

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 1, 2000

Dennis A. Lorenz, P.E.
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1, Ste. 210
Albuquerque, NM 87110

RE: GRADING & DRAINAGE PLAN FOR TRACT B-2-A-2 CLIFFORD INDUSTRIAL
PARK (C-17/D01U2) ENGINEER'S STAMP DATED JULY 20, 2000,
SUBMITTED FOR BUILDING PERMIT APPROVAL

Dear Mr. Lorenz,

Based upon the information provided in your July 20, 2000, submittal, the project referred to above is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓ file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: TRACT B-2-A-2 ZONE ATLAS/DRNG. FILE #: C-17 / D00102
 DRB #: — EPC #: — WORK ORDER #: —
 LEGAL DESCRIPTION: TRACT B-2-A-2 WASHINGTON BUSINESS PARK
 CITY ADDRESS: WASHINGTON PL NE

ENGINEERING FIRM: Brasher & Lorenz, Inc. CONTACT: Dennis A. Lorenz
2201 San Pedro NE Bldg.1 Suite 210
 ADDRESS: Albuquerque, New Mexico 87110 PHONE: 888-6088
 OWNER: BEATH CONSTRUCTION CONTACT: JIM SNEAD
 ADDRESS: 8425 WASHINGTON PL PHONE: 823-0838
 ARCHITECT: NA CONTACT: —
 ADDRESS: — PHONE: —
 SURVEYOR: ENGINEER CONTACT: —
 ADDRESS: — PHONE: —
 CONTRACTOR: OWNER CONTACT: —
 ADDRESS: — PHONE: —

TYPE OF SUBMITTAL:

— DRAINAGE REPORT
X DRAINAGE PLAN
— CONCEPTUAL GRADING & DRAINAGE PLAN
— GRADING PLAN
— EROSION CONTROL PLAN
— ENGINEER'S CERTIFICATION
— OTHER —

PRE-DESIGN MEETING:

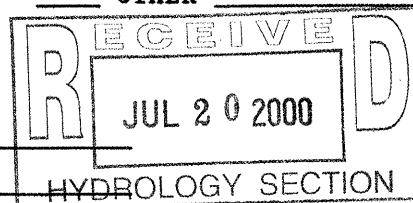
— YES
X NO
— COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

— SKETCH PLAT APPROVAL
— PRELIMINARY PLAT APPROVAL
— S. DEV. PLAN FOR SUB'D. APPROVAL
— S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
— SECTOR PLAN APPROVAL
— FINAL PLAT APPROVAL
— FOUNDATION PERMIT APPROVAL
X BUILDING PERMIT APPROVAL
— CERTIFICATE OF OCCUPANCY APPROVAL
— GRADING PERMIT APPROVAL
— PAVING PERMIT APPROVAL
— S.A.D. DRAINAGE REPORT
— DRAINAGE REQUIREMENTS
— OTHER — (SPECIFY)

DATE SUBMITTED:

7.19.00

BY: Dennis A. Lorenz

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling runoff from the project site. The property is to be developed as an office warehouse facility with associated paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS:

The project site is approximately 0.879 acres in size and is located in the Washington Business Park. The site is bounded by a drainage channel to the south, a developed commercial lots to the north and east, and the Balloon Park to the west. Presently the site serves as a storage yard for Beaty Construction. Site topography slopes from east to west at approximately 2.5%. No off-site flows impact the site. Off-site flow from the east is intercepted by private road improvements, and conveyed south to an improved channel system and into the AMAFCA North Diversion Channel.

On-site, all flows drains as sheet flow to the west. As shown by the attached Floodway Panel, this site does not lie within a designated flood hazard zone.

PROPOSED CONDITIONS:

As shown by the plan, the project consists of the development of the property into a office warehouse. The plan shows the contours and elevations required to properly grade and construct the required improvements. The direction of drainage flows are given by flow arrows and the project hydrology is tabulated for both existing and developed conditions.

All drainage flows will be managed on-site and discharge into the existing drainage channels. The site will be divided into two basins (Basin 'A' and Basin 'B'). Basin 'A' will drain to the west to the existing drainage channels. Basin 'B' will drain east to the existing drainage channel located along the south property line.

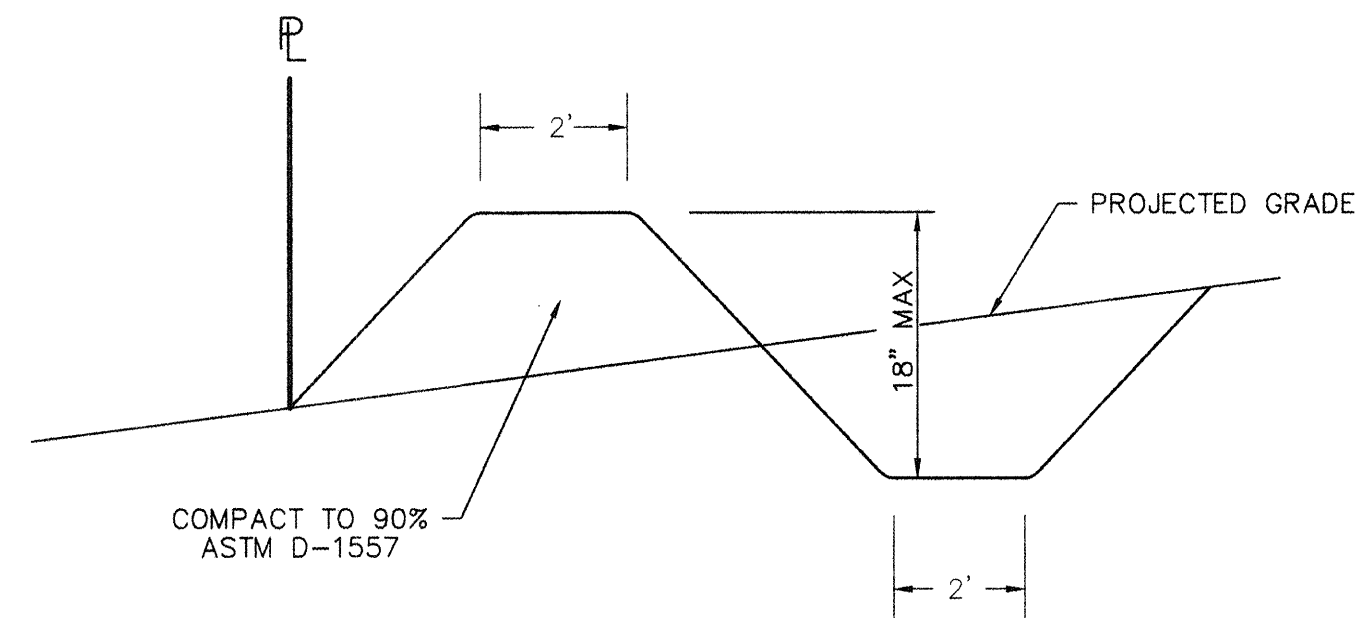
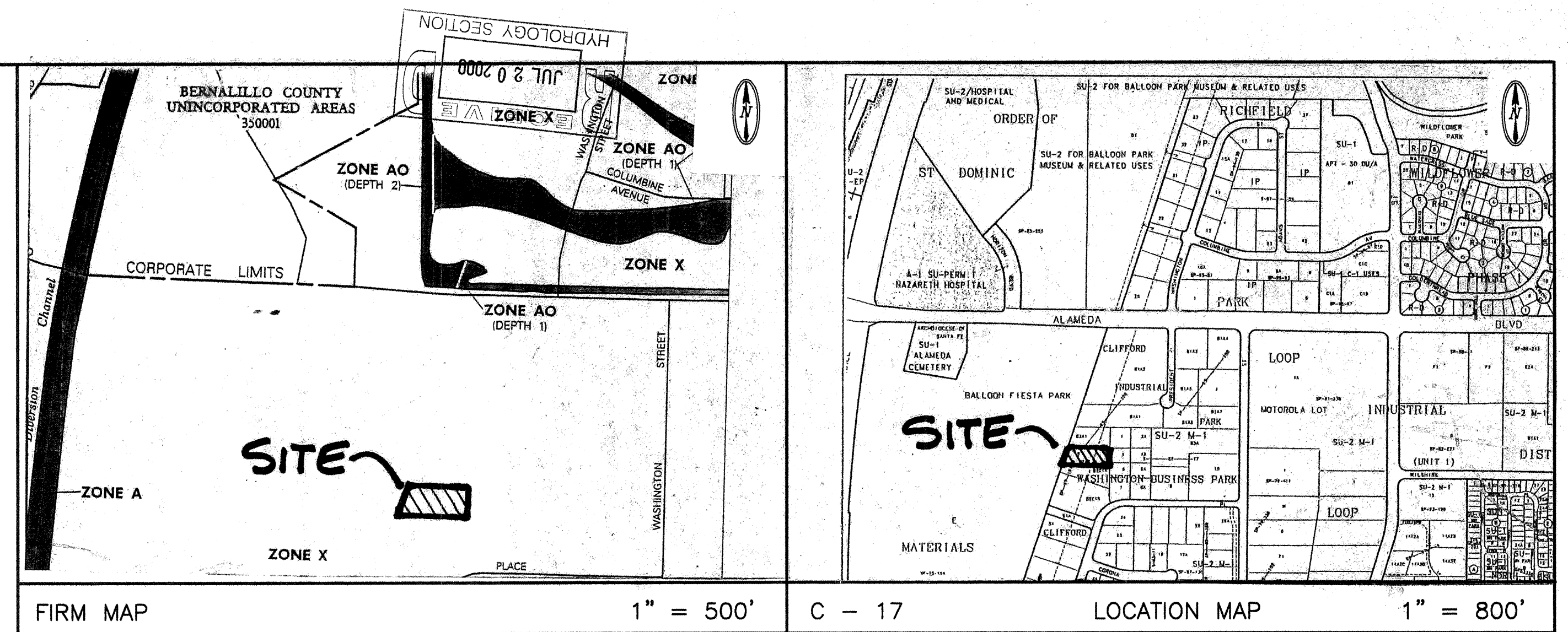
EROSION CONTROL:

Temporary erosion control will be required along the project boundaries during construction to prevent the discharge of sediment into the public street system and adjoining private property. The contractor should construct a ditch-dike system (see detail 'A') or erect a silt fence along the west and south property lines to effectively retain all runoff generated by the project. Care should be taken to provide ponding areas at the site perimeter, away from any buildings.

CALCULATIONS:

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Development Process Manual," dated July 1997.

GRADING AND DRAINAGE PLAN



LEGEND

- 6001 — EXISTING CONTOUR ELEVATION
- 02.5 X — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- — — — — PROPERTY LINE
- 01.5 • — PROPOSED SPOT ELEVATION
- — — — — DIRECTION OF FLOW
- — — — — DRAINAGE SWALE
- — — — — DRAINAGE BASIN DIVIDE
- — — — — RETAINING WALL

PROPERTY ADDRESS

Washington Place NE

LEGAL DESCRIPTION

Tract B-2-A-2
Clifford Industrial Park

PROJECT BENCHMARK

COA BM# NDC 7-182
Elevation = 5064.40

SURVEY

Topographic and Field Measurement by
Brasher & Lorenz, Inc.
Dated April, 2000.

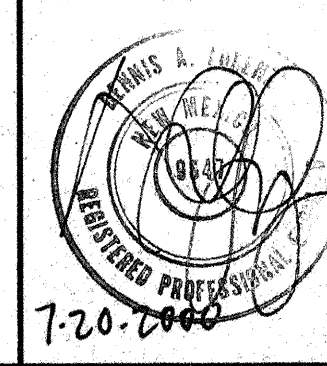
HYDROLOGY - HYMO

Precipitation Zone 2		P360 = 2.35 in			
Basin	Basin	Land Treatment	(acre)	Ew	V100 Q100
		A	B	C	D
Existing Conditions					
A	0.757	0.757	0.000	0.000	0.53 1.18 0.03
B	0.122	0.122	0.000	0.000	0.53 0.19 0.01
Developed Conditions					
A	0.757	0.000	0.480	0.270	1.49 2.81 0.09
B	0.122	0.000	0.000	0.122	2.12 0.57 0.02

KEYED NOTES

1. EXISTING CONCRETE MOUNTABLE CURB AND GUTTER TO REMAIN.
2. EXISTING ASPHALT TO REMAIN.
3. EXISTING ASPHALT CHANNEL WITH CONCRETE VALLEY GUTTER TO REMAIN.
4. NEW 6" CONCRETE HEADER CURB.
5. NEW 6" CONCRETE SIDEWALK.
6. NEW CONCRETE HANDICAP RAMP.
7. NEW ASPHALT PAVING.
8. NEW SECURITY GATE.
9. UNPAVED CONSTRUCTION YARD.
10. EXISTING CHAIN LINK FENCE TO REMAIN.
11. NEW CONCRETE RETAINING WALL.
12. NEW LANDSCAPING.

TRACT B-2-A-2 CLIFFORD INDUSTRIAL PARK GRADING AND DRAINAGE PLAN



BLI BRASHER & LORENZ, INC.
Consulting Engineers
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: DATE: JULY 2000
CHECKED BY: SHEET 1 OF 1
FILE: 5896&D.DWG

