



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 7, 1993

Ronald R. Bohannon  
Tierra West Development  
4600 Montgomery Blvd. NE Suite 9  
Albuquerque, NM 87109

RE: ENGINEER CERTIFICATION FOR KLINGER CONSTRUCTION (C17-D1U7) ENGINEER  
CERTIFICATION STATEMENT DATED 4/23/93.

Dear Mr. Bohannon:

Based on the information provided on your April 27, 1993 submittal, Engineer  
Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineer Associate

BJM/d1/WPHYD/7740

xc: Alan Martinez  
File

PUBLIC WORKS DEPARTMENT

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Klinger Construction ZONE ATLAS/DRNG. FILE #: C-17/ 1U7

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot J of Plat of Clifford Industrial Park, filed 6/28/88, being a replat of a portion of Tract B-1 of Clifford Industrial Park.

CITY ADDRESS: 8701 Washington NE, Albuquerque, New Mexico 87113

ENGINEERING FIRM: Tierra West Development CONTACT: Ronald R. Bohannon

ADDRESS: 4600 Montgomery Blvd., NE, Suite 9 PHONE: 883-7592

OWNER: Klinger Constructors, Inc. CONTACT: Glen Kitchens

ADDRESS: 8701 Washington NE, Albuquerque 87113 PHONE: 822-9990

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: Klinger Constructors, INC. CONTACT: Glen Kitchens

ADDRESS: 8701 Washington NE, Albuquerque 87113 PHONE: 822-9990

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

## PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 4/23/93

BY: Ronald R. Bohannon



**Tierra West Development  
Management Services**

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April 12, 1993

Mr. Bernie Montoya  
Hydrology Department  
Post Office Box 1293  
Albuquerque, New Mexico 87103

RE: Grading & Drainage for Klinger Constructors, Inc.  
8701 Washington, NE - Zone Atlas Page C-17

Dear Mr. Montoya:

Please find attached the as-built drainage for Klinger Constructors, Inc. Storage Building. The internal flows are routed to a temporary holding basin until such times as Tract B-1-A is developed. The site drains away from the improvements establishing the elevations and testing the site with water.

The site was graded and constructed to the attached modifications and complies with the intent of the plan and I certify to the accuracy of the plans built.

Should you have any questions concerning this certification or any other matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E. 7868

Enclosure

cc: Glen Kitchens - Klinger Constructors, Inc.

Job No 880014  
RRB/cr

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Klinger Construction ZONE ATLAS/DRNG. FILE #: C17/1U7  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
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CITY ADDRESS: 8701 Washington, NE, Albuquerque, New Mexico 87113  
ENGINEERING FIRM: Tierra West Development CONTACT: Ronald R. Bohannon  
ADDRESS: 4600 Montgomery Blvd., NE, Suite 9 PHONE: 883-7592  
OWNER: Klinger Constructors, Inc. CONTACT: Glen Kitchens  
ADDRESS: 8701 Washington, NE, NM 87113 PHONE: 822-9990  
ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
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☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:

☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
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☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: APR 20 1993BY: 4/16/93

VERBAL CMTS. on 4/23/93  
Engineer Certification statement  
must be on the plan drawing. Bm





**Tierra West Development  
Management Services**

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April 12, 1993

Mr. Bernie Montoya  
Hydrology Department  
Post Office Box 1293  
Albuquerque, New Mexico 87103

RE: Grading & Drainage for Klinger Constructors, Inc.  
8701 Washington, NE - Zone Atlas Page C-17

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Sincerely,

Ronald R. Bohannon, P.E.

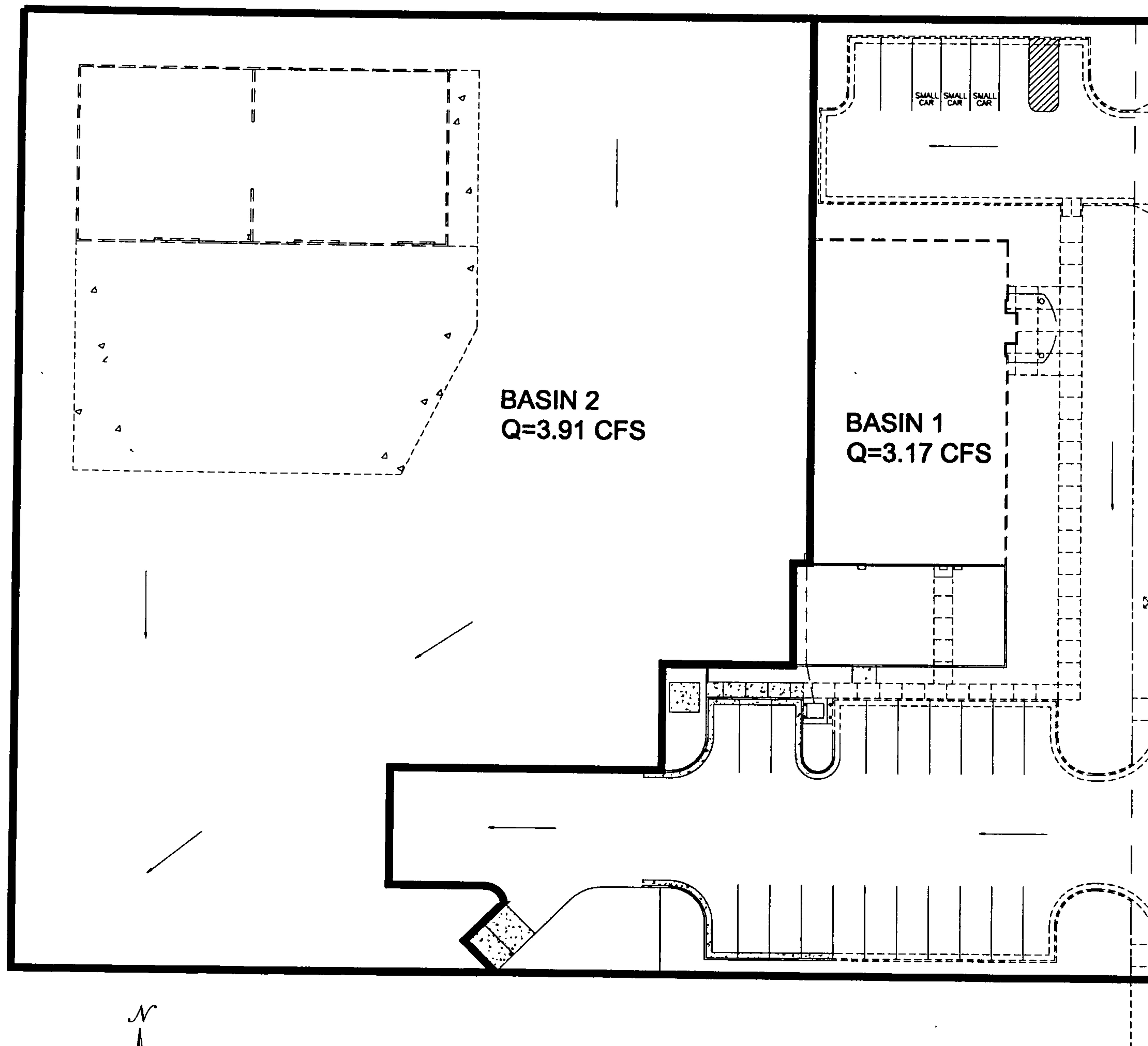
Enclosure

cc: Glen Kitchens - Klinger Constructors, Inc.

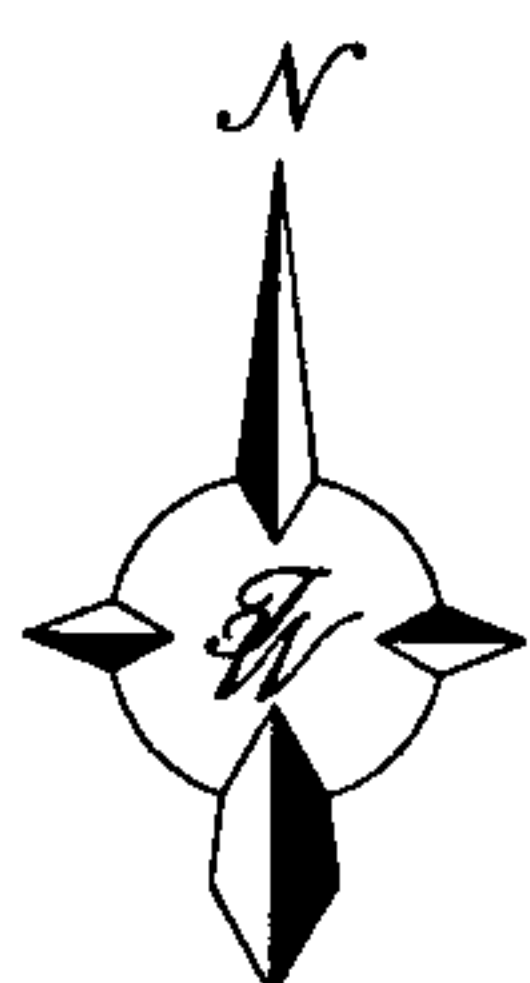
Job No 880014  
RRB/cr

14201000

Stamp  
& legal Described



WASHINGTON STREET NE



# DEVELOPED BASIN MAP

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-Hr			10-Year, 6-Hr			100-Year, 10-Day		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs	Weighted E	Volume (ac-ft)	Flow cfs
1	30,977	0.71	0%	0	10%	0.07	0%	0	90%	0.64	1.986	0.118	3.17	1.234	0.073	2.08	1.986	0.196	3.17
2	48,505	1.11	0%	0	0%	0.00	76%	0.85	24%	0.27	1.368	0.127	3.91	0.717	0.067	2.29	1.368	0.160	3.91

Equations for Weighted E Method:

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Volume (10-day) =  $V_{360} + A_d \cdot (P_{10\text{days}} - P_{360}) / 12 \text{ in/ft}$

Excess Precipitation, E (inches)		
Zone 2	100-Year	10 - Year
E <sub>a</sub>	0.53	0.13
E <sub>b</sub>	0.78	0.28
E <sub>c</sub>	1.13	0.52
E <sub>d</sub>	2.12	1.34

Peak Discharge (cfs/acre)		
Zone 2	100-Year	10 - Year
Q <sub>a</sub>	1.56	0.38
Q <sub>b</sub>	2.28	0.95
Q <sub>c</sub>	3.14	1.71
Q <sub>d</sub>	4.7	3.14



The existing drainage swale was designed by Chris Weiss (C17/D9U) and accounted for 8 cfs from the Klinger site. The site discharges a total of 7.08 cfs, which is less than the allowed discharge of 8 cfs. Therefore, no ponding is required and the site free discharges to the existing swale. A short piece of swale to connect the site to the existing swale may need to be constructed with this project. During a recent site visit, excessive debris made determination of the existence of the connector swale difficult.

# DRAINAGE REPORT

for

## Klinger Expansion

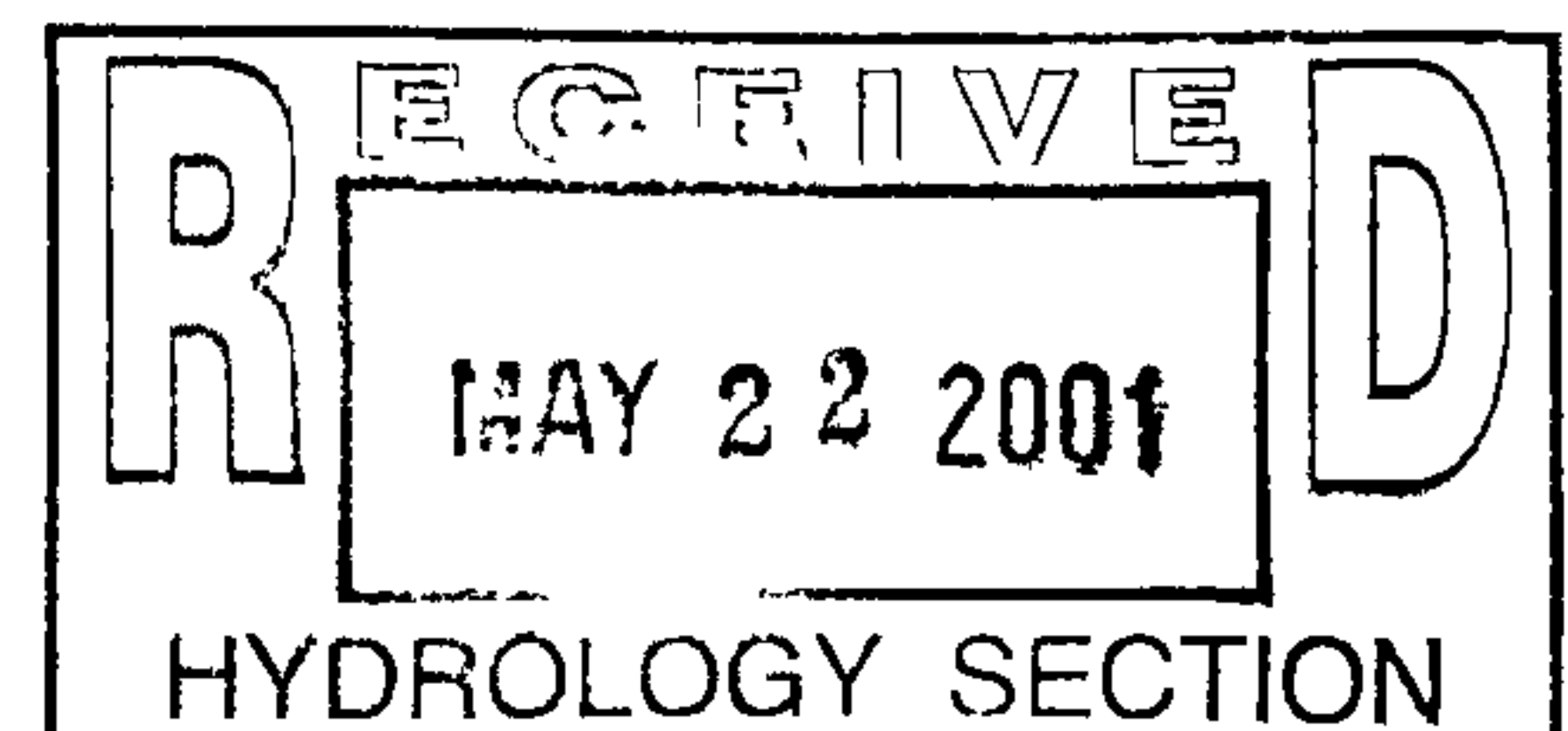
Prepared by

Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, New Mexico 87113

Prepared for

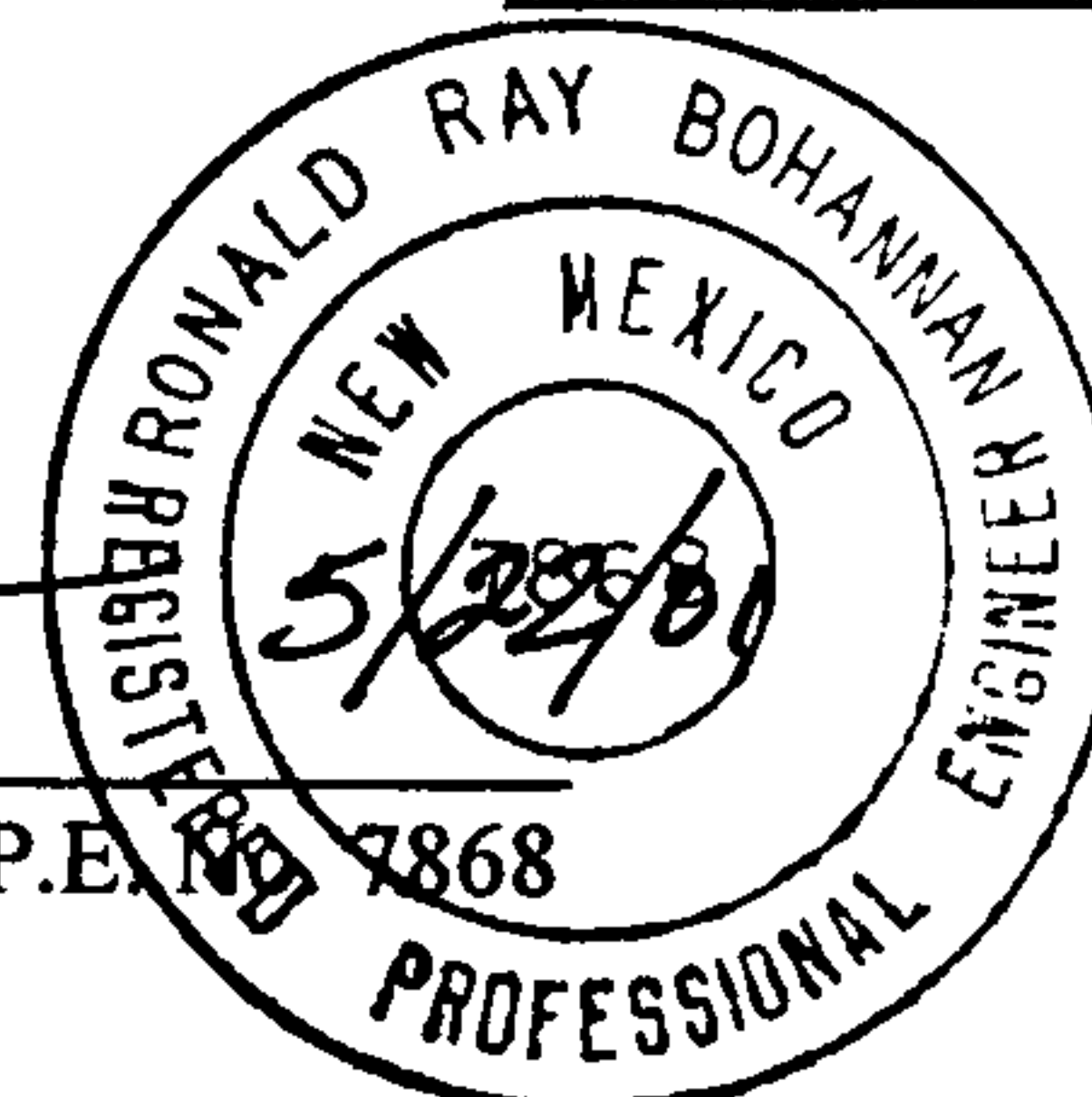
Van H. Gilbert Architects  
2428 Baylor Drive SE  
Albuquerque, New Mexico 87106

May 2001



A handwritten signature in black ink, appearing to read "Ron", written over a horizontal line.

Ronald R. Bohannon P.E. No. 7868



## **Location**

The site is a proposed expansion of an existing building located on Washington near Alameda Boulevard. The site is shown on the attached Zone Atlas Map C-17 and contains approximately 1.82 acres. The legal description is Tract J of Clifford Industrial Park. The purpose of this report is to provide the drainage analysis and management plan for the expansion.

## **Existing Drainage Conditions**

The site is partially developed at this time. There are two existing buildings on the site. An addition is proposed for the building nearest Washington Street. A few parking spaces are being added on the south side of the site. There is an existing building located in the back of the lot and an existing drainage pond located in the southwest corner. The existing pond will be removed with this construction.

The site drains from east to west. Washington Street prevents off-site flows from entering the site from the east. The natural topography of the site keeps flows from entering the site from the north, south, or west.

## **FIRM Map**

The site is located on 35001C0136 D as shown on the attached excerpt. The map shows that the site does not lie within any 100 year flood plains.

## **On-Site Drainage Management Plan**

The proposed drainage management plan is for the on-site flows to drain to the southwest corner of the site. A existing drainage channel was built when the site south of the Klinger site (Tract B1A7 Washington Business Park) was developed. The Klinger site has been divided into two basins. Both basins flow west to the existing retention pond. Basin 1 consists of the existing building and parking lot near Washington Street. This basin has a developed flow of 3.17 cfs, which includes the new addition. The balance of the site is Basin 2 with a developed flow of 3.91 cfs. This basin is mostly unpaved and used to store construction equipment and supplies.

## **TRAFFIC CIRCULATION LAYOUT CHECKLIST**

SITE ADDRESS: 8701 Washington N.E. AGENT: Van H. Gilbert DATE: 6-11-01  
LEGAL DESCRIPTION: Clifford Industrial Prk, Tract J. ZONE ATLAS PAGE: C-17

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the design firm needs to complete and return the new **TRAFFIC CIRCULATION LAYOUT CHECKLIST** (Amendment To Come) provided, along with use of the DPM (Development Process Manual) to confirm required City standards. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals. The first checklist has been completed by Transportation.

### **LEGEND-**

- ✓ *Item addressed on initial submittal*
- *Item not yet addressed by designer or plan checker*
- *Not Applicable*

### **GENERAL INFORMATION REQUIRED:**

- 1. TCL will be stamped, signed and dated by architect or engineer.
- ✓ 2. Street address of site - could be part of title block or Drainage Application sheet in Hydrology file.
- ✓ 3. Provide name of subdivision; lot number and/or tract number on TCL, if it's not on the Drainage Information Sheet.
- 4. Place note on TCL and Site Plan for Construction:

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO.

- 5. The plan review by Zoning could initiate a new review if original parking lot layout, approved by Transportation, needs to be altered.
- 6. Any Infrastructure work on city property, as part of this development, must be complete before issuance of CO. If work is not completed, Financial Guarantee must be on file with Design Review Office.
- 7. Encroachment agreements are needed when structures, fences, walls or items of equal conflict are within City property.
- 8. Drawing line work on Drainage and Landscape Plans must exactly match Site Plan.



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 30, 2001

Ronald R. Bohannon, P.E.  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, New Mexico 87113

RE: KLINGER EXPANSION, TRACT J CLIFFORD INDUST. PARK (C-17/D1U7)  
(8701 Washington NE)  
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY  
ENGINEERS STAMP DATED 5/22/2001  
ENGINEERS CERTIFICATION DATED 10/25/2001

Dear Mr. Bohannon:

Based upon the information provided in your Engineers Certification submittal dated 10/26/2001, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Public Works Department  
BUB

C: Vickie Chavez, COA  
✓ drainage file  
approval file





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

June 8, 2001

Van H. Gilbert, Registered Architect,  
Van H. Gilbert, Architect, P.C.  
2428 Baylor Dr. N.E.  
Albuquerque, New Mexico 87106

Re: T.C.L. submittal for building permit approval for Klinger Office Addition and Remodel,  
8701 Washington N.E. [C17D001U7],  
Architect's Stamp not included.

Dear Mr. Gilbert,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached TCL checklist, and red-lined T.C.L. markup with comments.

Please resubmit revised T.C.L. after addressing typed and marked up comments.  
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 28, 2001

Ronald R. Bohannon, P.E.  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

***RE: KLINGER EXPANSION, TRACT J, CLIFFORD INDUSTRIAL PARK (C17-D1U7).  
DRAINAGE REPORT AND GRADING PLAN FOR GRADING PERMIT AND  
BUILDING PERMIT APPROVALS. ENGINEER'S STAMP DATED MAY 22, 2001.***

Dear Mr. Bohannon:

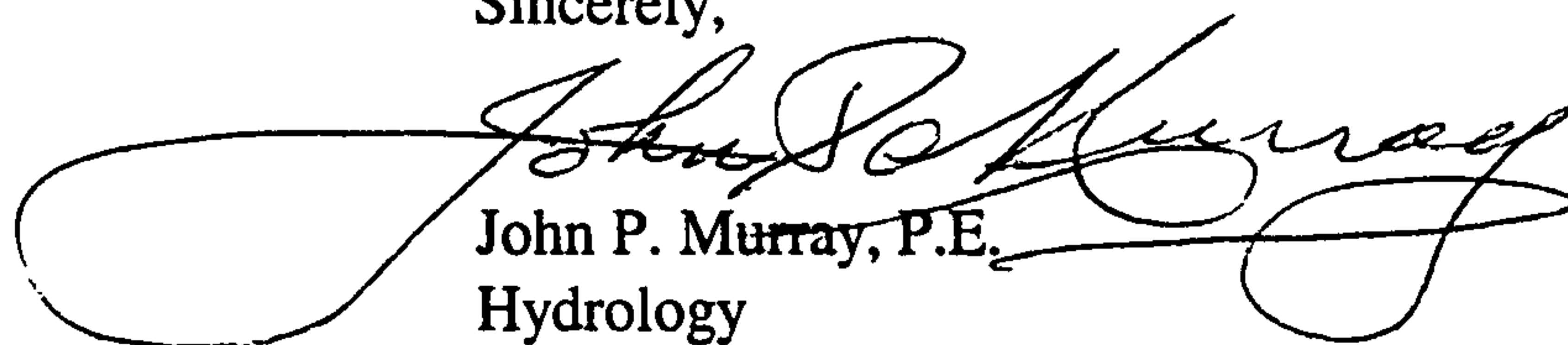
Based on the information provided on your May 22, 2001 submittal, the above referenced project is approved for both Grading and Building Permits.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: Terri Martin  
✓ File