

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 17, 1995

Kim R. Kemper, P.E. Kemper-Vaughan Consulting Engineers 3700 Coors Rd. NW Albuquerque, New Mexico 87120

RE: REVISED GRADING AND DRAINAGE PLAN FOR NEAL MEISNER, LOTS 7 & 8, RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP DATED 10/9/95.

Dear Mr. Kemper:

Based on the information provided with the submittal of October 10, 1995, the above referenced plan for the addition of the canopy is approved for Building Permit release.

Once the construction of the parking canopy is complete, please call to request a final inspection by City Hydrology.

If you have any questions, or if I may be of further assistance, please do not hesitate to call.

Sincerely,

Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology Brad Litle, Owner File



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 1, 1995

Kim R. Kemper, P.E. Kemper-Vaughan Consulting Engineers 3700 Coors Rd. NW Albuquerque, New Mexico 87120

RE: ENGINEER'S CERTIFICATION FOR NEAL MEISNER, LOT 7 & 8, RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP DATED

8/31/95.

Dear Mr. Kemper:

Based on the information provided in the submittal of August 31, 1995, the Engineer's Certification for the above referenced project is acceptable for Certificate of Occupancy release.

If you should have any questions or if I can be of further assistance to you, please call me at 768-2666.

Sincerely,

Justa Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology Brad Litle, Owner

File___

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	NEAL MEISNER	ZONE ATLAS/DRN	G. FILE #: <u>C-17/66</u>
DRB #:	EPC #:	WORK	ORDER #:
LEGAL DESCRIPTION	N: LOT 7 ; LOT 8	BICHFIELD PARK	SUBDIVISION
CITY ADDRESS:			
ENGINEERING FIRM	1: KEMPER-VAUGHAN CONSU	LTING FORSONTACT:	KIM R. BEMPER
ADDRESS:	3700 Cools RD NW 3	7120 PHONE:	831-4520
OWNER: DIZ	4-BILT PRODUCTS INC	CONTACT:	BRAD LITLE
ADDRESS:	4808 JEFFERSON	PHONE:	883-9160
ARCHITECT:		CONTACT:	
ADDRESS:		PHONE:	· · · · · · · · · · · · · · · · · · ·
SURVEYOR: 210	GRANGE SURVEYING	CONTACT:	REX VOGLER
	3700 Cooles RD	PHONE:	831-4520
	URA - BILT PRODUCT	CONTACT:	ABOUES
ADDRESS:	AEOUE	PHONE:	
GRADING PL	EPORT LAN GRADING & DRAINAGE PLAN AN NTROL PLAN CERTIFICATION ING:	S. DEV. PLANS. DEV. PLANSECTOR PL	I APPROVAL Y PLAT APPROVAL AN FOR SUB'D. APPROVAL AN FOR BLDG. PERMIT APPROVA N APPROVAL APPROVAL PERMIT APPROVAL ERMIT APPROVAL E OF OCCUPANCY APPROVAL RMIT APPROVAL INAGE REPORT EQUIREMENTS
DATE SUBMITTED:	18/31/95	OTHER	(SPECIFY) AUG 3 1995



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 28, 1995

Kim R. Kemper, P.E. Kemper-Vaughan Consulting Engineers 3700 Coors Rd. NW Albuquerque, New Mexico 87120

RE: GRADING AND DRAINAGE PLAN FOR NEAL MEISNER, LOT 7 & 8, RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP DATED 4/27/95.

Dear Mr. Kemper:

Based on the information provided with the resubmittal of April 27, 1995, the above referenced plan is approved for Building Permit release.

Please be advised that the Engineer's Certification per the D.P.M. will be required prior to release of the Certificate of Occupancy.

If you have any questions, or if I may be of further assistance, please do not hesitate to call.

Sincerely,

Susan M. Calongne, P.E.

Just Calangne

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology File

OJECT TITLE: NEAL MEISNER B #: EPC #: GAL DESCRIPTION: LOT 7 ; LOT 8 PICE	ZONE ATLAS/DRNG. FILE #: C-17/12A 15 WORK ORDER #: LEFL D PARK SUBDIVISION
TY ADDRESS: GINEERING FIRM: KEMPER-VALGHAN CONSULTING E	FILE CONTACT. KIM R. KEMPER_
GINEERING FIRM: EMPER-VALUETAN COMMINICA	
ADDRESS: <u>3700 Coops</u> RD NW 8712	D PHONE: 831-4520
NER: DUPA-BILT	CONTACT: BRAD LITLE
ADDRESS: 4808 JEFFERSON	PHONE:883-9100
•	CONTACT:
ADDRESS:	PHONE:
RVEYOR: RIO GRANDE SURVEYING	CONTACT: FEX VOGLER
ADDRESS: 3700 Coops RD NW 871	ZO PHONE: 831-4570
NTRACTOR: DURA - BILT	CONTACT:
ADDRESS: ABOUE	PHONE:
DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION OTHER PRE-DESIGN MEETING:	PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL
COPY PROVIDED	S.A.D. DRAINAGE REPORT DRAINAGE REQUIREMENTS OTHER (SPECIFY)

BY: Sur Brush

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P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 1995

Kim R. Kemper, P.E. Kemper-Vaughan Consulting Engineers 3700 Coors Rd. NW Albuquerque, New Mexico 87120

RE: GRADING AND DRAINAGE PLAN FOR NEAL MEISNER, LOT 7 & 8, RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP DATED 3/30/95.

Dear Mr. Kemper:

The plan provided in the above referenced submittal is substantially complete, however, prior to Building Permit approval, the following comments must be addressed:

- 1. As identified on FIRM panel 9, a portion of this property is within a FEMA floodplain, specifically within zone AO, depth 1. The City flood hazard ordinance requires that the finish floor elevation be a minimum of one foot above the base flood elevation (bfe). Adjacent to this site, the flowline is approximately at elevation 104.62, therefore the bfe would be at elevation 105.62 (at 1' depth), and the finish floor should be at 106.62. Although improvements have been constructed in the area, it is recommended that the finish floor elevation be raised.
- 2. The plan must address off-site flows. It appears that off-site flows enter the site from the east.

If you should have any questions, please do not hesitate to call me at 768-2666.

Sincerely,

Just Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology File

DRAINAGE INFORMATION SHEET

TICONOT THEFT	ZONE ATLAS/DRNG. FILE #:	
DRB #: EPC #: LEGAL DESCRIPTION: LOT 7 ; LOT 8 P	ICHFIELD PARK SUBDIVISION	
CITY ADDRESS: ENGINEERING FIRM: KEMPER-VALGHAN CONSULTING	ENGES CONTACT: KIM R. KEMPER	
ENGINEERING FIRM: FLOTON COORS RD NW 87	122 BUONE. 831-4520	
•		
OWNER: DUPA-BILT	CONTACT: BEAD LITLE	
ADDRESS: 4808 JEFFERSON	PHONE:883-9100	
ARCHITECT:	CONTACT:	
	PHONE:	
ADDRESS: SURVEYOR: PIO GRANDE SURVEYNY	CONTACT: REX VOGLER	
SURVEYOR: 200 Closes RD NW 8		
	CONTACT:	
CONTRACTOR: DURA-BILT	PHONE:	
ADDRESS: ABOUE	PHONE:	
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT: SKETCH PLAT APPROVAL	
DRAINAGE REPORT	PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL	
DRAINAGE PLAN		
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL	
GRADING PLAN EROSION CONTROL PLAN	SECTOR PLAN APPROVAL	
ENGINEER'S CERTIFICATION	FINAL PLAT APPROVAL	
OTHER	FOUNDATION PERMIT APPROVAL	
	BUILDING PERMIT APPROVAL	
PRE-DESIGN MEETING:	CERTIFICATE OF OCCUPANCY APPROVAL	
YES	GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL S.A.D. DRAINAGE REPORT	
NO		
COPY PROVIDED	DRAINAGE REQUIREMENTS	
	OTHER (SPECIFY)	
, 3/30/95	DEGENE	

DATE SUBMITTED: 3/30/95

BY: Superior S

