

December 4, 1996

Martin J. Chávez, Mayor

Chris Weiss  
C.L. Weiss Engineering  
P.O. Box 97  
Sandia Park, NM 87047

**RE: REVISED ENGINEER CERTIFICATION FOR OFFICE WAREHOUSE  
FACILITY (C17-D2A14) CERTIFICATION STATEMENT DATED 11/8/96  
AND ENGINEER'S STAMP DATED 11/22/96.**

Dear Mr. Weiss:

Based on the information provided on your November 25, 1996 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/dl

c: Andrew Garcia  
File



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Office Warehouse Facility ZONE ATLAS / DRNG. FILE #: C-17/D2A14  
LEGAL DESCRIPTION: Lots 10 and 11, Richfield Park Subdivision, Albuquerque NM  
CITY ADDRESS: Columbine Ave. NE

ENGINEERING FIRM: C.L. Weiss Engineering CONTACT: Chris Weiss

ADDRESS: P.O. Box 97, Sandia Park NM, 87047 PHONE: 281-1800

OWNER: John Mechenbier CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: BDA Architecture CONTACT: Chris Rasmussen

ADDRESS: 6000 Uptown Blvd. NE 87110 PHONE: 266-0593

SURVEYOR: Forstbauer Surveying Co. CONTACT: Ron Forstbauer

ADDRESS: 1100 Alvarado Dr. NE - 87110 PHONE: 268-2112

CONTRACTOR FIRM: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### PRE-DESIGN MEETING:

\_\_\_\_\_ YES

\_\_\_\_\_ NO

\_\_\_\_\_ COPY OF CONFERENCE RECAP  
SHEET PROVIDED

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

### TYPE OF SUBMITTAL:

\_\_\_\_\_ DRAINAGE REPORT

☒ DRAINAGE PLAN

\_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

\_\_\_\_\_ EROSION CONTROL PLAN

\_\_\_\_\_ ENGINEER'S CERTIFICATION

### CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_\_ SKETCH PLAT

\_\_\_\_\_ PRELIMINARY PLAT

\_\_\_\_\_ SITE DEVELOPMENT PLAN

\_\_\_\_\_ FINAL PLAT

☒ BUILDING PERMIT

\_\_\_\_\_ FOUNDATION PERMIT

\_\_\_\_\_ CERT. OF OCCUPANCY

\_\_\_\_\_ ROUGH GRADING PERMIT

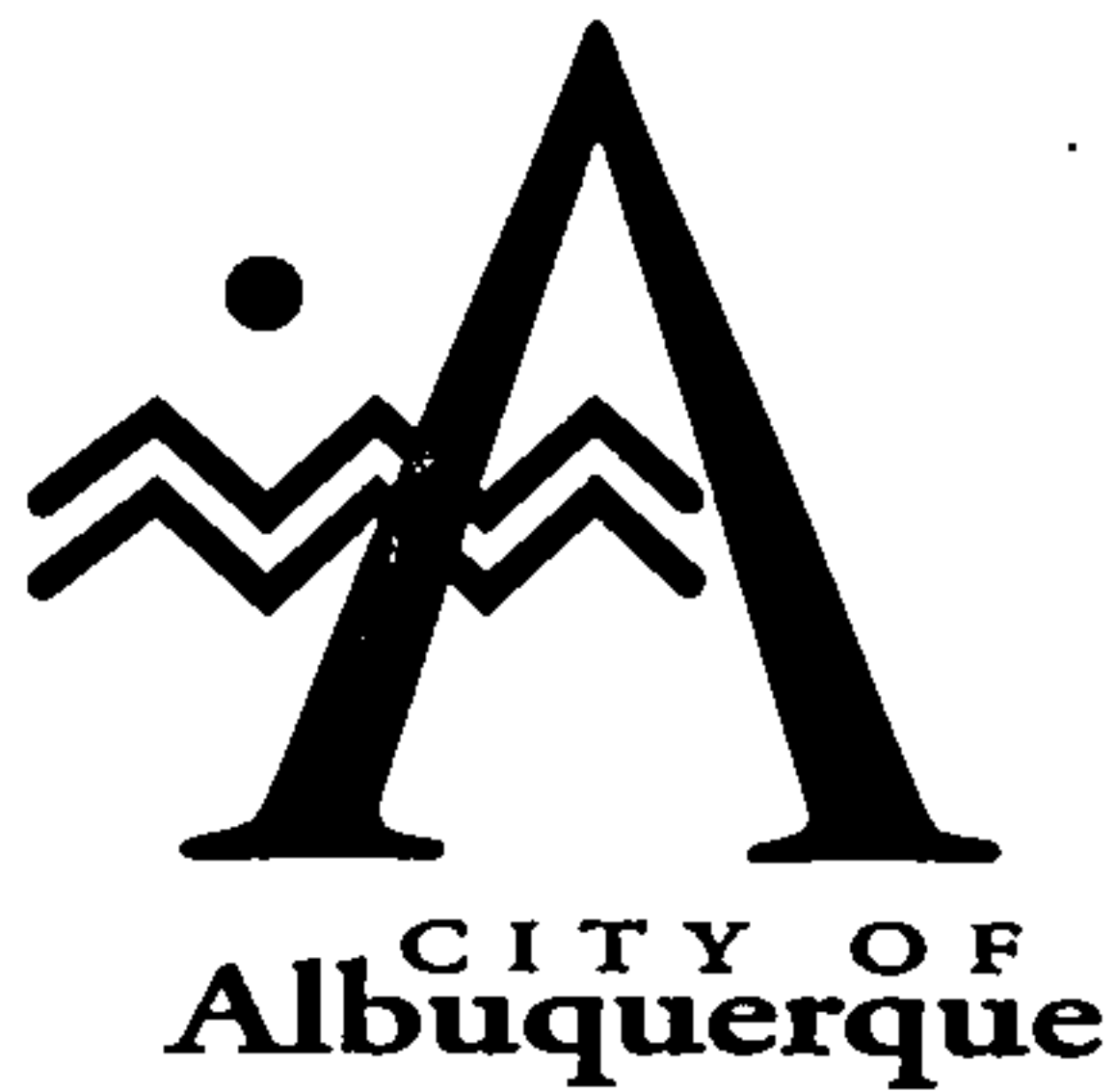
\_\_\_\_\_ GRADING / PAVING PERMIT

\_\_\_\_\_ OTHER \_\_\_\_\_

DATE SUBMITTED: March 9, 1995

BY: C.L. Weiss Engineering, Inc.

MAR 15



November 18, 1996

**Martin J. Chávez, Mayor**

Chris Weiss  
C.L. Weiss Engineering  
P.O. Box 97  
Sandia Park, NM 87047

**RE: ENGINEER CERTIFICATION FOR OFFICE WAREHOUSE FACILITY  
(C17-D2A14) CERTIFICATION STATEMENT DATED 11/8/96.**

Dear Mr. Weiss:

Based on the information provided on your November 12, 1996 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. As-built designation on your legend.
2. S.O. 19 approval plan or tag for the sidewalk culvert. Re-date you certification and resubmittal.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/dl

c: Andrew Garcia  
File



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Office Warehouse Facility ZONE ATLAS / DRNG. FILE #: C-17/KJ 2A14  
LEGAL DESCRIPTION: Lots 10 and 11, Richfield Park Subdivision, Albuquerque NM  
CITY ADDRESS: Columbine Ave. NE

ENGINEERING FIRM: C.L. Weiss Engineering CONTACT: Chris Weiss

ADDRESS: P.O. Box 97, Sandia Park NM, 87047 PHONE: 281-1800

OWNER: John Mechenbier CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: BDA Architecture CONTACT: Chris Rasmussen

ADDRESS: 6000 Uptown Blvd. NE 87110 PHONE: 266-0593

SURVEYOR: Forstbauer Surveying Co. CONTACT: Ron Forstbauer

ADDRESS: 1100 Alvarado Dr. NE - 87110 PHONE: 268-2112

CONTRACTOR FIRM: N/A CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### PRE-DESIGN MEETING:

☐ YES

☐ NO

☐ COPY OF CONFERENCE RECAP  
SHEET PROVIDED

DRB NO. 95-102

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION

### CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT

☐ PRELIMINARY PLAT

☐ SITE DEVELOPMENT PLAN

☐ FINAL PLAT

☐ BUILDING PERMIT

☐ FOUNDATION PERMIT

☒ CERT. OF OCCUPANCY

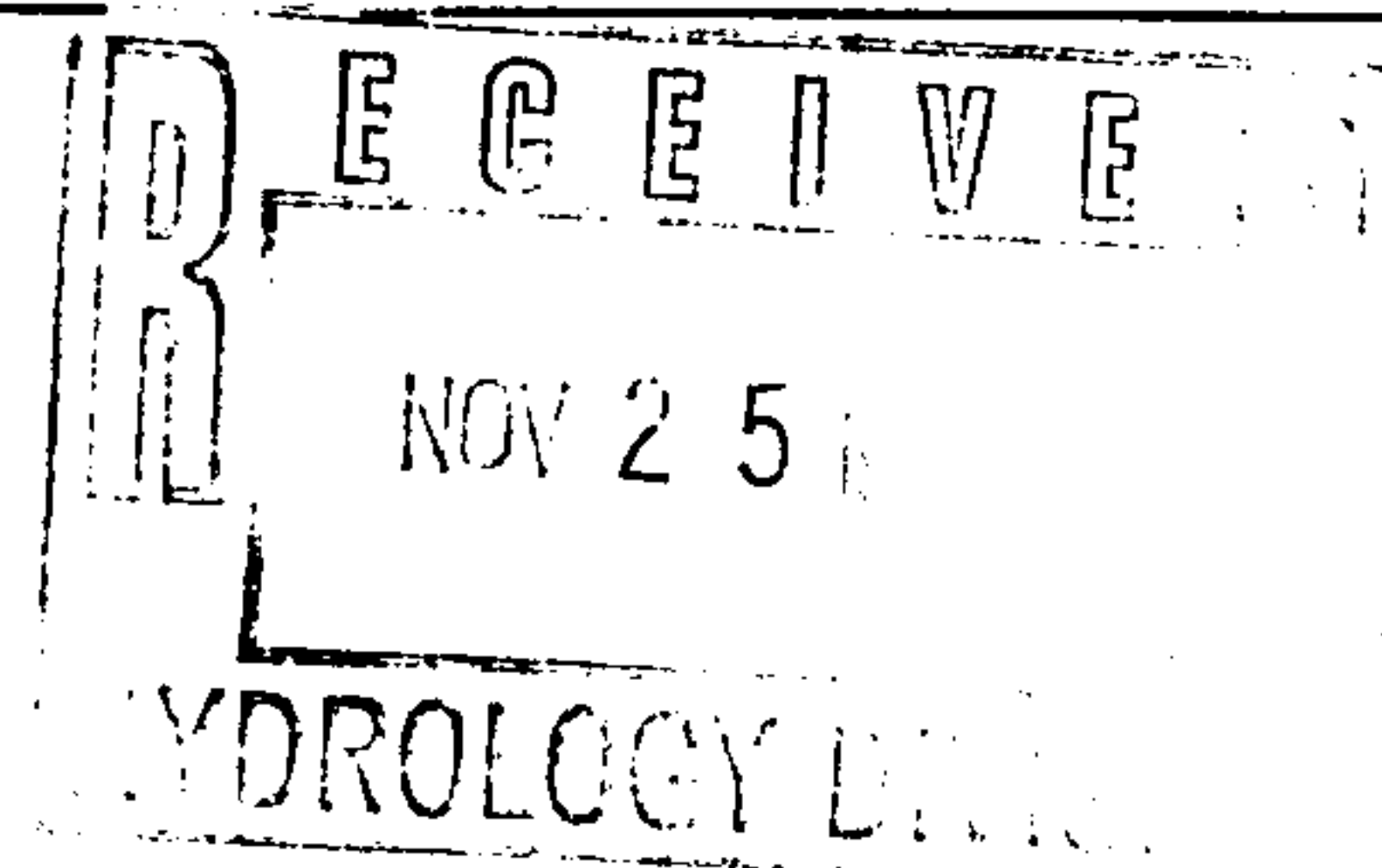
☐ ROUGH GRADING PERMIT

☐ GRADING / PAVING PERMIT

☐ OTHER \_\_\_\_\_

DATE SUBMITTED: November 22, 1996

BY: C.L. Weiss Engineering, Inc.







# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 21, 1995

Chris Weiss, P.E.  
C. L. Weiss Engineering  
P. O. Box 97  
Sandia Park, New Mexico 87047

**RE: GRADING AND DRAINAGE PLAN FOR OFFICE WAREHOUSE  
FACILITY, LOTS 10 & 11, RICHFIELD PARK, C17/D2A14,  
SUBMITTED FOR BUILDING PERMIT APPROVAL, ENGINEER'S  
STAMP DATED 3/9/95.**

Dear Mr. Weiss:

Based on the information provided in the above referenced submittal of March 15, 1995, the drainage plan is approved for Building Permit release.

Please be advised that prior to Certificate of Occupancy release, the Engineer's Certification per the D.P.M. checklist will be required.

If you have any questions, or if I may be of further assistance, please do not hesitate to call.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology  
File



C.L. Weiss Engineering, Inc  
Post Office Box 97  
Sandia Park, N.M. 87047

Phone / Fax (505) 281-1800  
Alvarado Office (505) 266-3444

March 10, 1995

Susan M. Calongne, P.E.  
City / County Floodplain Administrator

RE: DG PLAN EXHIBITS FOR LOTS 10/11, RICHFIELD PARK SUBDIVISION

Dear Ms. Calongne,

Enclosed with this letter, please find two copies of the Drainage / Grading Plan for the above referenced project for your review. The following revision has been made:

1. Note #11 added: *Landscaped area drains to street (total area = 9500 sf)*. This number represents the discrepancy between the site area total and the basin areas total.

We greatly appreciate the phone call to discuss the discrepancy. If you have any questions or comments concerning this submittal, please feel free to call me at our Alvarado Office at 266-3444 or Chris Weiss at our Sandia Park Office at 281-1800.

Sincerely,

A handwritten signature in black ink, appearing to read "Bryan J. Bobrick".

Bryan J. Bobrick, Project Manager  
C.L. Weiss Engineering, Inc.

::reviewed and approved by Chris Weiss, P.E.  
Principle Engineer

MAR 15

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Office Warehouse Facility ZONE ATLAS / DRNG. FILE #: C-17/02A14  
LEGAL DESCRIPTION: Lots 10 and 11, Richfield Park Subdivision, Albuquerque NM  
CITY ADDRESS: Columbine Ave. NE

ENGINEERING FIRM: C.L. Weiss Engineering CONTACT: Chris Weiss

ADDRESS: P.O. Box 97, Sandia Park NM, 87047 PHONE: 281-1800

OWNER: John Mechenbier CONTACT: \_\_\_\_\_

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☒ CERT. OF OCCUPANCY

☐ ROUGH GRADING PERMIT

☐ GRADING / PAVING PERMIT

☐ OTHER \_\_\_\_\_

DATE SUBMITTED: November 8, 1996

BY: C.L. Weiss Engineering, Inc.

