



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR

KEN SCHULTZ

CHIEF  
ADMINISTRATIVE OFFICER

GENE ROMO

DEPUTY CAO  
PUBLIC SERVICES

FRANK MARTINEZ

DEPUTY CAO  
PLANNING/DEVELOPMENT

BILL MUELLER

March 7, 1988

Louis W. Gross, P.E.  
Logan/Gross & Associates, Inc.  
925 Sixth Street, NW Suite 3  
Albuquerque, New Mexico 87102

RE: REVISED DRAINAGE PLAN FOR CARPET CONCEPTS BUILDING  
(C-17/D1Z) REVISION DATED MARCH 2, 1988

Dear Mr. Gross:

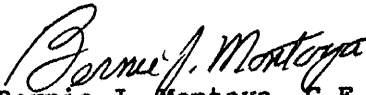
Based on the information provided on your resubmittal of March 4, 1988,  
revisions as indicated are acceptable.

Please be advised that a separate permit is required for construction  
within City right-of-way..

Also, after we receive concurrence from the Transportation Department for  
the S.O. 19, and our inspector has no other concerns, the Certificate of  
Occupancy will be issued.

If I can be of further assistance, please feel free to call me at  
768-2650.

Cordially,

  
Bernie J. Montoya, C.E.  
Engineering Assistant

BJM/bsj

xc: Becky Sandoval

## DRAINAGE INFORMATION SHEET

## CITY OF ALBUQUERQUE, N.M.

PROJECT TITLE: Carpet Concepts Building ZONE ATLAS/DRNG. FILE #: C-17/D1Z  
LEGAL DESCRIPTION: Lot 24, Clifford Industrial Park, Phase II  
CITY ADDRESS: Washington Place N.E.

ENGINEERING FIRM: Logan/Gross & Assoc. Inc. CONTACT: Louis W. Gross

ADDRESS: 925 6th N.W. PHONE: 243-5363

OWNER: Mike Williams CONTACT: Mike Williams

ADDRESS: 3813 Hawkins N.E. PHONE: 345-6662

ARCHITECT: Roger Cinilli CONTACT: Roger Cinille

ADDRESS: P.O. Box 965, Tijeras, N.M. PHONE: 281-3209

SURVEYOR: Logan/Gross CONTACT: L.W. Gross

ADDRESS: 925 6th N.W. PHONE: 243-5363

CONTRACTOR: Gerald Martin CONTACT: Jim Miller

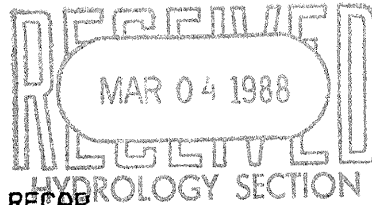
ADDRESS: 4001 Bogan N.E. PHONE: 881-4646

## PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP  
SHEET PROVIDED



DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

Copy of approval letter attached.

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

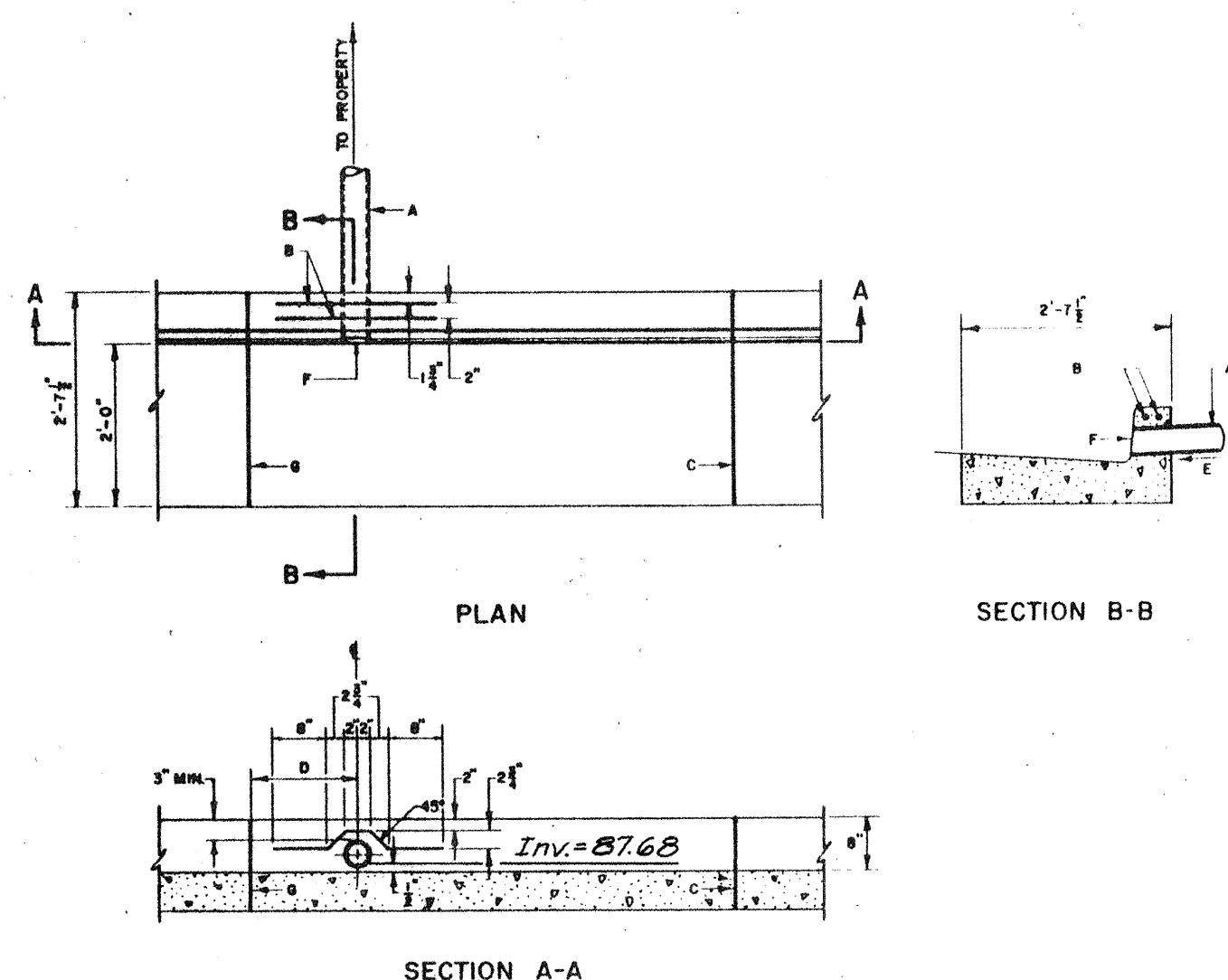
☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: Revision 3/2/88

BY: \_\_\_\_\_

Louis W. Gross



**DRAIN LINE THROUGH CURB DETAIL \***  
N.T.S.

#### GENERAL NOTES:

1. WHEN PLACING DRAIN THROUGH EXISTING CURB, REMOVE AND REPLACE ENTIRE STONE OF CURB AND GUTTER.
2. THE CITY DOES NOT ACCEPT RESPONSIBILITY FOR MAINTENANCE FOR ANY DRAIN LINES INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

#### CONSTRUCTION NOTES:

- A. DRAIN 12" OR 15" P.V.C. PIPE, 4" NOM. SIZE (MAX.) TO PROPERTY.
- B. 2" NO. 3 BARS, 2' 4" LONG, PLACED AS SHOWN.
- C. COLD JOINT.
- D. DISTANCE FROM C. OF DRAIN TO NEAREST JOINT, VARIABLE WITH 18" MIN.
- E. SLOPE 1/4" PER FT. WITHIN R.O.W.
- F. DRAIN PIPE NOT TO PROTRUDE BEYOND CURB FACE.
- G. JOINT NEAREST TO DRAIN TO BE AN EXPANSION JOINT.

#### NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction 1986.
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to arterial street use.
6. Maintenance of these facilities will be the responsibility of the Owner of the property served.

APPROVALS	NAME	DATE
A.C.E./Design	<i>Barney Montoya</i>	3/1/88
Inspector		
A.C.E./Field		

## DRAINAGE PLAN

LOT 24, CLIFFORD INDUSTRIAL PARK, PHASE II

ALBUQUERQUE, NEW MEXICO

ZONE MAP C-17 BENCHMARK 8-C17 ELEV. 5111.03

FLOOD MAP 09 SOIL TYPE "B"

TOTAL AREA: 0.5512 ACRES = 24,010 S.F.

NO FLOOD HAZARD EXISTS DOWNSTREAM

REFERENCE: FILE #C17-DIA, PLANS AND REPORT BY BOHANNON-HUSTON

FILE #C17/D1Z APPROVED 10-1-87

#### HYDROLOGY

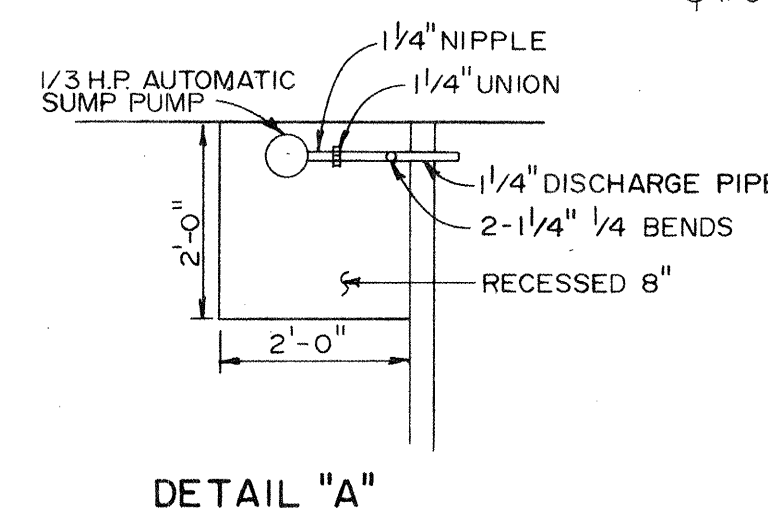
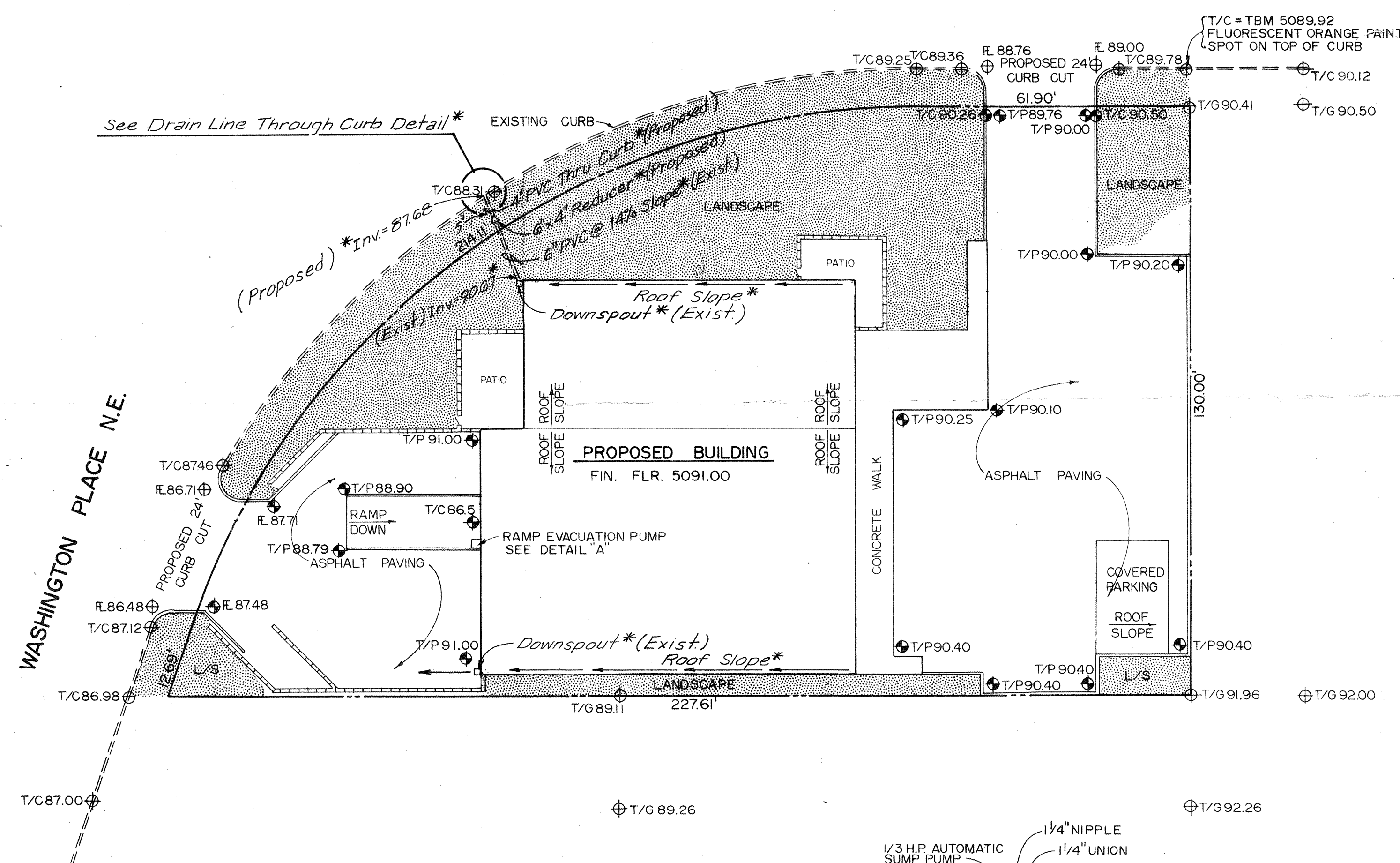
OFF-SITE FLOW: DUE TO CURBS AND FENCES NO OFF-SITE FLOW WILL ENTER THE SITE.

#### EXISTING CONDITIONS:

NATURAL GROUND = 24,010 S.F. C=0.40  
100 YR. - 6HR. = 2.3 IN. I = 2.3 X 2.3 = 5.3  
Q = 0.5512 X 5.3 X 0.4 = 1.2 C.F.S.  
CN = 68 DIRECT RUNOFF = 0.35 IN.  
V = 0.35/12 X 24,010 = 700 C.F.

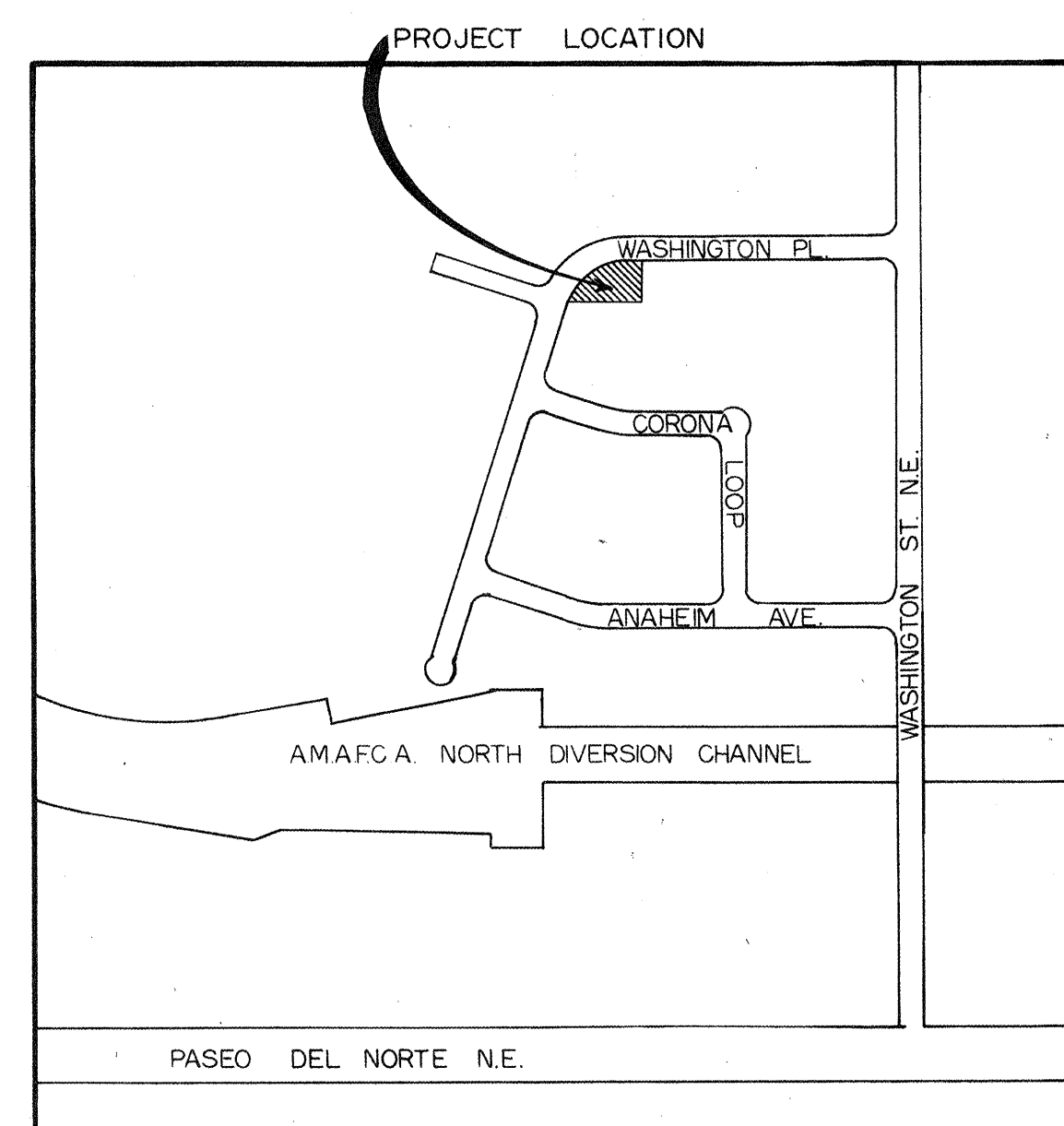
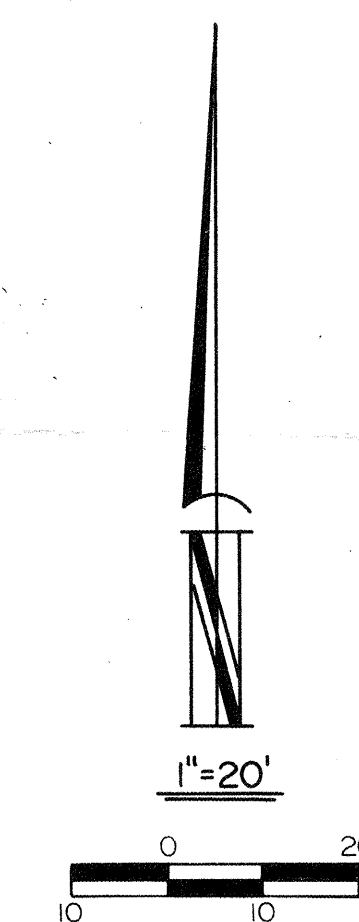
#### PROPOSED CONDITIONS:

LANDSCAPE 5766 X 0.25 = 1442  
CONC. SURFACE & ASPHALT = 10,997 X 0.95 = 10,447  
ROOF 7253 X 0.90 = 6528  
24,010 18,417  
C = 18,417 / 24,010 = 0.77  
Q = 0.77 X 0.5512 X 5.3 = 2.2 C.F.S.  
CN = 90 DIRECT RUNOFF = 1.4"  
V = 1.4/12 X 24,010 = 2801 C.F.



#### LEGEND

- PROPERTY LINE
- EXISTING CONTOURS 4996
- PROPOSED CONTOURS 4997
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- FLOW DIRECTION
- PROPOSED BLOCK WALL
- PROPOSED CURBS
- PROPOSED LANDSCAPE
- EXISTING CURBS

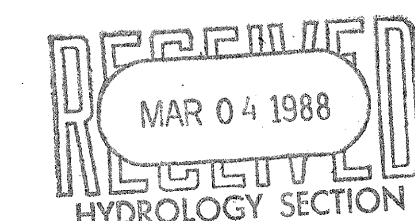


VICINITY MAP

#### EROSION CONTROL NOTES:

THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE TO THE FOLLOWING:

1. NO SEDIMENT BEARING WATER SHALL BE ALLOWED TO DISCHARGE THE SITE DURING CONSTRUCTION.
2. DURING GRADING OPERATIONS AND UNTIL THE PROJECT HAS BEEN COMPLETED ALL ADJACENT PROPERTY, RIGHTS OF WAY, AND EASEMENTS, SHALL BE PROTECTED FROM FLOODING.
3. ANY AND ALL SEDIMENTATION ORIGINATING ON THE SITE WHICH IS DEPOSITED WITHIN PUBLIC RIGHT OF WAY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
4. CONTROL OF SEDIMENT LADEN WATERS WILL BE ACCOMPLISHED BY THE USE OF A COMPACTED EARTH BERM AT LEAST 12" HIGH. THE BERM SHALL BE LOCATED ALONG THE DOWNSTREAM PERIMETERS OF THE PROPERTY.



\*REVISED 3-2-88  
Drain Line Thru Curb  
F.F. ELEV. REVISED 10/14/87

REVISED 9/30/87



LOGAN/GROSS & ASSOCIATES, INC. CONSULTING CIVIL ENGINEERS 925 6TH ST. N.W. SUITE 3 243-6353 ALBUQUERQUE, NEW MEXICO 87102	
DRAINAGE PLAN	FILE # 306
FOR: CARPET CONCEPTS	DATE 9/17/87
AT: WASHINGTON PL. N.E.	DRAWN C.L.L.
ALBUQUERQUE, N.M.	SHEET 1 OF 1