



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 17, 1995

Kim R. Kemper, P.E.
Kemper-Vaughan Consulting Engineers
3700 Coors Rd. NW
Albuquerque, New Mexico 87120

**RE: REVISED GRADING AND DRAINAGE PLAN FOR NEAL MEISNER,
LOTS 7 & 8, RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP
DATED 10/9/95.**

Dear Mr. Kemper:

Based on the information provided with the submittal of October 10, 1995, the above referenced plan for the addition of the canopy is approved for Building Permit release.

Once the construction of the parking canopy is complete, please call to request a final inspection by City Hydrology.

If you have any questions, or if I may be of further assistance, please do not hesitate to call.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
Brad Litle, Owner
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 1, 1995

Kim R. Kemper, P.E.
Kemper-Vaughan Consulting Engineers
3700 Coors Rd. NW
Albuquerque, New Mexico 87120

**RE: ENGINEER'S CERTIFICATION FOR NEAL MEISNER, LOT 7 & 8,
RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP DATED
8/31/95.**

Dear Mr. Kemper:

Based on the information provided in the submittal of August 31, 1995, the Engineer's Certification for the above referenced project is acceptable for Certificate of Occupancy release.

If you should have any questions or if I can be of further assistance to you, please call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
Brad Litle, Owner
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: NEAL MEISNER ZONE ATLAS/DRNG. FILE #: C-17/KO 2A15
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 7; LOT 8, RICHFIELD PARK SUBDIVISION
CITY ADDRESS: _____
ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING, INC. CONTACT: KIM R. KEMPER
ADDRESS: 3700 COORS RD NW 37120 PHONE: 831-4520
OWNER: DURA-BILT PRODUCTS INC. CONTACT: BRAD LITTLE
ADDRESS: 4808 JEFFERSON PHONE: 883-9100
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: RIO GRANDE SURVEYING CONTACT: REX JOGLER
ADDRESS: 3700 COORS RD PHONE: 831-4520
CONTRACTOR: DURA-BILT PRODUCT CONTACT: ABOVE
ADDRESS: ABOVE PHONE: _____

TYPE OF SUBMITTAL:

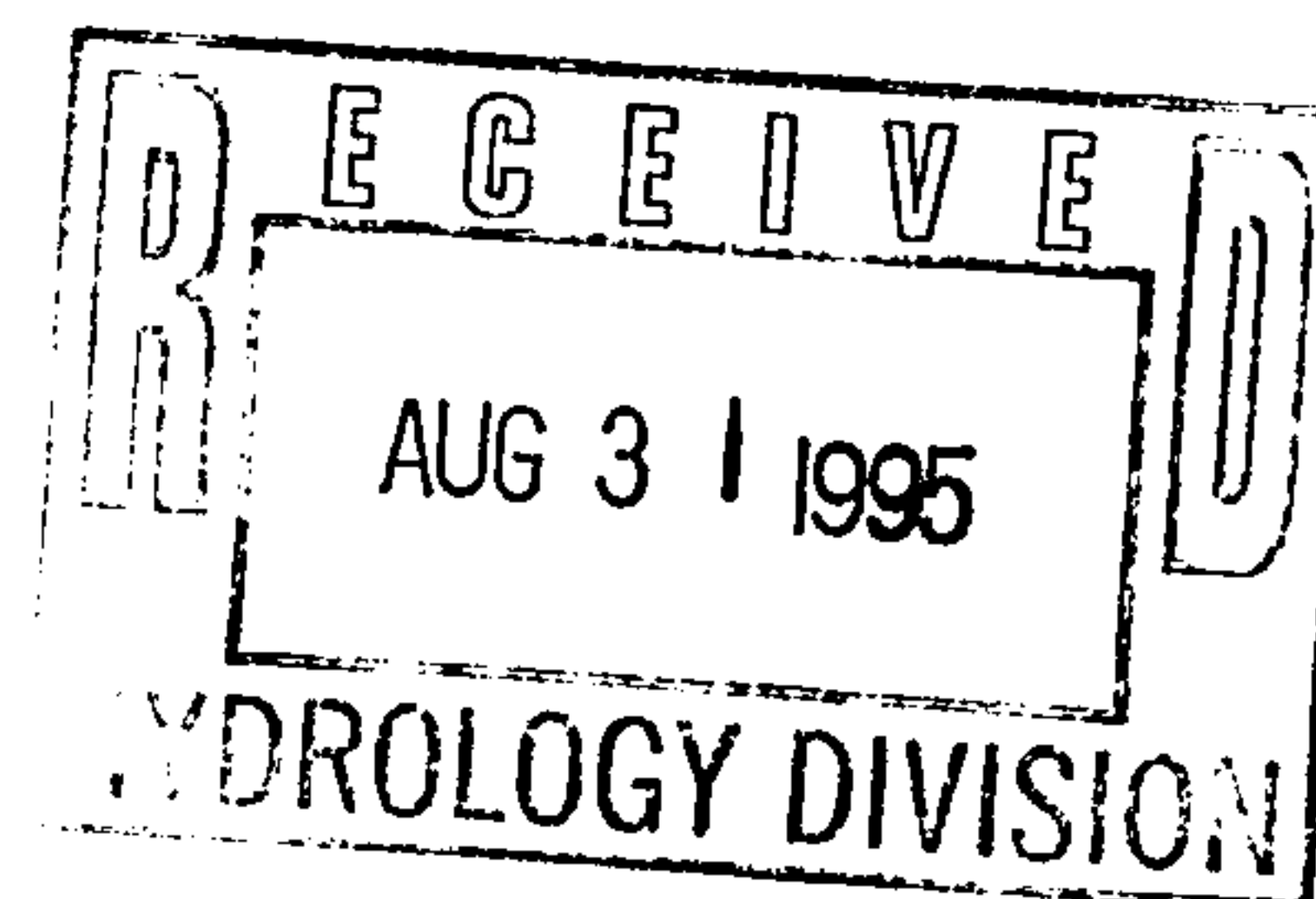
____ DRAINAGE REPORT
____ DRAINAGE PLAN
____ CONCEPTUAL GRADING & DRAINAGE PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
____ OTHER _____

PRE-DESIGN MEETING:

____ YES
____ NO
____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY APPROVAL
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (SPECIFY)

DATE SUBMITTED: 8/3/95BY: [Signature]



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 28, 1995

Kim R. Kemper, P.E.
Kemper-Vaughan Consulting Engineers
3700 Coors Rd. NW
Albuquerque, New Mexico 87120

**RE: GRADING AND DRAINAGE PLAN FOR NEAL MEISNER, LOT 7 & 8,
RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP DATED
4/27/95.**

Dear Mr. Kemper:

Based on the information provided with the resubmittal of April 27, 1995, the above referenced plan is approved for Building Permit release.

Please be advised that the Engineer's Certification per the D.P.M. will be required prior to release of the Certificate of Occupancy.

If you have any questions, or if I may be of further assistance, please do not hesitate to call.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File

PROJECT TITLE: NEAL MEISNER ZONE ATLAS/DRNG. FILE #: C-17/D2A15
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 7 & LOT 8 RICHFIELD PARK SUBDIVISION
CITY ADDRESS: _____
ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING ENGRS CONTACT: KIM R. KEMPER
ADDRESS: 3700 COORS RD NW 87120 PHONE: 831-4520
OWNER: DURA-BILT CONTACT: BRAD LITTLE
ADDRESS: 4808 JEFFERSON PHONE: 883-9100
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: RIO GRANDE SURVEYING CONTACT: REX VOGLER
ADDRESS: 3700 COORS RD NW 87120 PHONE: 831-4520
CONTRACTOR: DURA-BILT CONTACT: _____
ADDRESS: ABOVE PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

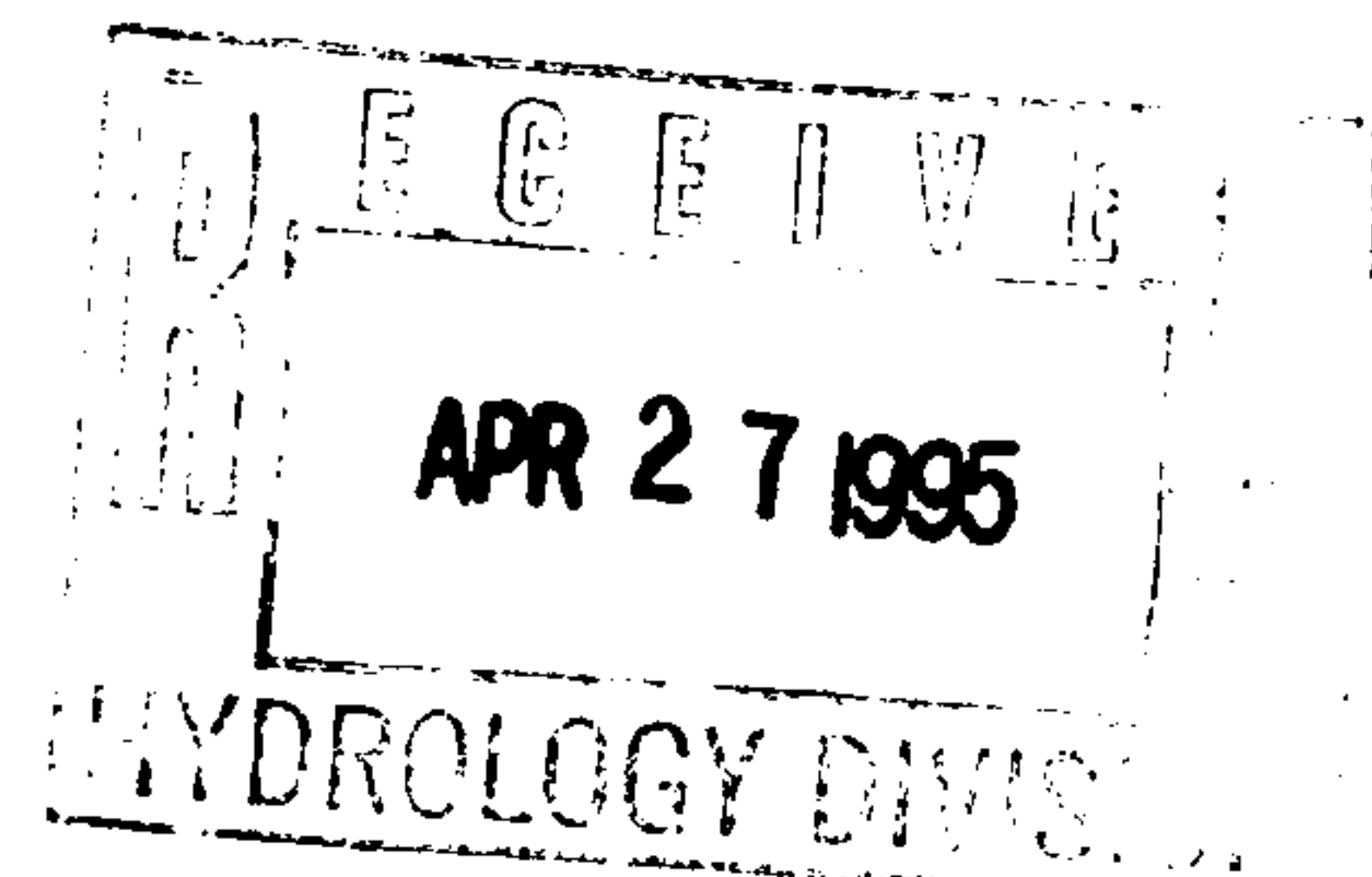
PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

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☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

BY: Kim R. Kemper



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 19, 1995

Kim R. Kemper, P.E.
Kemper-Vaughan Consulting Engineers
3700 Coors Rd. NW
Albuquerque, New Mexico 87120

RE: GRADING AND DRAINAGE PLAN FOR NEAL MEISNER, LOT 7 & 8,
RICHFIELD PARK, (C17/D2A15), ENGINEER'S STAMP DATED 3/30/95.

Dear Mr. Kemper:

The plan provided in the above referenced submittal is substantially complete, however, prior to Building Permit approval, the following comments must be addressed:

1. As identified on FIRM panel 9, a portion of this property is within a FEMA floodplain, specifically within zone AO, depth 1. The City flood hazard ordinance requires that the finish floor elevation be a minimum of one foot above the base flood elevation (bfe). Adjacent to this site, the flowline is approximately at elevation 104.62, therefore the bfe would be at elevation 105.62 (at 1' depth), and the finish floor should be at 106.62. Although improvements have been constructed in the area, it is recommended that the finish floor elevation be raised.
2. The plan must address off-site flows. It appears that off-site flows enter the site from the east.

If you should have any questions, please do not hesitate to call me at 768-2666.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: NEAL MEISNER ZONE ATLAS/DRNG. FILE #: C-17/2A15
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 7 ; LOT 8 RICHFIELD PARK SUBDIVISION
CITY ADDRESS: _____
ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING ENGRS CONTACT: KIM R. KEMPER
ADDRESS: 3700 COORS RD NW 87120 PHONE: 831-4520
OWNER: DURA-BILT CONTACT: BRAD LITTLE
ADDRESS: 4808 JEFFERSON PHONE: 883-9100
ARCHITECT: _____ CONTACT: _____
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SURVEYOR: RIO GRANDE SURVEYING CONTACT: REX VOGLER
ADDRESS: 3700 COORS RD NW 87120 PHONE: 831-4520
CONTRACTOR: DURA-BILT CONTACT: _____
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PRE-DESIGN MEETING:

- ☐ YES
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☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

BY: Kim R. Kemper