



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 20, 1993

Mark Goodwin
D. Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: AS-BUILT DRAINAGE PLAN FOR SUNBELT MANUFACTURING (C17-D1U6)
AS-BUILT STATEMENT DATED 9/1/93.

Dear Mr. Goodwin:

Based on the information provided on your September 2, 1993 submittal,
as-built information for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD/7995

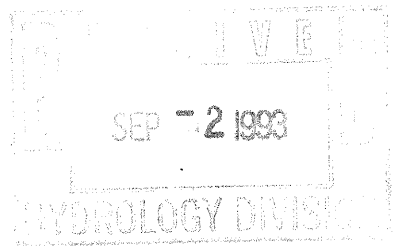
xc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT

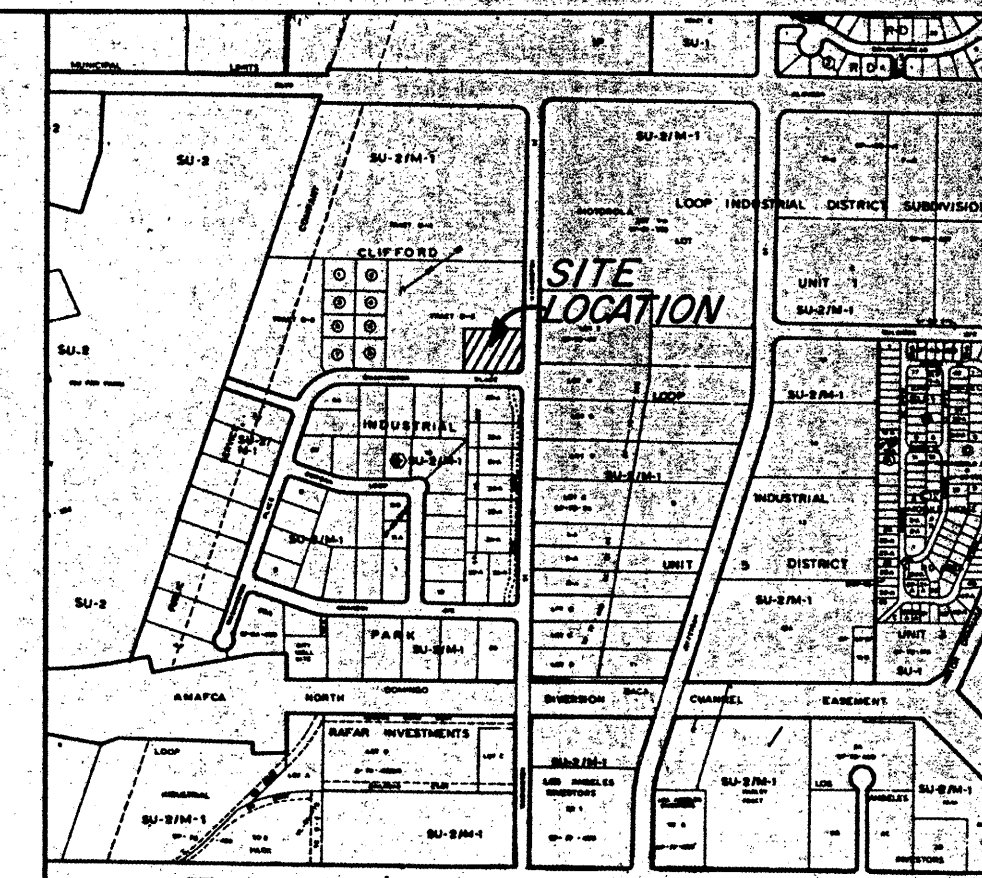
PROJECT TITLE: Sunbelt Mfg. ZONE ATLAS/DRNG. FILE #: C17-D1U6
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: WASHINGTON BUSINESS PARK of Clifford Ind. PK lot 10
 CITY ADDRESS: 8501 WASHINGTON NE
 ENGINEERING FIRM: Goodwin CONTACT: _____
 ADDRESS: _____ PHONE: _____
 OWNER: Sunbelt-OMNI CONTACT: _____
 ADDRESS: 8501 WASHINGTON PHONE: _____
 ARCHITECT: GORDON HALL CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:
 DRAINAGE REPORT
 DRAINAGE PLAN
 CONCEPTUAL GRADING & DRAINAGE PLAN
 GRADING PLAN
 EROSION CONTROL PLAN
 ENGINEER'S CERTIFICATION
 OTHER **AS-BUILT**

CHECK TYPE OF APPROVAL SOUGHT:
 SKETCH PLAT APPROVAL
 PRELIMINARY PLAT APPROVAL
 S. DEV. PLAN FOR SUB'D. APPROVAL
 S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 SECTOR PLAN APPROVAL
 FINAL PLAT APPROVAL
 FOUNDATION PERMIT APPROVAL
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY APPROVAL
 GRADING PERMIT APPROVAL
 PAVING PERMIT APPROVAL
 S.A.D. DRAINAGE REPORT
 DRAINAGE REQUIREMENTS
 OTHER _____ (SPECIFY)



DATE SUBMITTED: Sept. 2, 1993
 BY: Terry Regg



VICINITY MAP C-17-Z

LEGAL DESCRIPTION

WASHINGTON BUSINESS PARK
OF CLIFFORD INDUSTRIAL PARK
LOT 10

BENCHMARK

A.C.S. BRASS CAP No. 8-C17 IS LOCATED 7.5 MILES
NORTHEAST OF DOWNTOWN, AND 0.3 MILE NORTH
OF THE INTERSECTION OF LOS ANGELES BLVD.
AND WASHINGTON STREET N.W.
ELEVATION 5111.029 M.S.L.

T.B.M.

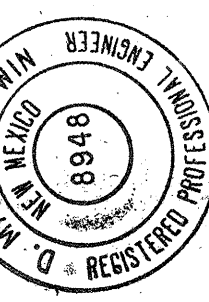
TOP OF CONCRETE CURB @ W.-NW.
CURB RETURN @ INTERSECTION OF
WASHINGTON STREET & WASHINGTON
PLACE. ELEVATION = 5109.14

GENERAL NOTES

1. STRIPE NEW PARKING SPACES WITH TRAFFIC-YELLOW PAINT. PROVIDE HANDICAPPED SYMBOL FOR HANDICAPPED SPACES.
2. TOPOGRAPHIC SURVEY PERFORMED BY DAVID C. CLAUSEN
3. ALL ELEVATIONS ARE M.S.L. (Mean Sea Level)
4. ADD 5100 TO ALL SPOT ELEVATIONS.
5. CONTOUR INTERVAL = 1'
6. SITE IS NOT LOCATED IN A FLOOD PLAN.
7. NO OFF-SITE FLOWS ENTER THIS SITE.
8. CONTRACTOR IS TO CONSTRUCT TEMPORARY EARTHEN BERM ALONG NORTH & WEST PROPERTY LINE FOR EROSION AND SEDIMENTATION CONTROL. BERM IS TO BE 2' HIGH.

LEGEND

EXISTING CONTOURS	5100
PROPOSED CONTOURS	101
DIRECTIONAL FLOWLINE	~>
ASPHALT PAVING	[Hatched Box]
PROPOSED SPOT ELEVATION	TC FL
100yr. POND WATER SURFACE LIMITS	[Dotted Line]



THIS AS-BUILT WAS MADE FROM VISUAL OBSERVATION PERFORMED BY MARK GOODWIN, P.E. ON SEPTEMBER 1, 1988, AND REFLECTS THE AS-BUILT CONDITIONS TO THE BEST OF HIS KNOWLEDGE.

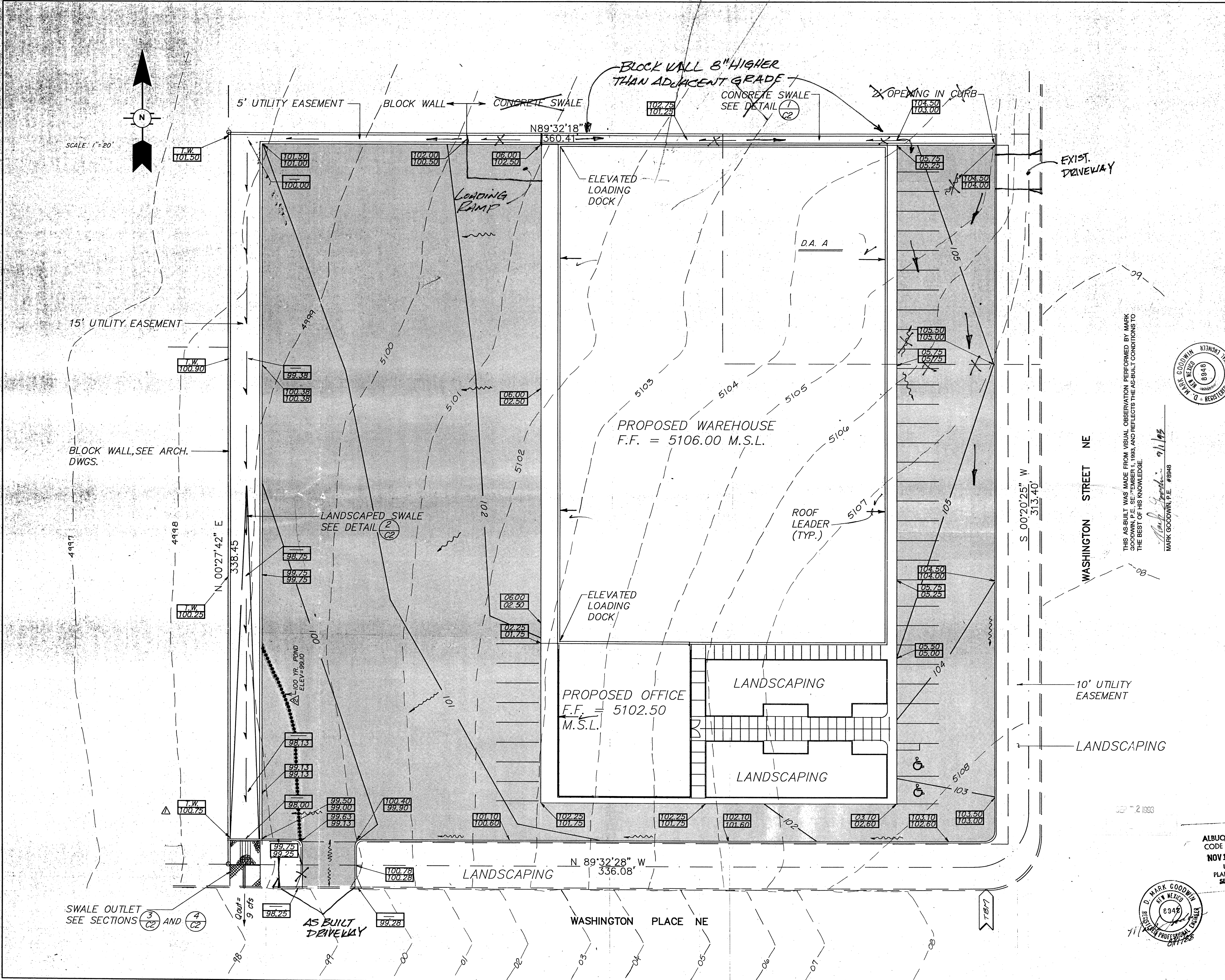
Mark Goodwin, P.E. 9/1/88
MARK GOODWIN, P.E. #8348

ALBUQUERQUE CODE A	REVISED 100 YR. POND WATER SURFACE LIMITS	8-11-88
NOV 16 1988	CHANGE ELEV. & ADD TO T.B.M.	8-5-88
U.B.C. PLAN CHECK SECTION	DESCRIPTION	DATE
	REVISIONS	

GRADING & DRAINAGE PLAN
SUNBELT MANUFACTURING

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 21307
ALBUQUERQUE, NEW MEXICO 87154
(505) 265-0905

Designed: DMG Drawn: MEC Checked: DMG Sheet C1 of 2
Scale: 1"=20' Date: 7/88



PROJECT Sunbelt
 LOCATION Drainage Area A
 ANALYSIS POINT # _____
 (DR. AREA) A = 0.34 ACRES
 Tc 10 MIN
 POINT RAINFALL 2.2 IN. FROM PLATE 22.2 D-1
 CN = 0.86 FROM PLATES 22.2 C-2, 22.2 C-3
 RUNOFF VOLUME R = 1.1 IN. FROM PLATE 22.2 C-4
 COMPUTED Tp = 10 MIN. Tp = Tc (Rounded to even minute)
 qp = $\frac{45.4A}{Tp} = \frac{45.4 \times 0.34}{10} = 1.5$ CFS./INCH OF RUNOFF
 (R x qp) = Qpeak = 1.7 CFS
 t(COLUMN) = (t/Tp) t = Tp(t/Tp)
 y = $\frac{Q}{Qpeak}$ Q = y(Qpeak)

	(t/Tp)	t (min.)	y	Q (cfs)
1	0	0	0	0
2	.1	.03		
3	.2	.10		
4	.3	.190		
5	.4	.310		
6	.5	.470		
7	.6	.660		
8	.7	.820		
9	.8	.930		
10	.9	.990		
11	1.0	1.00		
12	1.1	.990		
13	1.2	.930		
14	1.3	.860		
15	1.4	.780		
16	1.5	.680		
17	1.6	.560		
18	1.7	.430		
19	1.8	.390		
20	1.9	.330		
21	2.0	.280		
22	2.2	.207		
23	2.4	.147		
24	2.6	.107		
25	2.8	.077		
26	3.0	.055		
27	3.2	.040		
28	3.4	.029		
29	3.6	.021		
30	3.8	.015		
31	4.0	.011		
32	4.5	.005		
33	5.0	.000		

PROJECT Sunbelt Manufacturing
 LOCATION S.W. Corner
 ANALYSIS POINT # _____
 (DR. AREA) A = 2.80 ACRES
 Tc 10 MIN
 POINT RAINFALL 2.2 IN. FROM PLATE 22.2 D-1
 CN = 0.86 FROM PLATES 22.2 C-2, 22.2 C-3
 RUNOFF VOLUME R = 1.1 IN. FROM PLATE 22.2 C-4
 COMPUTED Tp = 10 MIN. Tp = Tc (Rounded to even minute)
 qp = $\frac{45.4A}{Tp} = \frac{45.4 \times 2.80}{10} = 12.71$ CFS./INCH OF RUNOFF
 (R x qp) = Qpeak = 14 CFS
 t(COLUMN) = (t/Tp) t = Tp(t/Tp)
 y = $\frac{Q}{Qpeak}$ Q = y(Qpeak)

	(t/Tp)	t (min.)	y	Q (cfs)
1	0	0	0	0
2	.1	.03		
3	.2	.10		
4	.3	.190		
5	.4	.310		
6	.5	.470		
7	.6	.660		
8	.7	.820		
9	.8	.930		
10	.9	.990		
11	1.0	1.00		
12	1.1	.990		
13	1.2	.930		
14	1.3	.860		
15	1.4	.780		
16	1.5	.680		
17	1.6	.560		
18	1.7	.430		
19	1.8	.390		
20	1.9	.330		
21	2.0	.280		
22	2.2	.207		
23	2.4	.147		
24	2.6	.107		
25	2.8	.077		
26	3.0	.055		
27	3.2	.040		
28	3.4	.029		
29	3.6	.021		
30	3.8	.015		
31	4.0	.011		
32	4.5	.005		
33	5.0	.000		

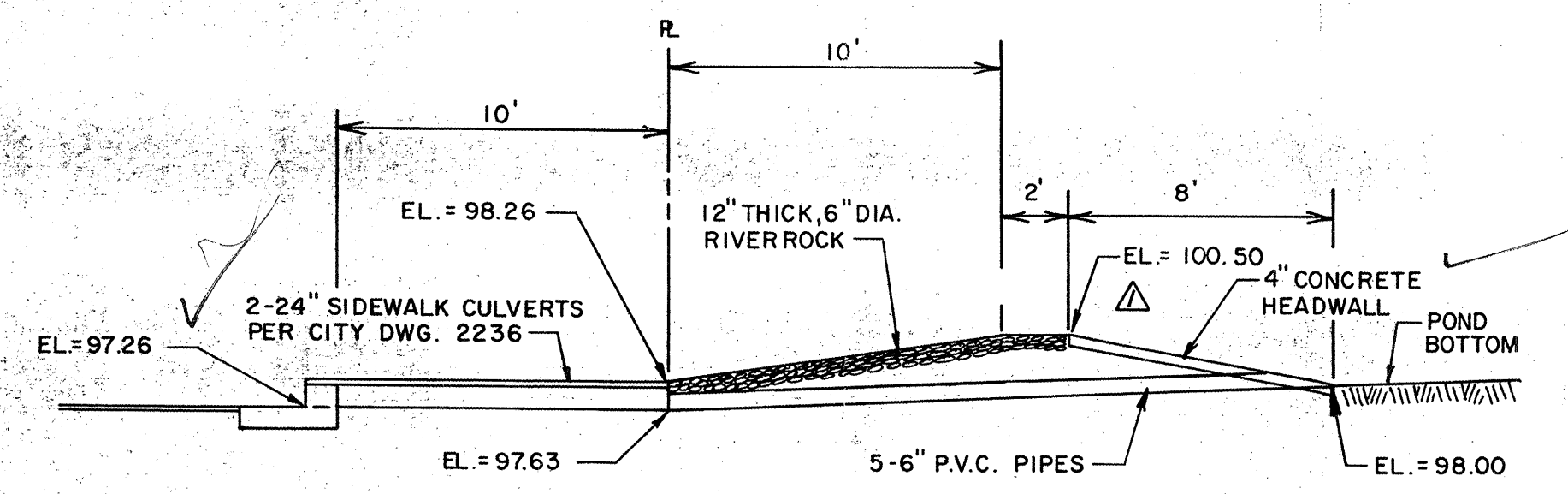
Allowable Discharge = 3.2 cfs/ft
 = 9 cfs < 14 cfs

Ponding Volume Required

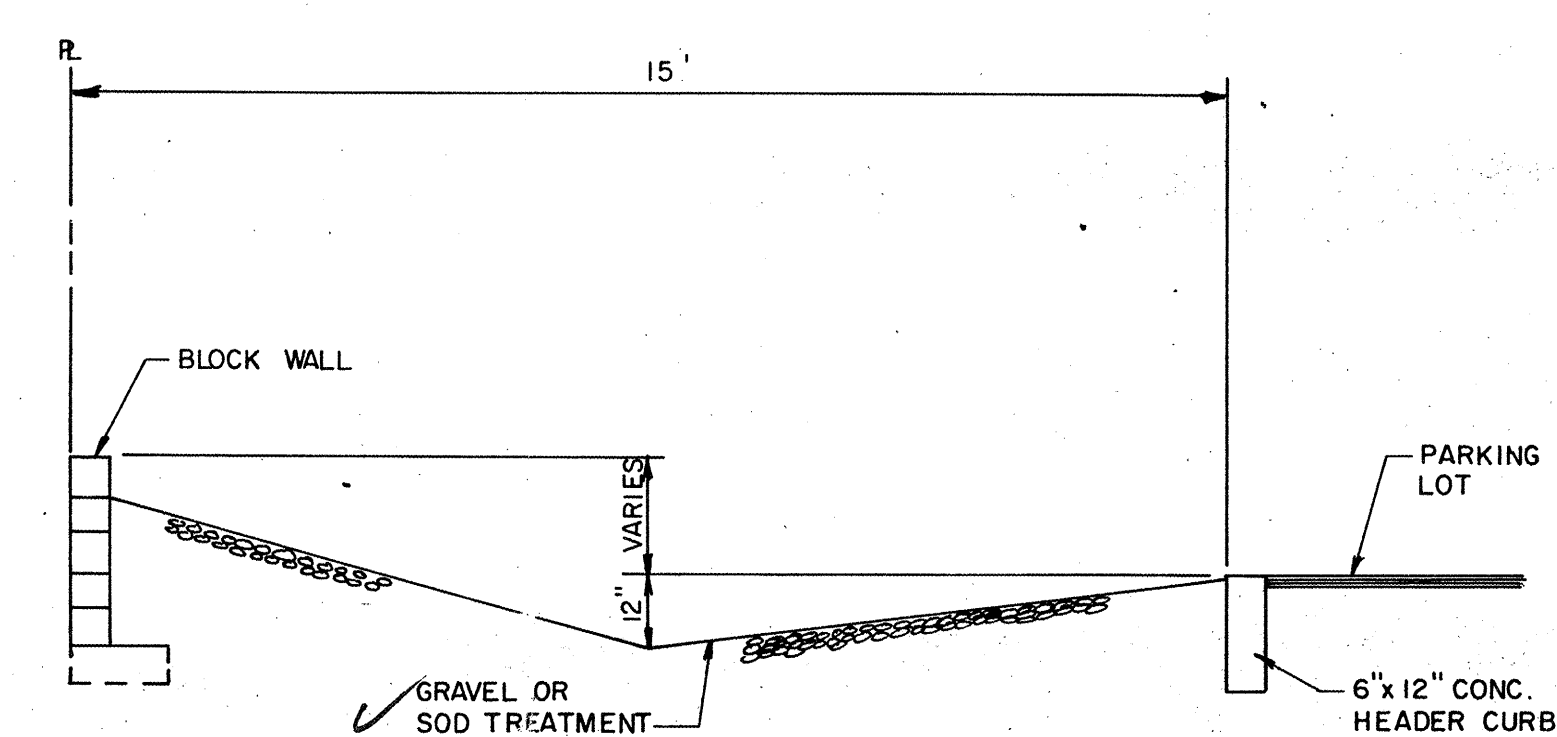
Vol. = (14-9)(10 min.) 60 sec. = 3000 c.f.
 min.

Vol (provided) = 2(1/2)(75)(320)(1.5) = 3600 c.f.

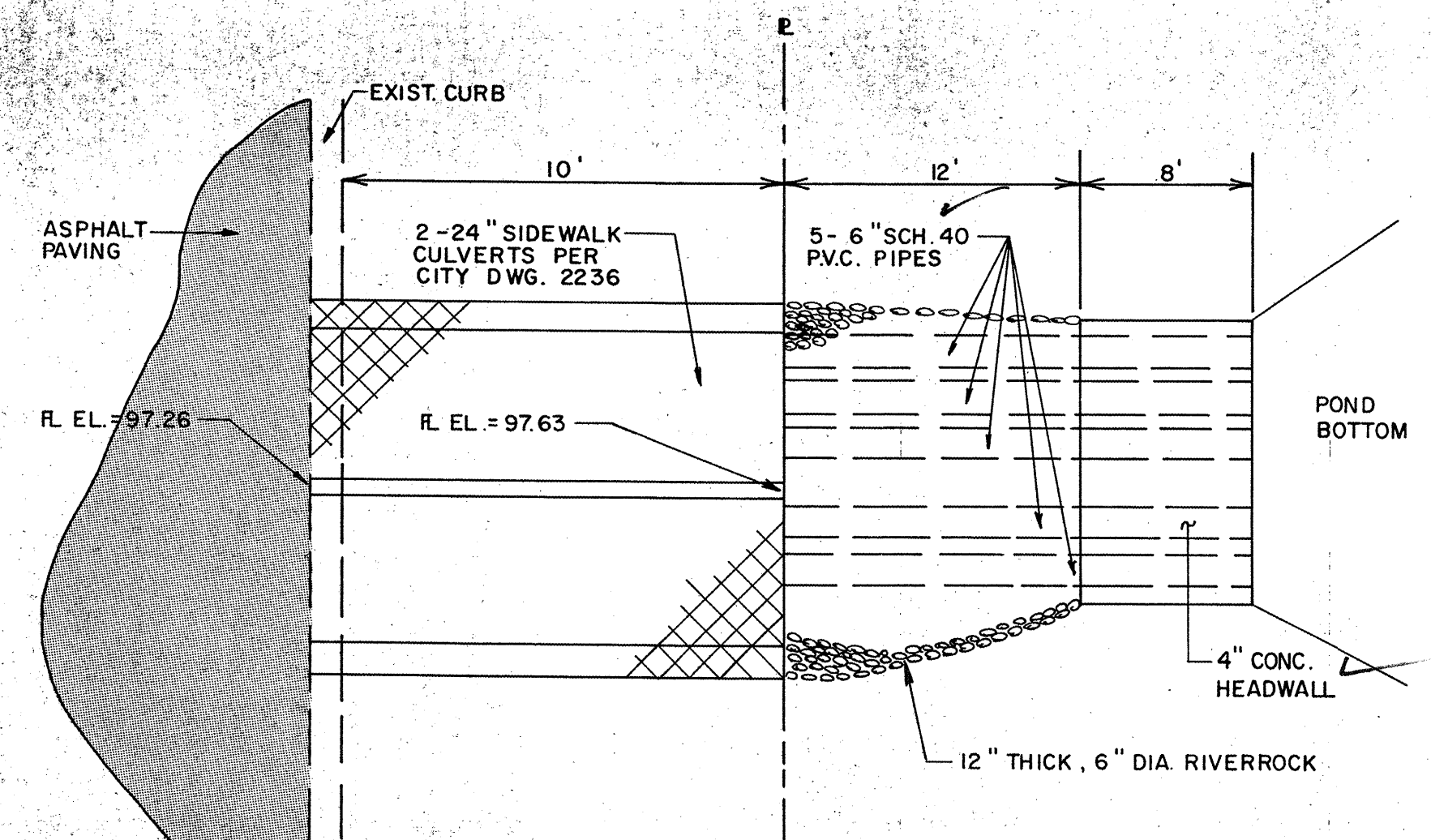
CHECK FOR ENVIRONMENTAL HEALTH AIR QUALITY PERMIT REQUIREMENTS



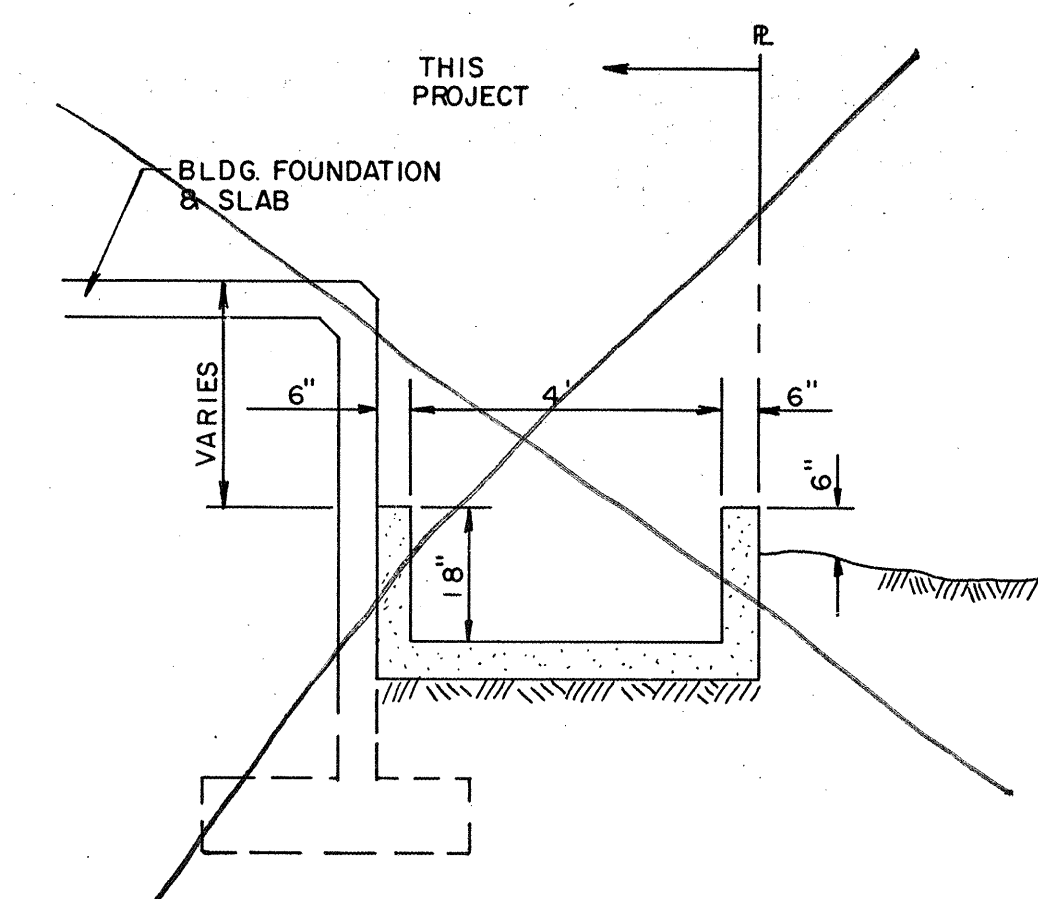
SWALE OUTLET 3
 NO SCALE
 CI



LANDSCAPED SWALE 2
 NO SCALE
 CI



SWALE OUTLET 4
 NO SCALE
 CI



CONCRETE SWALE 1
 NO SCALE
 CI

THIS AS-BUILT WAS MADE FROM VISUAL OBSERVATION PERFORMED BY MARK GOODWIN, P.E., SEPTEMBER 1, 1993, AND REFLECTS THE AS-BUILT CONDITIONS TO THE BEST OF HIS KNOWLEDGE.

9/1/93
 MARK GOODWIN, P.E. #8948



NOTICE TO CONTRACTOR

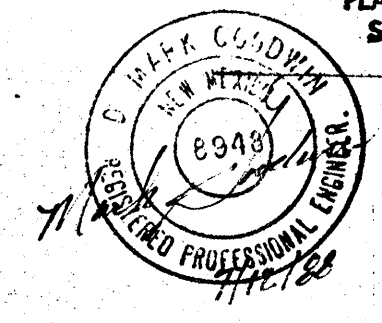
1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and provide proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	Hydrology Section	Date
Inspection Approval	Construction Section	Date
Acceptance	Construction Section/Permits	Date

ALBUQUERQUE CODE	DESCRIPTION	DATE
CHANGED ELEV. ON SWALE DETAIL		8-5-88

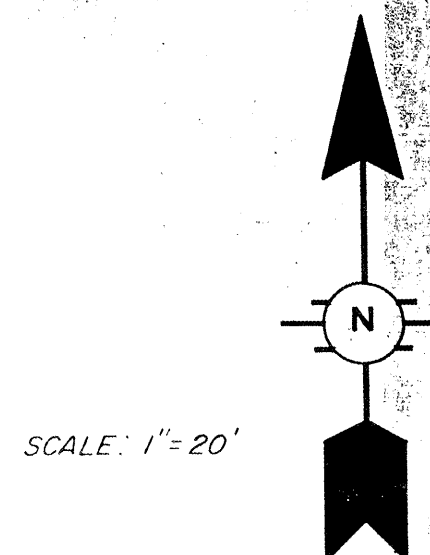
SUNBELT MANUFACTURING
 TYPICAL SECTIONS & DETAILS



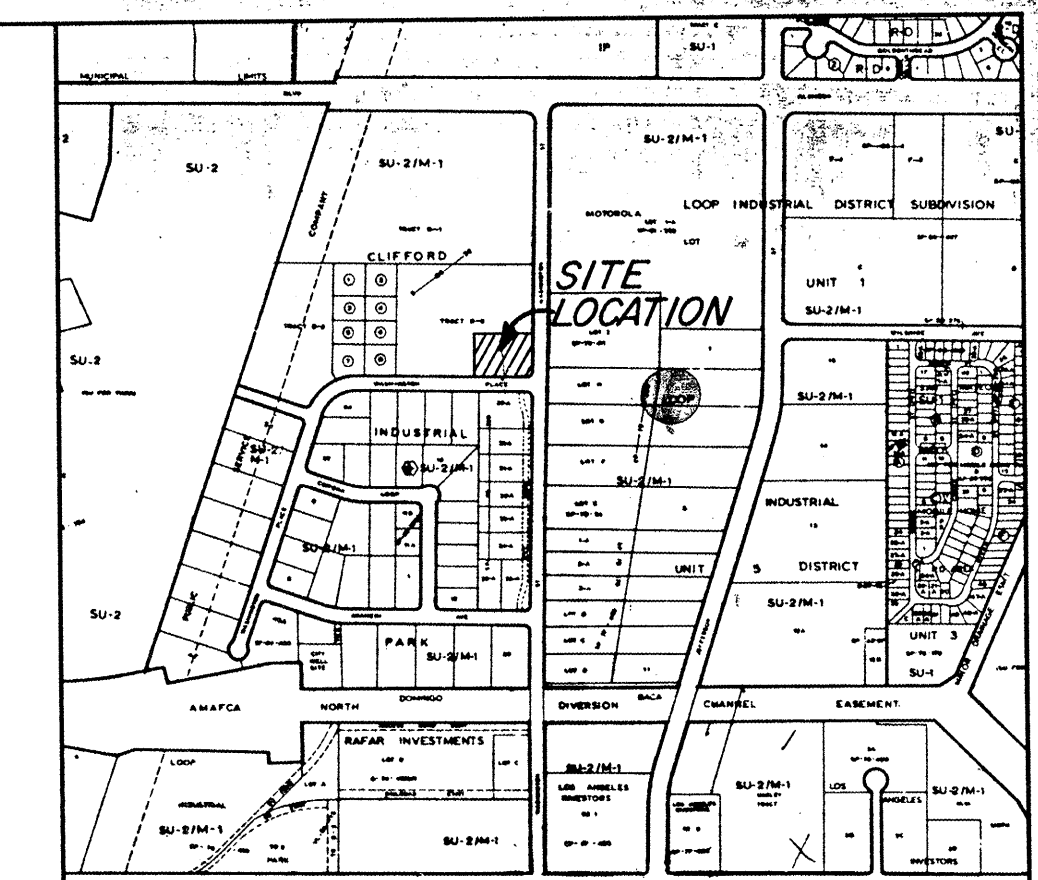
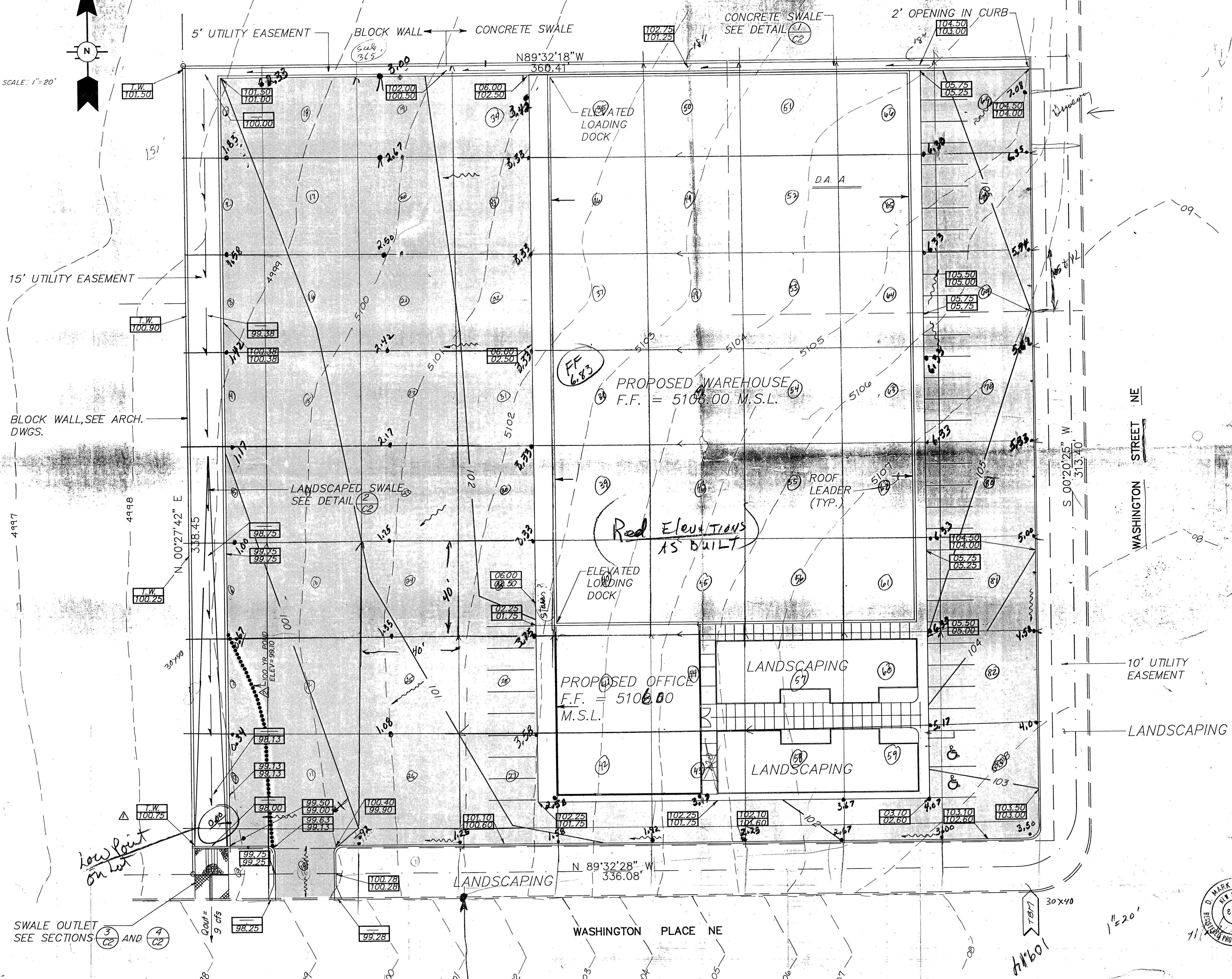
D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 21307
 ALBUQUERQUE, NEW MEXICO 87154
 (505) 265-0905

Designed: D.M.G.	Drawn: M.E.C.	Checked: D.M.G.	Sheet C2 of 2
Scale: 1" = 20'	Date: 7/88		

SEP - 2 1988



SCALE: 1"=20'



VICINITY MAP C-17-Z

LEGAL DESCRIPTION

WASHINGTON BUSINESS PARK OF CLIFFORD INDUSTRIAL PARK LOT 10

BENCHMARK

A.C.S. BRASS CAP No. 8-C17 IS LOCATED 7.5 MILES NORTHEAST OF DOWNTOWN, AND 0.3 MILE NORTH OF THE INTERSECTION OF LOS ANGELES BLVD AND WASHINGTON STREET N.W. ELEVATION 5111.029' M.S.L.

T.B.M.

TOP OF CONCRETE CURB @ W.- NW. CURB RETURN @ INTERSECTION OF WASHINGTON STREET & WASHINGTON PLACE. ELEVATION = 5109.14

GENERAL NOTES

1. STRIPE NEW PARKING SPACES WITH TRAFFIC-YELLOW PAINT. PROVIDE HANDICAPPED SYMBOL FOR HANDICAPPED SPACES
2. TOPOGRAPHIC SURVEY PERFORMED BY DAVID C. CLAUSEN
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4. ADD 5100 TO ALL SPOT ELEVATIONS.
5. CONTOUR INTERVAL = 1'
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8. CONTRACTOR IS TO CONSTRUCT TEMPORARY EARTHEN BERM ALONG NORTH & WEST PROPERTY LINE FOR EROSION AND SEDIMENTATION CONTROL. BERM IS TO BE 2' HIGH.

LEGEND

- EXISTING CONTOURS 5100
- PROPOSED CONTOURS 101
- DIRECTIONAL FLOWLINE
- ASPHALT PAVING
- PROPOSED SPOT ELEVATION I.C. F.L.
- 100yr. POND WATER SURFACE LIMITS

REVISIONS		
1	REVISED 100 YR. POND WATER SURFACE LIMITS	8-11-88
2	CHANGE ELEV. & ADD TO T.B.M.	8-5-88
No.	DESCRIPTION	DATE
REVISIONS		
GRADING & DRAINAGE PLAN		
SUNBELT MANUFACTURING		
dmg		
D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 21307 ALBUQUERQUE, NEW MEXICO 87154 (505) 265-0905		
Designed: DMG	Drawn: MEC	Checked: DMG
Scale: 1"=20'	Date: 7/88	Sheet C1 of 2

