

LEGAL DESCRIPTION

LOT B, TRACT 4
LANDS OF LOS ANGELES INVESTORS,
ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO.

DRAINAGE CALCULATIONS

I. REFERENCES:

- SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO IN COOPERATION WITH BERNALILLO COUNTY, NEW MEXICO AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
- FLOODWAY, FLOOD BOUNDARY AND FLOODWAY MAP, CITY OF ALBUQUERQUE, NEW MEXICO, PANEL 9 OF 50.
- ZONE ATLAS PAGE C-17-Z.

II. GENERAL INFORMATION:

- SITE LIES IN ZONE TWO(2) (SEE REF. A. PAGE A-1)
- 100 YEAR, 6 HOUR RAINFALL CRITERIA
- TIME OF CONCENTRATION, $T_c = 0.2$ hr (12 MINUTES).

III. IMPERVIOUSNESS:

TREATMENT	TYPES OF SURFACES	EXISTING SQ. FT.	ACRES	PROPOSED SQ. FT.	ACRES
A	UNDEVELOPED	43560	1.0000	24000	0.5510
B	LANDSCAPING	0	0.0000	1875	0.0430
C	COMPACTED/VACANT	0	0.0000	0	0.0000
D	IMPERVIOUS	0	0.0000	17685	0.4060
	TOTAL AREA (TA)	43560	1.0000	43560	1.0000

IV. PEAK DISCHARGE 100 YEAR (REF. A, TABLE A-9):

TREATMENT	TYPES OF SURFACES	EXISTING CFS/Ac	Qp(100)	PROPOSED CFS/Ac	Qp(100)
A	UNDEVELOPED	1.56	1.56	1.56	0.86
B	LANDSCAPING	2.28	0.00	2.28	0.10
C	COMPACTED/VACANT	3.14	0.00	3.14	0.00
D	IMPERVIOUS	4.70	0.00	4.70	1.91
	PEAK DISCHARGE FROM SITE	1.56	CFS	2.87	

V. PEAK DISCHARGE 10 YEAR (REF. A, TABLE A-9):

TREATMENT	TYPES OF SURFACES	EXISTING CFS/Ac	Qp(10)	PROPOSED CFS/Ac	Qp(10)
A	UNDEVELOPED	0.38	0.38	0.38	0.21
B	LANDSCAPING	0.95	0.00	0.95	0.04
C	COMPACTED/VACANT	1.71	0.00	1.71	0.00
D	IMPERVIOUS	3.14	0.00	3.14	1.27
	PEAK DISCHARGE FROM SITE	0.38	CFS	1.53	

VI. WEIGHTED "E" 100 YEAR, 6 HR. (REF. A, TABLE A-8):

TREATMENT	TYPES OF SURFACES	EXISTING E	EXA/TA	PROPOSED E	EXA/TA
A	UNDEVELOPED	0.53	0.53	0.53	0.29
B	LANDSCAPING	0.78	0.00	0.78	0.03
C	COMPACTED/VACANT	1.13	0.00	1.13	0.00
D	IMPERVIOUS	2.12	0.00	2.12	0.86
	WEIGHTED "E" FACTOR		0.53 IN		1.19

VI. VOLUME 100 YEAR, V(360) (REF. A, TABLE A-8):

EXISTING	$0.53 \times 1.00/12 =$	0.04 AC. FT.	1923.90 CU. FT.
PROPOSED	$1.19 \times 1.00/12 =$	0.10 AC. FT.	4306.22 CU. FT.

GENERAL NOTES:

- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

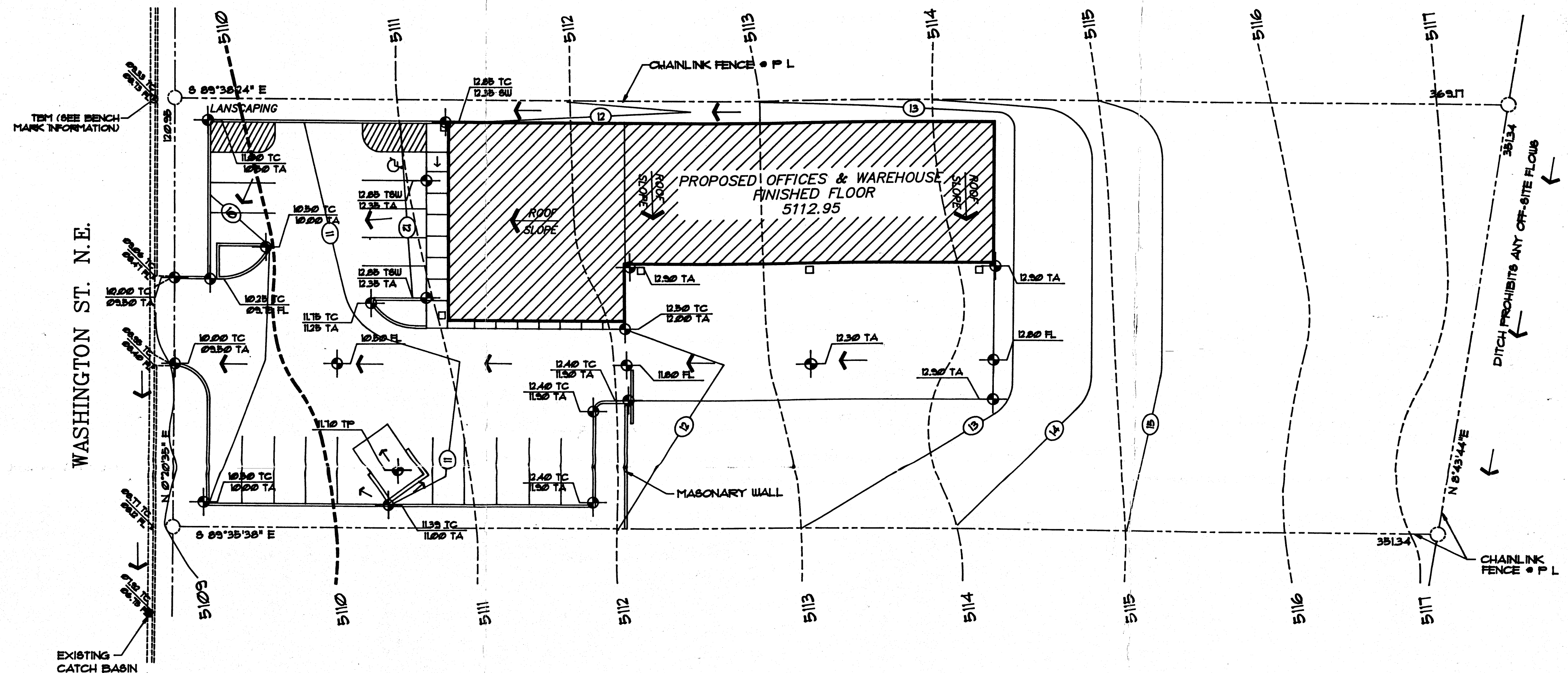
EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF TO LEAVE THE SITE AND ENTERING ADJACENT PROPERTY.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

BENCH-MARK INFORMATION

TEMPORARY BENCH-MARK BEING THE TOP OF CURB SPRAY PAINTED WHITE (1" TBM) BEARS ELEVATION 5109.33 MBL, REFERENCE TO CITY BENCH-MARK 8-CIT LOCATED NORTH OF PASEO DEL NORTE ON WASHINGTON ST. NE BEING A BRASS CAP IN A CURB ON THE WEST SIDE OF THE STREET BEARS ELEVATION 5110.31 MBL.



NOTE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standard Specification for Public Works Construction 1985.
- Two working days prior to any excavation, contractor must contact line locating services at (505) 260-1990 for locating existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all utilities. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to residential street use.
- Maintenance of asphalt swale shall be the responsibility of the Owner of property served. Swales shall have a minimum slope of 0.75%.

Project Brief:

This is an in-fill development on a vacant lot. The existing terrain slopes from east to west. A private drainage easement adjacent to the lot on the east side with an earthen ditch, alleviates any off-site flows. Development on adjacent lots' interior drainage schemes prohibits any off-site flows from the side lots. All run-off generated from this site is discharged into Washington St. N.E. Washington St. has curb & gutter with drainage infrastructure which subsequently discharges into AMAFCA's North Diversion Channel to the south. The site currently has uncontrolled discharges directly into the street.

The proposed development will not alter existing drainage scheme. The new development will create a swale through the exterior of the lot and drain all the impervious area through the drive pad. A large portion of the roof area will be sloped toward the swale and drained directly onto impervious areas. Discharge run-off from this site will have nominal adverse impact on down stream conditions.

AMENDMENT BRIEF:

The purpose of the amendment is to show changes to approved Grading & Drainage plan. The changes are shown as following.

- Step in Finished Floor has been removed and graded accordingly.
- Relocated dumpster on parking area, provided additional parking spaces and graded accordingly.
- Planters or Islands in parking area are changed for required turning radius.
- Roof slope on the west portion of the building was rotated to drained all run-off to impervious surfaces.

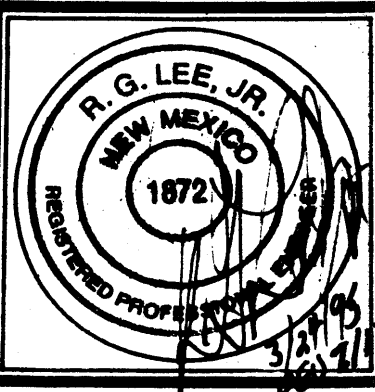
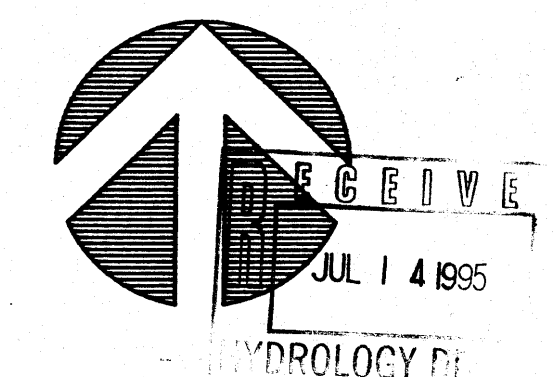
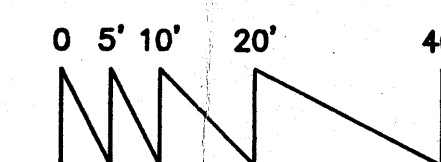
SYMBOL LEGEND

EXISTING CONTOUR	---
DESIGN CONTOUR	---
DESIGN SPOT ELEVATION	66.30 TC
PROPERTY LINE	---
EASEMENT LINE	---
FLOW DIRECTION	→
EXISTING SPOT ELEVATION	5102
PROPOSED HEADER CURB	---
DOWN SPOUT	□

ABBREVIATION LEGEND

TOP OF SIDEWALK	TC
TOP OF CURB	TC
TOP OF ASPHALT	TA (OR CONCRETE PAVING)
FLOWLINE	FL
TOP OF CONC PAD	TP

AMENDED GRADING & DRAINAGE PLAN SCALE: 1"=20.0'



Job Number 98-12
Date MARCH 12, 1995
Revised 7/12/95

Sheet Title
GRADING & DRAINAGE PLAN
Drawn by HMOOD
Checked by R.G. LEE, JR.

Leo Engineering
236 CALLE DE RAY, N.E.
ALBUQUERQUE, N.M. 87102

Job Title
PROPOSED SEYFORTH ROOFING CO., Inc.
OFFICE & WAREHOUSE FACILITIES
ALBUQUERQUE, NEW MEXICO

Sheet Number
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