

June 26, 1996

Martin J. Chávez, Mayor

R.G. Lee Lee Engineering 2316 Calle de Rafael NE Albuquerque, NM 87122

RE: REVISED DRAINAGE PLAN FOR PROPOSED OFFICE & WAREHOUSE @ LOT 9 RICHFIELD PARK (C17-D2A13) REVISION DATED 6/24/96.

Dear Mr. Lee:

Based on the information provided on your June 25, 1996 resubmittal, the above referenced site is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

Engineering Ass

BJM/dl

c: Andrew Garcia



PROJECT TITLE: Office & Warehouse	ZONE ATLAS/DRWNG. FILE #: C17-D2a13
LEGAL DESCRIPTION: Lot 9, Richfield Park, Alu	uquerque, New Mexico
CITY ADDRESS: 2220-Second Street S.W.	
ENGINEER FIRM: Lee Engineering	CONTACT: R.G. Lee, Jr.
ADDRESS: 2316 Calle De Rafael NE	PHONE: (505) 299-2471
ARCHITECT: Miller & Associates	CONTACT: Jim Miller
ADDRESS: 2823 Richmond Dr. N.E.	PHONE: (505) 884-1255
OWNER:	CONTACT:
ADDRESS:	PHONE:
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
X YES NO COPY OF CONFERENCE RECAP SHEET PROVIDED	DRB NO.  EPC NO.  PROJ.NO
TYPE OF SUBMITTAL:  DRAINAGE REPORT	CHECK TYPE OF APPROVAL SOUGHT:  SKETCH PLAT APPROVAL
X DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	SITE DEVELOPMENT PLAN APPROVAL
X GRADING PLAN	FINAL PLAT APPROVAL
EROSION CONTROL PLAN	X BUILDING PERMIT APPROVAL
ENGINEER' CERTIFICATION	ROUGH GRADING PERMIT APPROVAL
	GRADING/PAVING PERMIT APPROVAL
	OTHER (SPECIFY)
DATE SUBMITTED: June 24,1996  BY: Herman Hood	JUN 2 5 1996



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 7, 1996

R.G. Lee Lee Engineering 2316 Calle de Rafael NE Albuquerque, NM 87122

RE: CONCEPTUAL GRADING & DRAINAGE PLAN FOR PROPOSED OFFICE

& WAREHOUSE (C17-D2A13) ENGINEER'S STAMP DATED 2/4/96

Dear Mr. Lee:

Based on the information provided on your March 5, 1996 submittal, the above referenced site is approved for Site Development Plan.

Please be advised that prior to Building Permit release, the following items must be addressed:

- 1. T.B.M. must be permanently marked.
- 2. Indicate the slope of the proposed swales on the plan drawing.
- 3. Roof run off must be routed away from the landscape areas.
- 4. Propose that you extend the header curb all along the west property line.
- 5. Quantification of flow rates and volumes.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE

Engineering Associate

BJM/dl

c: Andrew Garcia

File

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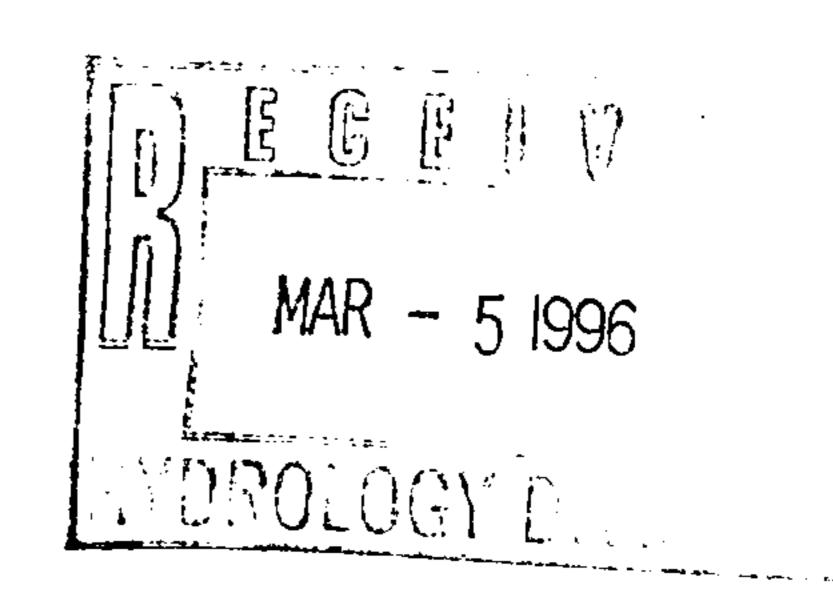
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Proposed Spec

PROJECT TITLE:	Office & Warehouse ZONE	E ATLAS/DRWNG. FILE #: C-17/D- 2 P / O
LEGAL DESCRIPTION:	LOT 9, RICHFIELD PARK SU	BDIVISION
CITY ADDRESS:	COLUMBINE AVE. NE	
ENGINEER FIRM:	LEE ENGINEERING	CONTACT: R.G. Lee, Jr.
ADDRESS:	2316 CALLE DE REFAEL	N.E. PHONE: (505) 822-8999
	ALBUQUERQUE N.M. 871	<u>22</u>
ARCHITECT:	MILLER & ASSOC	CONTACT: JIM MILLER
ADDRESS:	2823 RICHMOND N.E.	PHONE: 884-1255
OWNER:	<del> </del>	CONTACT:
ADDRESS:	<del></del>	PHONE:
SURVEYOR:	<del></del>	CONTACT:
ADDRESS:		PHONE:
CONTRACTOR:	<del></del>	CONTACT:
ADDRESS:	S: PHONE:	
PRE-DESIGN MEETING	<b>}</b> :	
YES	•	DRB NO.
X_NO		EPC NO.
COPY OF CONFE	RENCE RECAP	PROJ.NO
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TYPE OF SUBMITTAL:		CHECK TYPE OF APPROVAL SOUGHT:
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		GRADING/PAVING PERMIT APPROVAL
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		OTTILIT OLITTI TOATL OF OCCUPANCE
DATE	SUBMITTED: March 04, 1996	
	BY: Herman Hood	





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 15, 1995

Tom Mann Engineering & Surveying Assoc. 5312 Noreen NE Albuquerque, New Mexico

RE: GRADING AND DRAINAGE PLAN FOR SERVICE GLASS, LOT 9, RICHFIELD PARK, (C17-D2A13), SUBMITTED FOR SITE DEVELOPMENT PLAN AND BUILDING PERMIT, ENGINEER'S STAMP DATED 1/25/95.

Dear Mr. Mann:

Based on the information provided in the above referenced resubmittal of January 26, 1995, the plan is approved for Building permit release.

Please be advised that prior to Certificate of Occupancy release, the Engineer's Certification per the D.P.M. checklist will be required.

Please note that although storm drainage improvements have been made in the area, no request for a Letter of Map Revision has been sent to FEMA, therefore the floodplain technically still remains and the owner may be subject to flood insurance.

Also note that the off-site flows from Lot 8 will be redirected to Colombine Avenue per the Master Plan when that lot is developed.

If you should have any questions, please do not hesitate to call me.

Sincerely,

Susan M. Calongne, P.E

City/County Floodplain Administrator

C: Andrew Garcia, City Hydrology George Brunacini, Owner File

LEGAL DESCRIPTION: Lot 9 Richfield Park	PROJECT TITLE: Service Glass	ZONE ATLAS/DRNG. FILE #: C-/7 - DZA 13
ENGINEERING FIRM: Engineering & Surveying Descontact: Tom Mann  ADDRESS: 5312 Noren NE PHONE: 298-4651  OWNER: George Brunicial CONTACT: George Brunicial  ADDRESS: PHONE: 263-7777  ARCHITECT: Claudio Vigil CONTACT: Claudio Vigil PHONE: 342-1113  SURVEYOR: Engineering & Surveying Associ CONTACT: Tom Mann  ADDRESS: PHONE: 798-4651  CONTACT: George Brunicial  CONTACT: George Brunicial  CONTACT: Tom Mann  ADDRESS: PHONE: 728-4651  CONTACT: George Brunicial  CONTACT: George Brunicial  CONTACT: George Brunicial  CONTACT: Tom Mann  PHONE: 728-7777  PRE-DESIGN MEETING:  PHONE: 728-7777  PRE-DESIGN MEETING:  ORB NO.  EPC NO.  COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO.  COPY OF CONFERENCE RECAP SHEET PROVIDED  PROJ. NO.  COPY OF CONFERENCE RECAP SHEET PROVIDED  PROJ. NO.  CONCEPTUAL GRADING AND DRAINAGE PLAN  CONCEPTUAL GRADING AND DRAINAGE PLAN  GRADING PLAN  EROSION CONTROL PLAN  GRADING PERMIT APPROVAL	LEGAL DESCRIPTION: Lot 9 Richfield Park	
ADDRESS: \$312 Nozer NE PHONE: 296-4651  OWNER: George Brunicia: Contact: George Brunicia:  ADDRESS PHONE: 263-7777  ARCHITECT: Claudid Vigil CONTACT: Claudid Vigil  ADDRESS: 1305 Tileres NW PHONE: \$42-1113  SURVEYOR: Enqueering & Surveying Assoc CONTACT: I om Mann  ADDRESS: PHONE: 798-4651  CONTRACTOR: George Brunicia: CONTACT: George Brunicia:  ADDRESS: PHONE: 763-7777  PRE-DESIGN MEETING:  YES DRS NO.  EPC NO.  COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO.  TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT:  DRAINAGE REPORT SKETCH PLAT APPROVAL  CONCEPTUAL GRADING AND DRAINAGE PLAN  CONCEPTUAL GRADING AND DRAINAGE PLAN  EROSION CONTROL PLAN  EROSION CONTROL PLAN  ENGINEER'S CERTIFICATION  FOUNDATION PERMIT APPROVAL  GRADING/PAVING PERMIT APPROVAL	CITY ADDRESS: 4608 Columbine NE	
OWNER: George Brunical  ADDRESS  ADDRESS  PHONE: 26-3-7777  ARCHITECT: Claudio Vigil CONTACT: Claudio Vigil  ADDRESS: 1305 Tylers New PHONE: 342-1113  SURVEYOR: Enquieecing & Surveying Assoc CONTACT: Tom Mains  ADDRESS: PHONE: 758-4651  CONTACTOR: George Brunical CONTACT: George Brunical  ADDRESS: PHONE: 763-7777  PRE-DESIGN MEETING:  YES DR3 NO.  EPC NO.  COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO.  TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT:  DRAINAGE REPORT SKETCH PLAT APPROVAL  CONCEPTUAL GRADING AND DRAINAGE PLAN  CONCEPTUAL GRADING AND DRAINAGE PLAN  EROSION CONTROL PLAN  EROSION CONTROL PLAN  ENGINEER'S CERTIFICATION  FOUNDATION PERMIT APPROVAL  GRADING PERMIT APPROVAL	ENGINEERING FIRM: Engineering & Survey in aless	CONTACT: Tom Mann
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ADDRESS: 1305 TILERS NW PHONE: 842-1113  SURVEYOR: Engineering & Surveying Assoc Contact: Tom Mann  ADDRESS: PHONE: 798-4691  CONTACTOR: George Bringing  ADDRESS: PHONE: 263-7777  PRE-DESIGN MEETING:  YES DAB NO.  EPC NO.  COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO.  TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT:  DRAINAGE REPORT SKETCH PLAT APPROVAL  DRAINAGE PLAN PRELIMINARY PLAT APPROVAL  CONCEPTUAL GRADING AND DRAINAGE PLAN  GRADING PLAN SITE DEVELOPMENT PLAN APPROVAL  EROSION CONTROL PLAN FINAL PLAT APPROVAL  EROSION CONTROL PLAN FINAL PLAT APPROVAL  CERTIFICATE OF OCCUPANCY APPROVAL  GRADING/PAVING PERMIT APPROVAL	ADDRESS	PHONE: 263-777
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CONTRACTOR: George Bruncoins.  ADDRESS: PHONE: 263-7777  PRE-DESIGN MEETING: YES DRB NO	SURVEYOR: Engineering & Surveying Assoc.	CONTACT: Tom Mann
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	ZONE ATLAS/DRNG. FILE #: C-17/02/13
LEGAL DESCRIPTION: Lot 9 Richfield Park	
CITY ADDRESS: 4608 Columbine NE	
ENGINEERING FIRM: Engineering & Surveying Asso	CCONTACT: Tom Mann
ADDRESS: 5312 Noveen NE	PHONE: 298-4651
OWNER: George Brunicini	CONTACT: George Brunicini
ADDRESS	PHONE: 263-777
ARCHITECT: Claudio Vigi	CONTACT: Claudio Vigil
ADDRESS: 1305 Tyleras NW	PHONE: 842-1113
SURVEYOR: Engineering & Surveying Assoc	CONTACT: Tom Mann
ADDRESS:	PHONE: 298-4651
CONTRACTOR: George Brunceine	CONTACT: George Branicini
ADDRESS:	PHONE: 763-7777
PRE-DESIGN MEETING:	
YES	DRB NO
<u>No</u>	EPC NO
COPY OF CONFERENCE RECAP SHEET PROVIDED	PROJ. NO
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT APPROVAL
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DATE SUBMITTED: 1/9/95  BY: Jonn Wann	OTHER SPECIFY)  JAN - 9 1995



## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 23, 1995

Tom Mann Engineering & Surveying Assoc. 5312 Noreen NE Albuquerque, New Mexico

RE: GRADING AND DRAINAGE PLAN FOR SERVICE GLASS, LOT 9, RICHFIELD PARK, (C17-D2A13), SUBMITTED FOR SITE DEVELOPMENT PLAN AND BUILDING PERMIT, ENGINEER'S STAMP DATED 1/9/95.

#### Dear Mr. Mann:

Prior to approval of the above referenced plan, the following comments must be addressed:

- 1. Although storm drainage improvements have been constructed in the area, this site remains in a designated flood hazard area according to FEMA. Please show the limits of the 100-year floodplain on the site plan and reference the FIRM panel number. Also delineate the lot on the FEMA map. A note should be added to the plan stating that a Letter of Map Revision has not been obtained from FEMA and that the property owner may be subject to the flood insurance regulations established by the National Flood Insurance Program.
- The plan mentions that a Master Plan has been approved for the subdivision. Please reference the Master plan. Was it prepared using new hydrology?
- 3. It appears that off-site flows enter the site from the east side. Please delineate the off-site basin and calculate the off-site flows which impact this site.
- Is the existing drainage swale on the south side of the property within a drainage easement? Please identify any existing easements adjacent to the property, if any.

If you should have any questions, please do not hesitate to call me.

Sincerely,

Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology George Brunacini, Owner File