

June 26, 1996

Martin J. Chávez, Mayor

R.G. Lee  
Lee Engineering  
2316 Calle de Rafael NE  
Albuquerque, NM 87122

RE: REVISED DRAINAGE PLAN FOR PROPOSED OFFICE & WAREHOUSE @  
LOT 9 RICHFIELD PARK (C17-D2A13) REVISION DATED 6/24/96.

Dear Mr. Lee:

Based on the information provided on your June 25, 1996 resubmittal, the above referenced site is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/dl

c: Andrew Garcia  
File

Good for You, Albuquerque!



# DRAINAGE INFORMATION SHEET

PROJECT TITLE:	<u>Office &amp; Warehouse</u>	ZONE ATLAS/DRWNG. FILE #:	<u>C17-D2a13</u>
LEGAL DESCRIPTION:	<u>Lot 9, Richfield Park, Aluuquerque, New Mexico</u>		
CITY ADDRESS:	<u><del>2220 Second Street S.W.</del></u>		
ENGINEER FIRM:	<u>Lee Engineering</u>	CONTACT:	<u>R.G. Lee, Jr.</u>
ADDRESS:	<u>2316 Calle De Rafael NE</u>	PHONE:	<u>(505) 299-2471</u>
ARCHITECT:	<u>Miller &amp; Associates</u>	CONTACT:	<u>Jim Miller</u>
ADDRESS:	<u>2823 Richmond Dr. N.E.</u>	PHONE:	<u>(505) 884-1255</u>
OWNER:	<u></u>	CONTACT:	<u></u>
ADDRESS:	<u></u>	PHONE:	<u></u>
SURVEYOR:	<u></u>	CONTACT:	<u></u>
ADDRESS:	<u></u>	PHONE:	<u></u>
CONTRACTOR:	<u></u>	CONTACT:	<u></u>
ADDRESS:	<u></u>	PHONE:	<u></u>

## PRE-DESIGN MEETING:

<input checked="" type="checkbox"/> YES	DRB NO. <u></u>
<u></u> NO	EPC NO. <u></u>
<u></u> COPY OF CONFERENCE RECAP	PROJ.NO <u></u>
<u></u> SHEET PROVIDED	

## TYPE OF SUBMITTAL:

<u></u>	DRAINAGE REPORT
<input checked="" type="checkbox"/>	DRAINAGE PLAN
<u></u>	CONCEPTUAL GRADING & DRAINAGE PLAN
<input checked="" type="checkbox"/>	GRADING PLAN
<u></u>	EROSION CONTROL PLAN
<u></u>	ENGINEER' CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

<u></u>	SKETCH PLAT APPROVAL
<u></u>	PRELIMINARY PLAT APPROVAL
<u></u>	SITE DEVELOPMENT PLAN APPROVAL
<u></u>	FINAL PLAT APPROVAL
<input checked="" type="checkbox"/>	BUILDING PERMIT APPROVAL
<u></u>	ROUGH GRADING PERMIT APPROVAL
<u></u>	GRADING/PAVING PERMIT APPROVAL
<u></u>	OTHER <u></u> (SPECIFY)

DATE SUBMITTED: June 24, 1996

BY: Herman Hood

*Jul 2 5 1996*



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 7, 1996

R.G. Lee  
Lee Engineering  
2316 Calle de Rafael NE  
Albuquerque, NM 87122

RE: CONCEPTUAL GRADING & DRAINAGE PLAN FOR PROPOSED OFFICE  
& WAREHOUSE (C17-D2A13) ENGINEER'S STAMP DATED 2/4/96

Dear Mr. Lee:

Based on the information provided on your March 5, 1996 submittal, the above referenced site is approved for Site Development Plan.

Please be advised that prior to Building Permit release, the following items must be addressed:

1. T.B.M. must be permanently marked.
2. Indicate the slope of the proposed swales on the plan drawing.
3. Roof run off must be routed away from the landscape areas.
4. Propose that you extend the header curb all along the west property line.
5. Quantification of flow rates and volumes.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/dl

c: Andrew Garcia

**File**

8601 Washington 0160  
252-1222 ~~NE~~

## DRAINAGE INFORMATION SHEET

Proposed Spec

PROJECT TITLE: Office & Warehouse ZONE ATLAS/DRWNG. FILE #: C-17/D- 2418  
LEGAL DESCRIPTION: LOT 9, RICHFIELD PARK SUBDIVISION  
CITY ADDRESS: COLUMBINE AVE. NE  
ENGINEER FIRM: LEE ENGINEERING CONTACT: R.G. Lee, Jr.  
ADDRESS: 2316 CALLE DE REFAEL N.E. PHONE: (505) 822-8999  
ALBUQUERQUE N.M. 87122  
ARCHITECT: MILLER & ASSOC CONTACT: JIM MILLER  
ADDRESS: 2823 RICHMOND N.E. PHONE: 884-1255  
OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### PRE-DESIGN MEETING:

☐ YES ☐ DRB NO.  
☒ NO ☐ EPC NO.  
☐ COPY OF CONFERENCE RECAP ☐ PROJ.NO  
☐ SHEET PROVIDED

### TYPE OF SUBMITTAL:

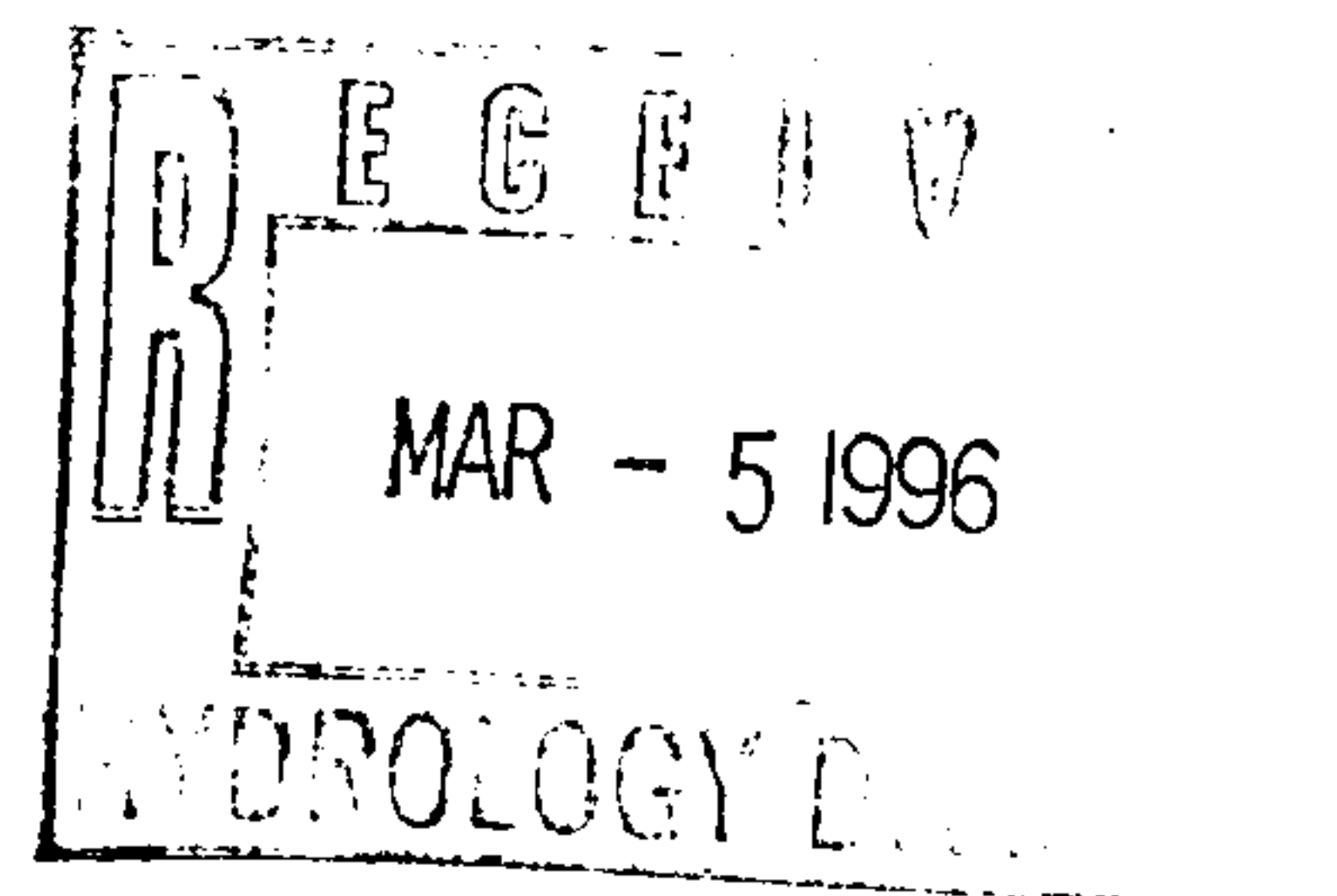
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER' CERTIFICATION

### CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☒ SITE DEVELOPMENT PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ ROUGH GRADING PERMIT APPROVAL  
☐ GRADING/PAVING PERMIT APPROVAL  
☐ OTHER "CERTIFICATE OF OCCUPANCY"

DATE SUBMITTED: March 04, 1996

BY: Herman Hood







# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 15, 1995

Tom Mann  
Engineering & Surveying Assoc.  
5312 Noreen NE  
Albuquerque, New Mexico

RE: GRADING AND DRAINAGE PLAN FOR SERVICE GLASS, LOT 9, RICHFIELD PARK, (C17-D2A13), SUBMITTED FOR SITE DEVELOPMENT PLAN AND BUILDING PERMIT, ENGINEER'S STAMP DATED 1/25/95.

Dear Mr. Mann:

Based on the information provided in the above referenced resubmittal of January 26, 1995, the plan is approved for Building permit release.

Please be advised that prior to Certificate of Occupancy release, the Engineer's Certification per the D.P.M. checklist will be required.

Please note that although storm drainage improvements have been made in the area, no request for a Letter of Map Revision has been sent to FEMA, therefore the floodplain technically still remains and the owner may be subject to flood insurance.

Also note that the off-site flows from Lot 8 will be redirected to Colombine Avenue per the Master Plan when that lot is developed.

If you should have any questions, please do not hesitate to call me.

Sincerely,



Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology  
George Brunacini, Owner  
File

RESUBMITTAL  
DRAINAGE INFORMATION SHEET

PROJECT TITLE: Service Glass ZONE ATLAS/DRNG. FILE #: C-17 - D2A13

LEGAL DESCRIPTION: Lot 9 Richfield Park

CITY ADDRESS: 4608 Columbine NE

ENGINEERING FIRM: Engineering & Surveying Assoc CONTACT: Tom Mann

ADDRESS: 5312 Noreen NE PHONE: 298-4651

OWNER: George Bruncini CONTACT: George Bruncini

ADDRESS: \_\_\_\_\_ PHONE: 263-7777

ARCHITECT: Claudio Vigil CONTACT: Claudio Vigil

ADDRESS: 1305 Tijeros NW PHONE: 842-1113

SURVEYOR: Engineering & Surveying Assoc CONTACT: Tom Mann

ADDRESS: \_\_\_\_\_ PHONE: 298-4651

CONTRACTOR: George Bruncini CONTACT: George Bruncini

ADDRESS: \_\_\_\_\_ PHONE: 263-7777

PRE-DESIGN MEETING:

\_\_\_\_ YES

☒ NO

\_\_\_\_ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO. \_\_\_\_\_

TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT

☒ DRAINAGE PLAN

\_\_\_\_ CONCEPTUAL GRADING AND DRAINAGE PLAN

☒ GRADING PLAN

\_\_\_\_ EROSION CONTROL PLAN

\_\_\_\_ ENGINEER'S CERTIFICATION

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SKETCH PLAT APPROVAL

\_\_\_\_ PRELIMINARY PLAT APPROVAL

\_\_\_\_ SITE DEVELOPMENT PLAN APPROVAL

\_\_\_\_ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

\_\_\_\_ FOUNDATION PERMIT APPROVAL

\_\_\_\_ CERTIFICATE OF OCCUPANCY APPROVAL

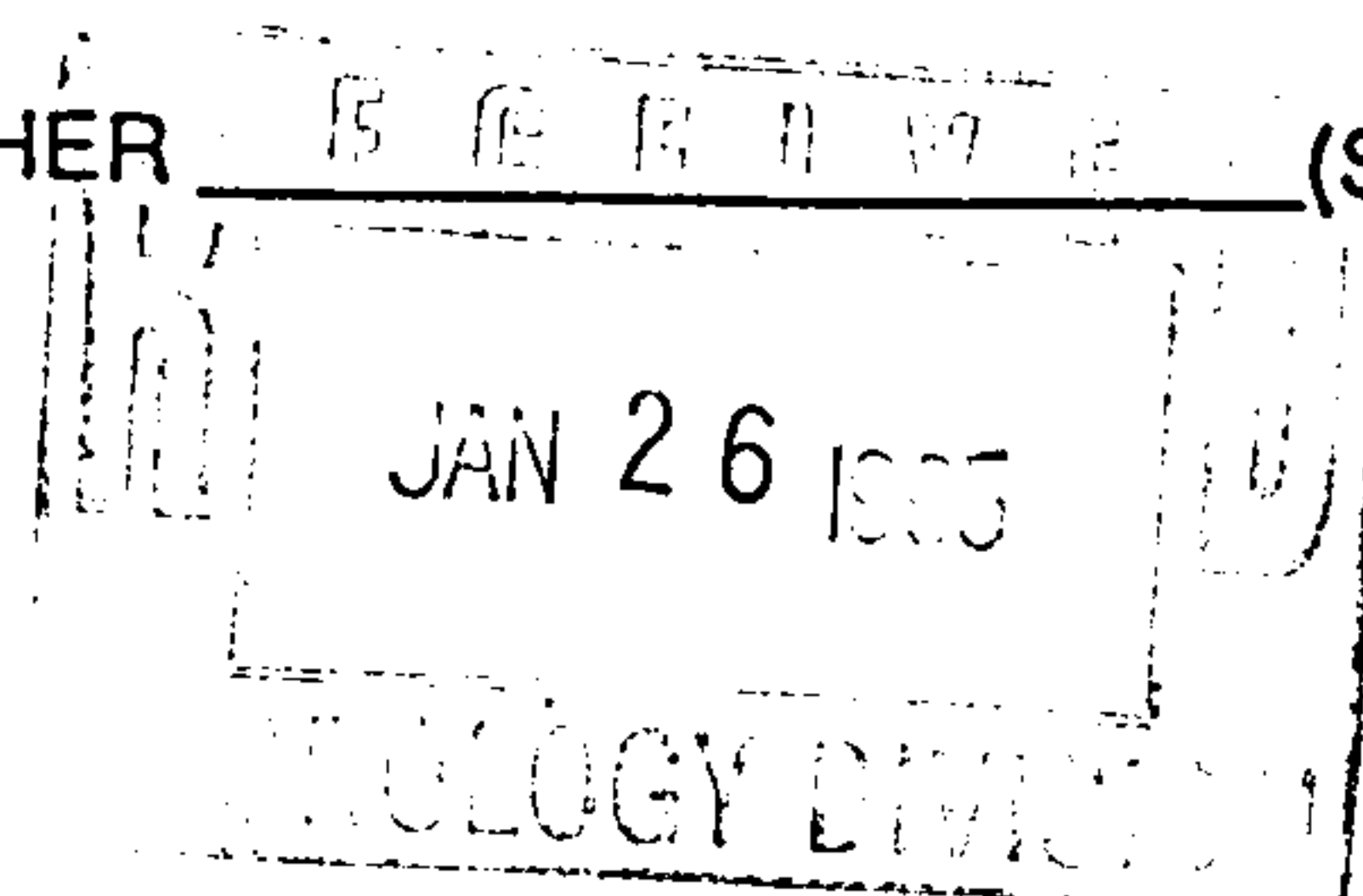
\_\_\_\_ ROUGH GRADING PERMIT APPROVAL

\_\_\_\_ GRADING/PAVING PERMIT APPROVAL

\_\_\_\_ OTHER REVIEW (SPECIFY)

DATE SUBMITTED: 1/9/95 1/25/95

BY: Tom Mann



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Service Glass ZONE ATLAS/DRNG. FILE #: C-17/02413LEGAL DESCRIPTION: Lot 9 Richfield ParkCITY ADDRESS: 4608 Columbine NEENGINEERING FIRM: Engineering & Surveying Assoc CONTACT: Tom MannADDRESS: 5312 Noreen NE PHONE: 298-4651OWNER: George Bruncini CONTACT: George BrunciniADDRESS: \_\_\_\_\_ PHONE: 263-7777ARCHITECT: Claudio Vigil CONTACT: Claudio VigilADDRESS: 1305 Tigras NW PHONE: 842-1113SURVEYOR: Engineering & Surveying Assoc CONTACT: Tom MannADDRESS: \_\_\_\_\_ PHONE: 298-4651CONTRACTOR: George Bruncini CONTACT: George BrunciniADDRESS: \_\_\_\_\_ PHONE: 263-7777

## PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

## TYPE OF SUBMITTAL:

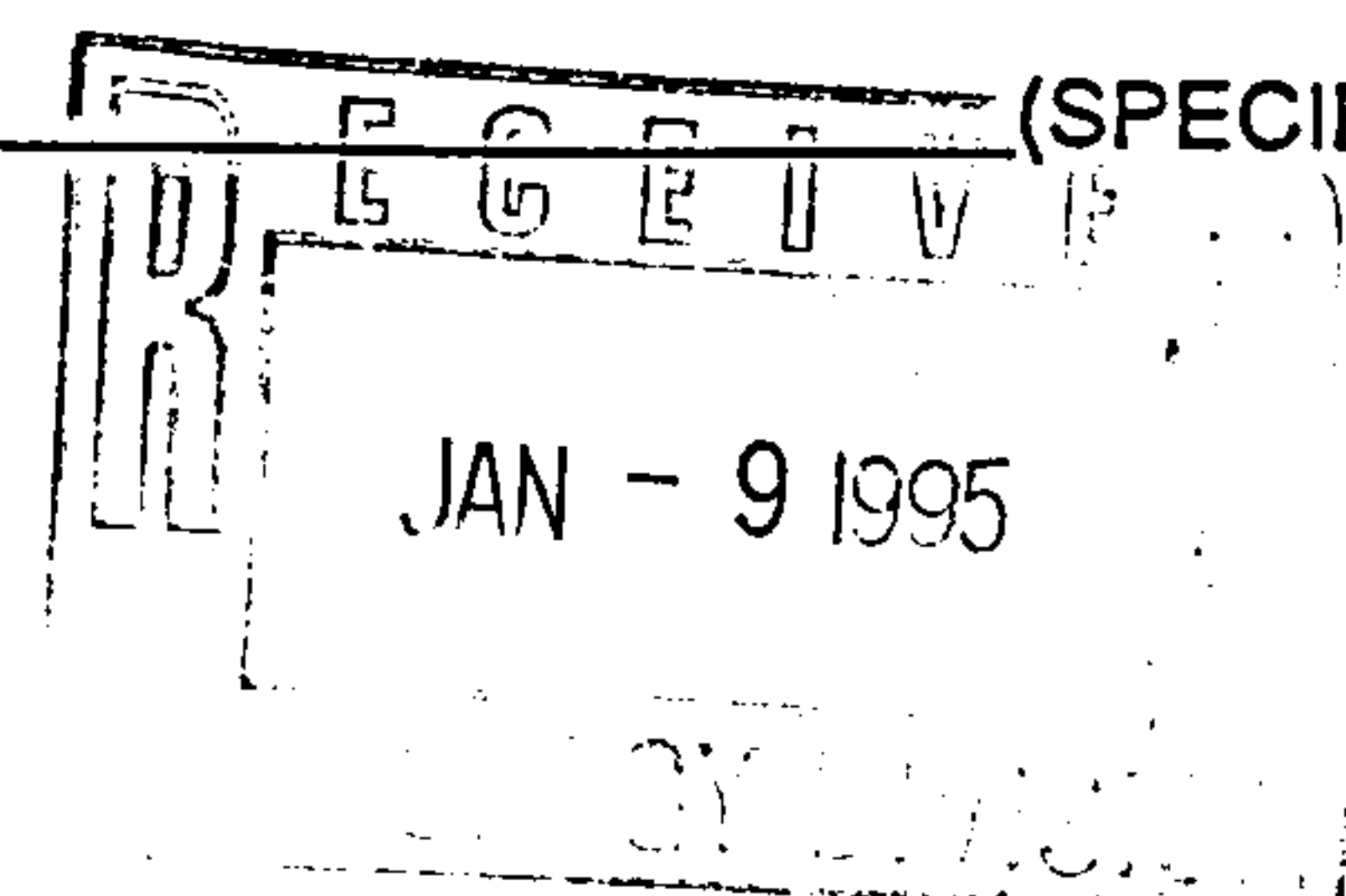
☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING AND DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☒ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER \_\_\_\_\_ (SPECIFY)DATE SUBMITTED: 1/9/95BY: Tom Mann





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 23, 1995

Tom Mann  
Engineering & Surveying Assoc.  
5312 Noreen NE  
Albuquerque, New Mexico

RE: GRADING AND DRAINAGE PLAN FOR SERVICE GLASS, LOT 9, RICHFIELD PARK, (C17-D2A13), SUBMITTED FOR SITE DEVELOPMENT PLAN AND BUILDING PERMIT, ENGINEER'S STAMP DATED 1/9/95.

Dear Mr. Mann:

Prior to approval of the above referenced plan, the following comments must be addressed:

1. Although storm drainage improvements have been constructed in the area, this site remains in a designated flood hazard area according to FEMA. Please show the limits of the 100-year floodplain on the site plan and reference the FIRM panel number. Also delineate the lot on the FEMA map. A note should be added to the plan stating that a Letter of Map Revision has not been obtained from FEMA and that the property owner may be subject to the flood insurance regulations established by the National Flood Insurance Program.
2. The plan mentions that a Master Plan has been approved for the subdivision. Please reference the Master plan. Was it prepared using new hydrology?
3. It appears that off-site flows enter the site from the east side. Please delineate the off-site basin and calculate the off-site flows which impact this site.
4. Is the existing drainage swale on the south side of the property within a drainage easement? Please identify any existing easements adjacent to the property, if any.

If you should have any questions, please do not hesitate to call me.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology  
George Brunacini, Owner  
File