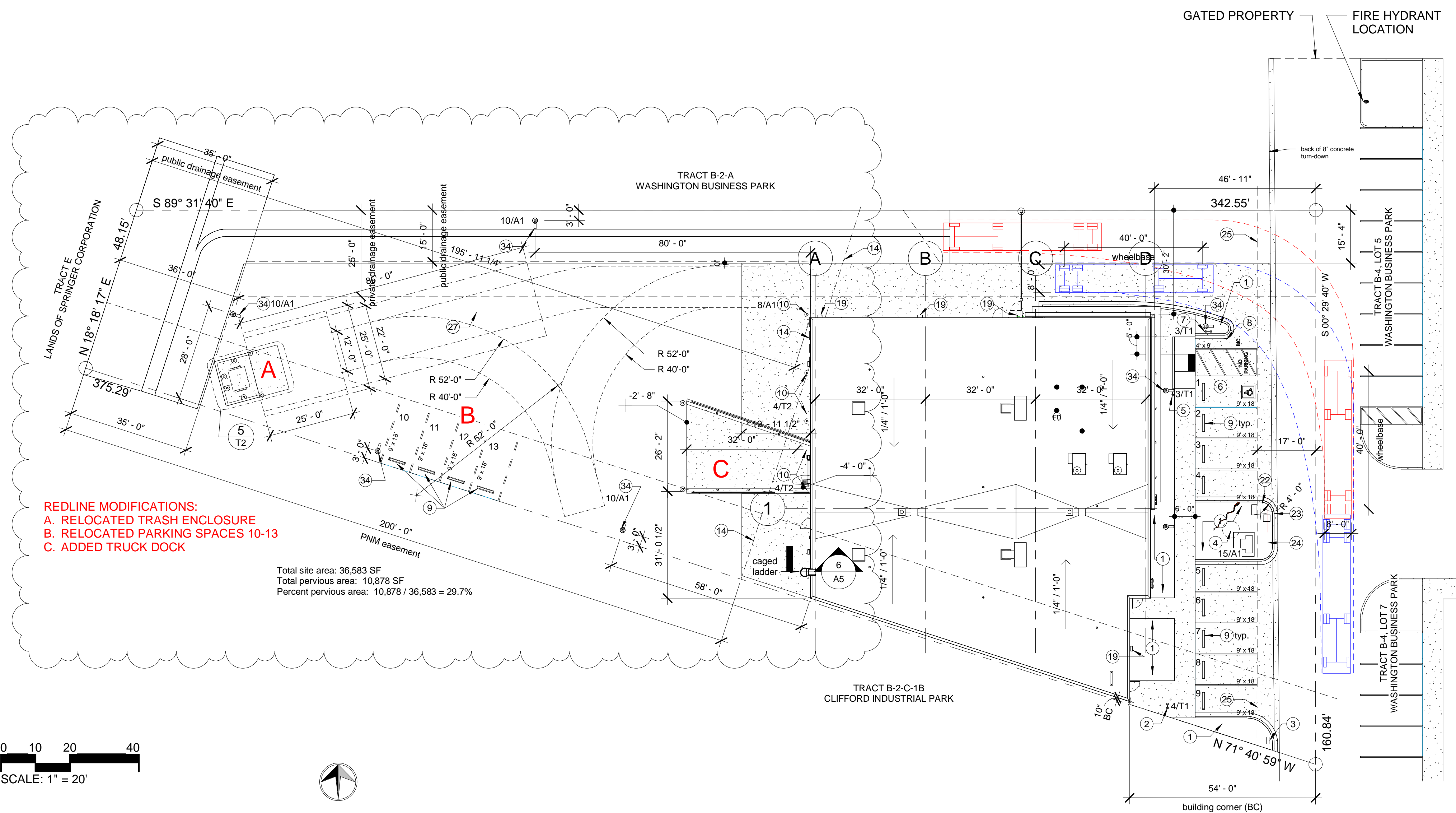
AL	Aluminum
AFF	Above finish floor
BC	Building corner
CL	Centerline
FRP	Fiberglass reinforced panels
HM	Hollow metal
NIC	Not in contract
STL	Steel
FV	Field verify

**ARCHITECT:**

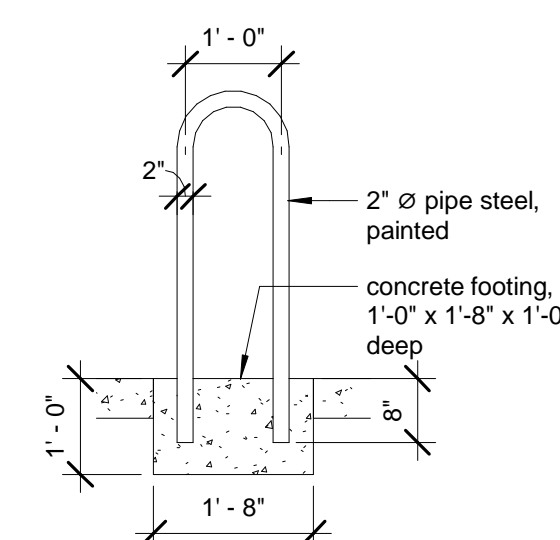
JONATHAN SANCHEZ, ARCHITECT  
8609 Claremont Ave NE  
Albuquerque, NM 87112  
Phone: (505) 440-0126



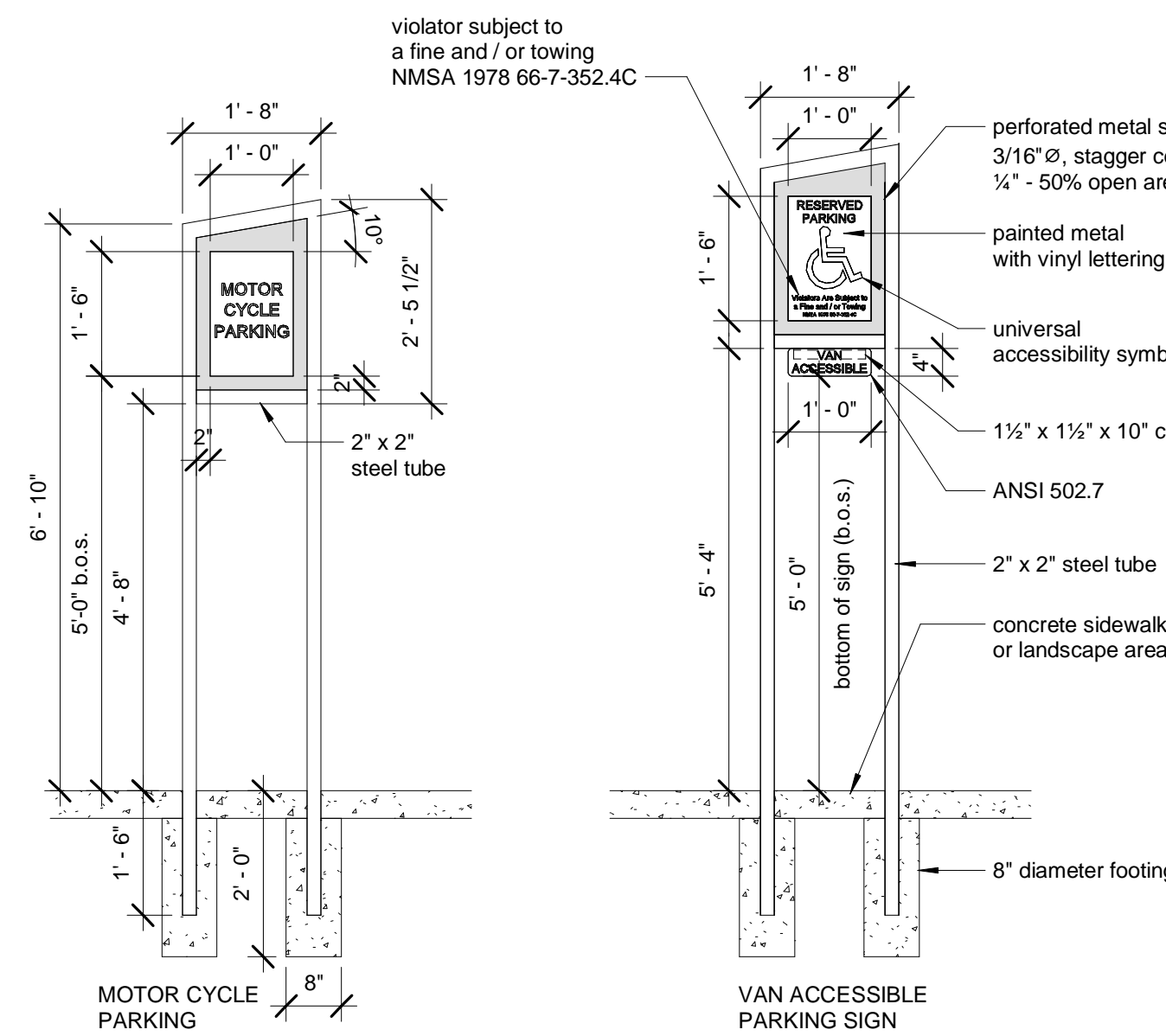
TRAFFIC 1



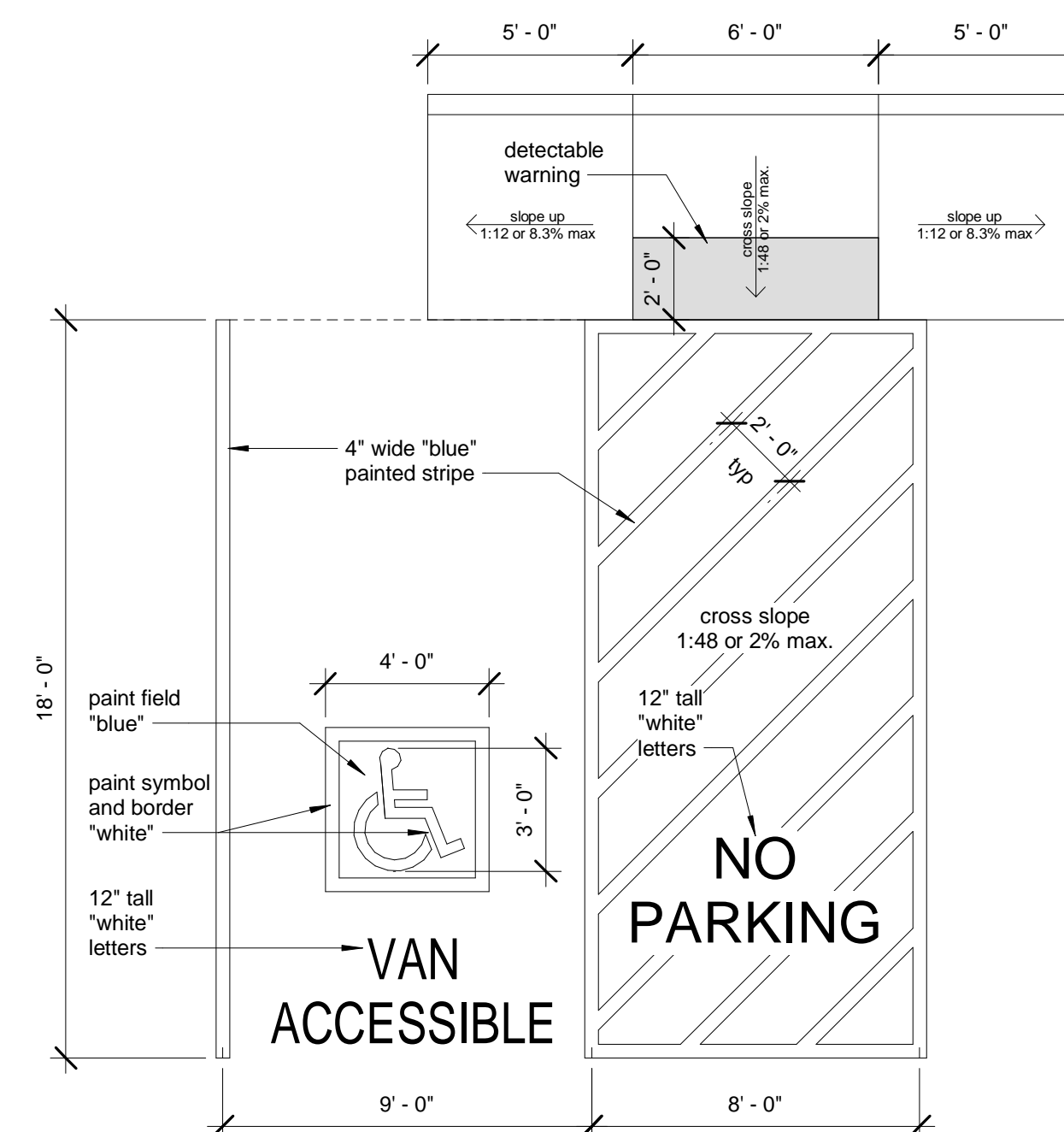
1 T1 - SITE PLAN - TRAFFIC  
1" = 20'-0"



④ T1 - Bike Rack  
1/2" = 1'-0"



③ T1 - Parking Signage  
1/2" = 1'-0"



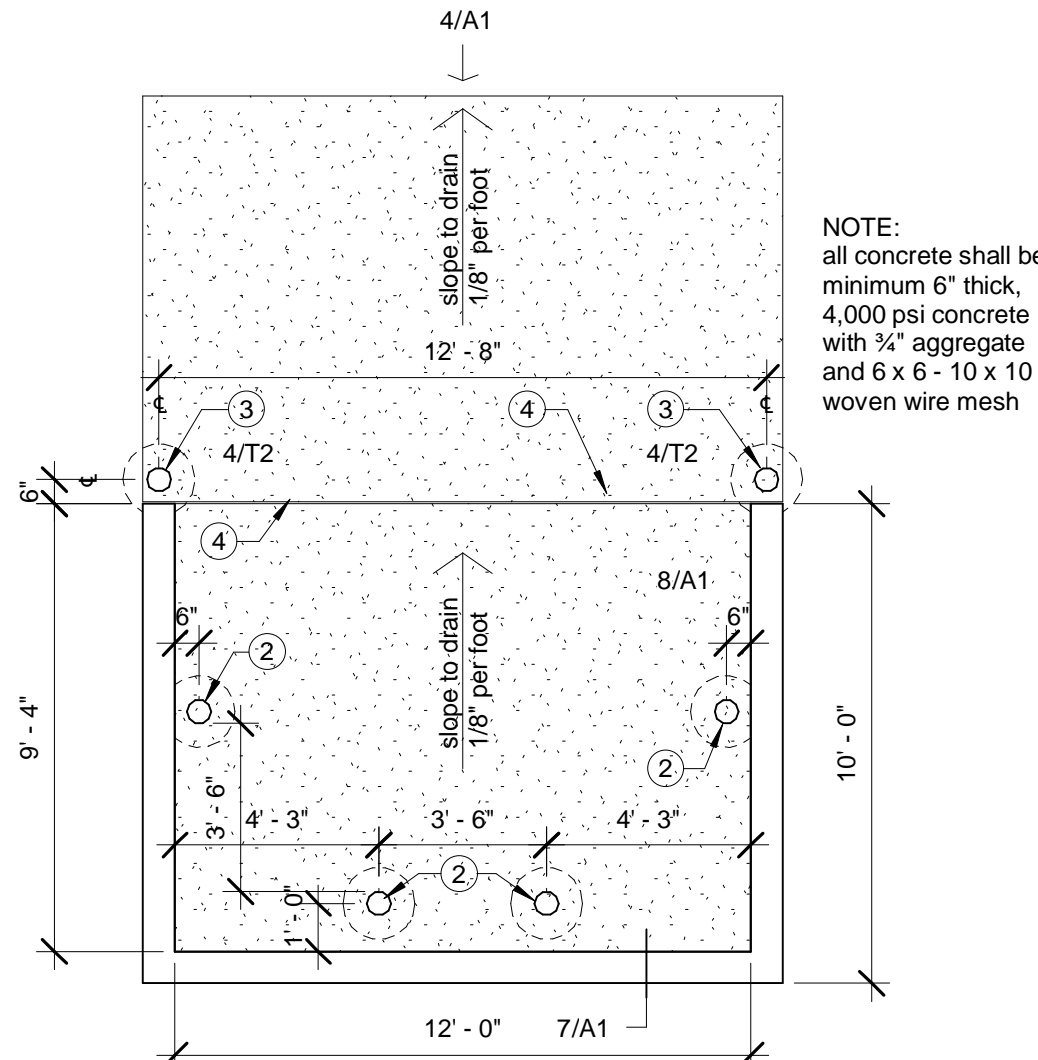
② T1 - Van Accessible Parking  
1/4" = 1'-0"



1. Landscaping
2. Pipe bollard, painted traffic yellow (6" Ø, 4'-6" high)
3. Pipe bollard, painted traffic yellow (6" Ø, 7'-0" high)
4. 1/2" expansion material
5. 40 foot clearance in front of dumpster
6. Existing parking spaces on adjacent property
7. Vehicular gate.
8. 40-foot clearance in front of dumpster.



**REDLINE MODIFICATIONS:**  
**A. RELOCATED TRASH ENCLOSURE**  
**B. RELOCATED PARKING SPACES 10-13**  
**C. ADDED TRUCK DOCK**



6"  $\varnothing$  steel schedule 40 welded cap

6"  $\varnothing$  concrete filled, steel bollard paint traffic yellow

(1) #5 centered in pipe

1/2" expansion joint

Concrete Footing

12"  $\varnothing$  #4 steel ring

height as indicated

10"

2' 6"

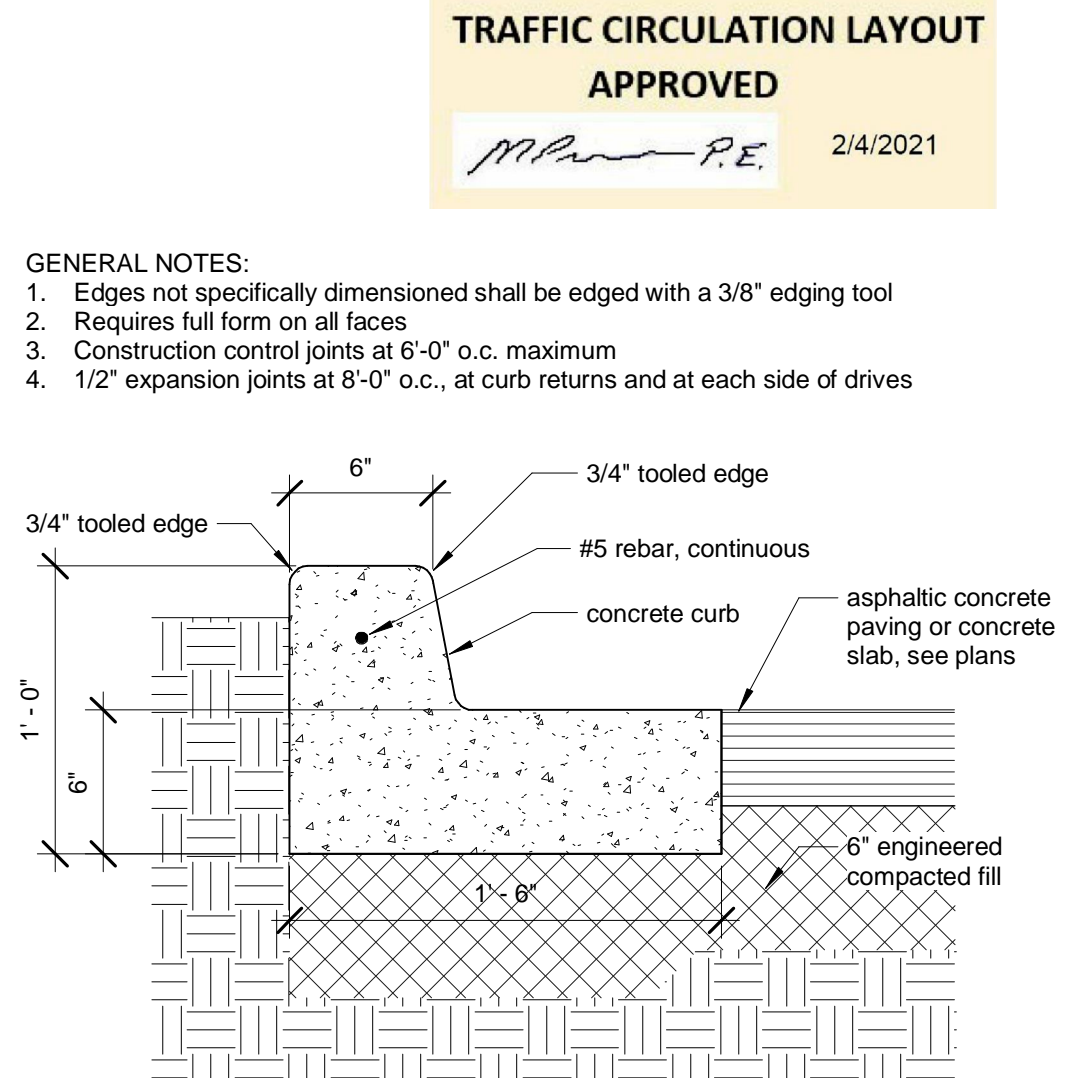
10"

10"

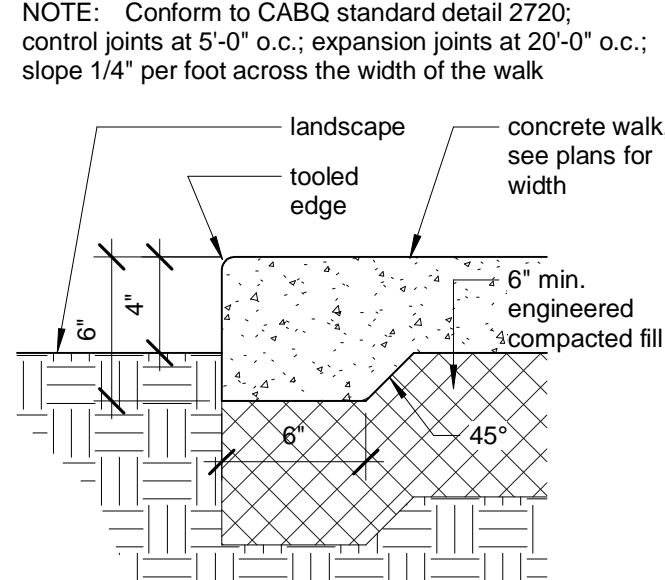
6"

5"

④ T2 - Pipe Bollard  
3/4" = 1'-0"



③ T2 - Concrete Curb & Gutter  
1 1/2" = 1'-0"



② T2 - Concrete Sidewalk  
1 1/2" = 1'-0"

**ARCHITECT:**  
JONATHAN SANCHEZ, ARCHITECT  
8609 Claremont Ave NE  
Albuquerque, NM 87112  
Phone: (505) 440-0126

