TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

Mister Carwash NM 2502

4703 Alameda, Albuquerque NM 87113

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LATITUDE: 35.185189
LONGITUDE: -106.593286

CPESC STAMP	Mister Carwash NM 2502
	Albuquerque, Bernalillo County, NM
	02/5/2025
	Bruce Henriksen James Tolman

CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL
CPESC®
James Tolman
No. 10631

INSPECTIONS PLUS

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PERMIT NUMBER:	NMR100433
	NMR100000 State of New Mexico, Except Indian Country
OWNER NAME:	CWPS Corporation
OWNER POINT OF CONTACT:	Jason Lederman 520-615-4000 jlederman@mistercarwash.com
NOI PREPARED BY:	Inspections Plus
PROJECT/SITE NAME:	Mister Carwash NM 2502
PROJECT/SITE ADDRESS:	4703 Alameda Blvd, Albuquerque NM 87113
LATITUDE	35.185189
LONGITUDE	-106.593286
ESTIMATED PROJECT START DATE	01/20/2025
ESTIMATED PROJECT COMPLETION DATE	09/30/2025
PROPERTY SIZE	1.07 acres
TOTAL AREA OF DISTURBANCE	1.05 acres
MAXIMUM AREA DISTURBED AT ONE TIME	1.05 acres
TYPE OF CONSTRUCTION	Commercial
DEMOLITION OF ANY STRUCTURES 10,000 SQ FT OR GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	N/A
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	N/A
COMMENCED EARTH DISTURBING ACTIVITIES?	No
DISCHARGE TO MS4? MS4 NAME	Yes – COA
SURFACE WATERS WITHIN 50 FT?	No
RECEIVING WATER	Amafca North Diversion Channel
REC. WATER IMPAIRED? TIER	Yes
WHAT IMPAIREMENTS?	E.coli
SWPPP CONTACT INFORMATION	Jason Lederman 520-615-4000 jlederman@mistercarwash.com
ENDANGERED SPECIES CRITERIA	Criterion “A”, No Critical Habitats
HISTORICAL LOCATION CRITERIA	Undeveloped ground

ESC Plan Stnadard Notes (2023-06-16)

1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected and maintained in accordance with:
    a. The City Ordinance § 14-5-2-11, the ESC Ordinance,
    b. The EPA’s 2022 Construction General Permit (CGP), and
    c. The City of Albuquerque Construction BMP Manual
2. All BMP’s must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP’s such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP’s and prior to beginning construction.
3. Self-inspections – In accordance with City Ordinance § 14-5-2-11(C)(1), “at a minimum a routine self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of ¼ inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.”
4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
5. Final stabilization and Notice of Termination (NOT) – In accordance with City Ordinance § 14-5-2-11(C)(1), self-inspections must continue until the site is “determined as stabilized by the city.” The property owner/operator is responsible for determining when the “Conditions for Terminating CGP Coverage” per CGP Part 8.2 are satisfied and then filing their Notice of Termination (NOT) with the EPA. Each operator may terminate the CGP coverage only if one or more of the conditions in Part 8.2.1, 8.2.2, or 8.2.3 has occurred. After filing the NOT with the EPA, the property owner is responsible for requesting a Determination of Stabilization from the City.
6. When doing work in the City right-of-way (e.g. sidewalk, drive pads, utilities, etc.) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept daily or prior to a rain event or contractor induced water event (e.g. curb cut or water test).
7. When installing utilities behind the curb, the excavated dirt should not be placed in the street.
8. When cutting the street for utilities the dirt shall be placed on the uphill side of the street cut and the area swept after the work is complete. A wattle or mulch sock may be placed at the toe of the excavated dirt pile if the site constraints do not allow placing the excavated dirt on the uphill side of the street cut.
9. ESC Plans must show longitudinal street slope and street names. On streets where the longitudinal slope is steeper than 2.5%, wattles/mulch socks or j-hook silt fence shall be shown in the front yard swale or on the side of the street.

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02/5/2025	INSPECTIONS PLUS
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TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

OPERATOR:

CWPS Corporation

222 East 5th Street

Tuscon, AZ 85705

Jason Lederman

Property Owner Contact

520-615-4000

jlederman@mistercarwash.com

OWNER:

Texana Builders

9600 Long Pint Road, Suite 100

Houston, TX 77055

James Hosack

Project Manager

713-681-2747

jlederman@mistercarwash.com

Nature of Construction Activities – Vertical Construction phase

Start: 01/20/2025 - End: 09/30/2025
Dates are estimates and may be adjusted based on external factors or unexpected events.
1.07 acres total property, 1.05 acres total and maximum area to be disturbed at any one time.

The Operator, Texana Builders will be constructing a commercial building for Mister Carwash. This will include grading, excavation for the foundation, connecting utilities, and vertical construction of a commercial building.

No temporary cessation of construction activities anticipated during this phase.

Applicable BMPs for this Phase: Inlet Protection, Stabilized Drive Approach, Silt Fencing, , Street Sweeping, Water Truck, Mulch Sock
Commencement of Vertical Construction Activities: Grading, excavation for foundations, connecting utilities, and vertical construction of the Commercial building: Start: 01/20/2025 - End: 09/30/2025
Final Stabilization: 08/2025 – 09/2025
Permanent Cessation of Construction Activities for this Phase: 09/2025

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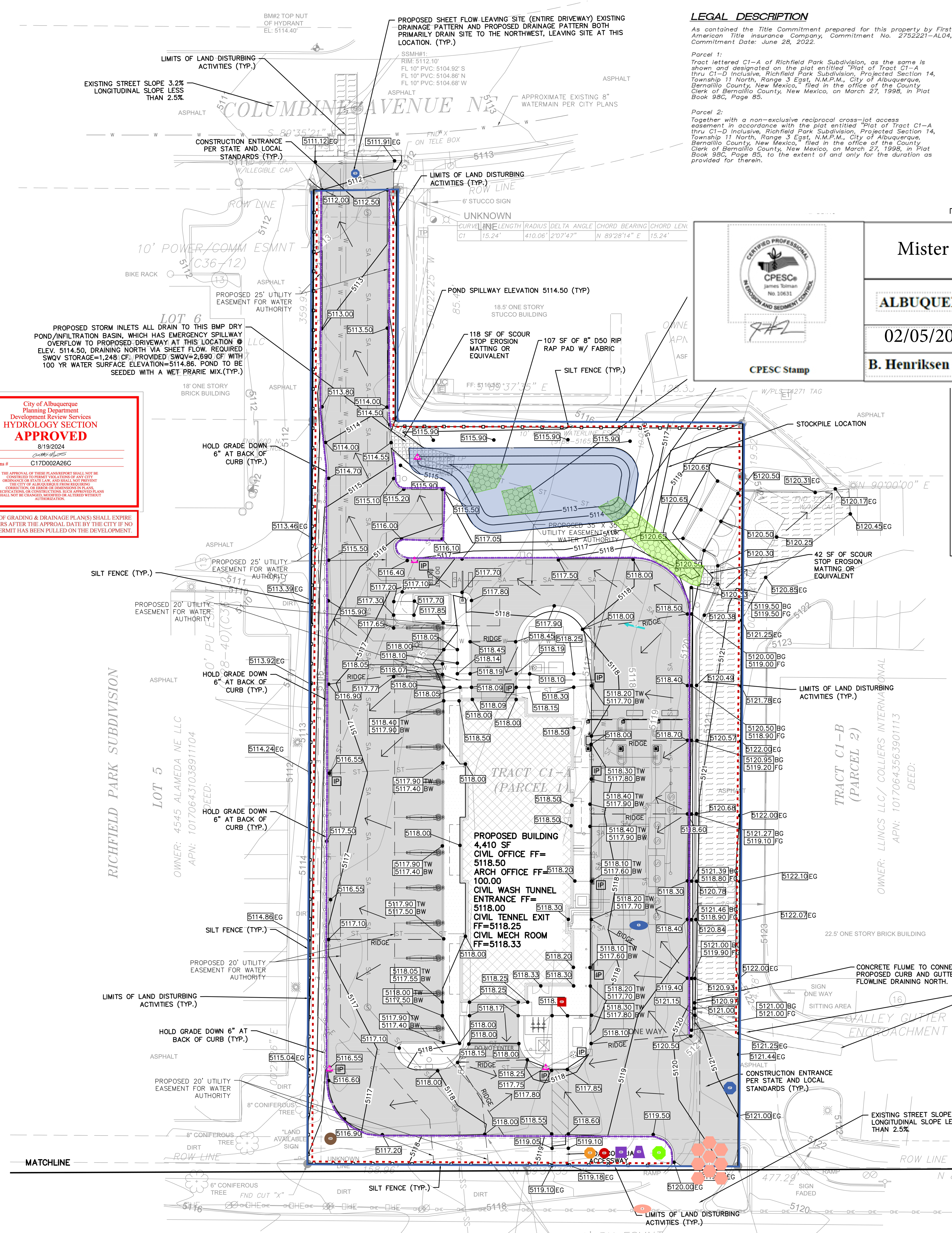


City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 8/19/2024
BY:
HydroTrans # C17D002A26C

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

LEGAL DESCRIPTION

As contained the Title Commitment prepared for this property by First American Title insurance Company, Commitment No. 2752221–AL04, Commitment Date: June 28, 2022.

Parcel 1:
Tract lettered C1–A of Richfield Park Subdivision, as the same is shown and designated on the plat entitled "Plat of Tract C1–A thru C1–D Inclusive, Richfield Park Subdivision, Projected Section 14, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1998, in Plat Book 98C, Page 85.

Parcel 2:
Together with a non–exclusive reciprocal cross–lot access easement in accordance with the plat entitled "Plat of Tract C1–A thru C1–D Inclusive, Richfield Park Subdivision, Projected Section 14, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1998, in Plat Book 98C, Page 85, to the extent of and only for the duration as provided for therein.

BENCHMARKS:

CP#1 SET 1/2 REBAR W/ "RPLS CONTROL" CAP OPUS CORRECTED EL: 5113.99' NAVD88 NM CENTRAL ZONE NAD83

BM#1 N&T STAMPED "RPLS CONTROL" EL: 5118.78'

BM#2 TOP NUT OF HYDRANT EL: 5114.40'

BM#3 FND 1/2" STEEL ROD (NGS G442) NAVD88 EL: 5112.86'

VICINITY MAP

CPESC Stamp

Mister Carwash NM 2502

PROJECT TITLE

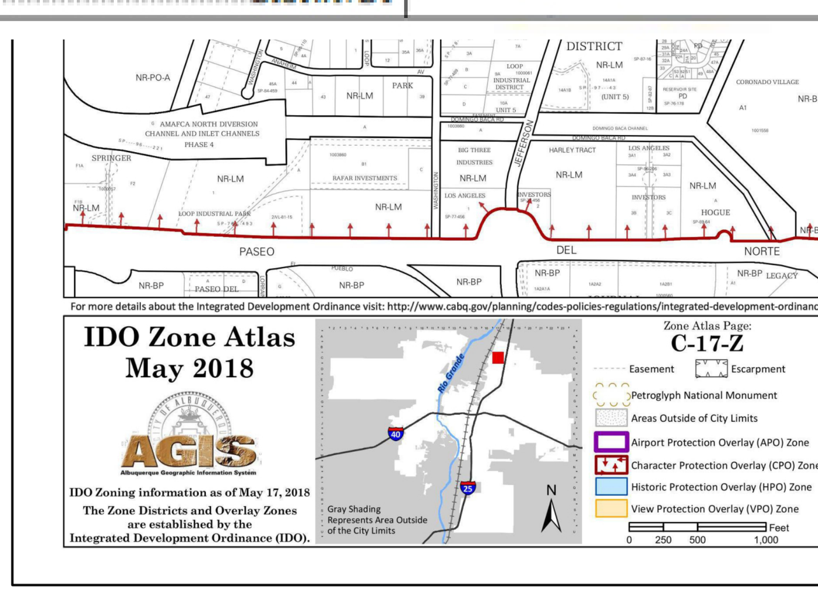
ALBUQUERQUE, NM, BERNALILLO COUNTY

CITY, COUNTY, STATE

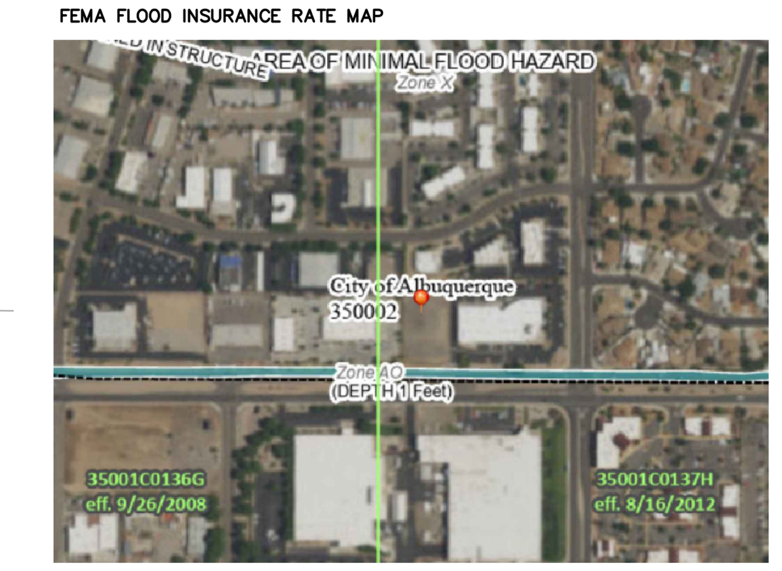
02/05/2025 DATE

INSPECTIONS PLUS

B. Henriksen / J. Tolman DRAWN BY



FEMA FLOOD INSURANCE RATE MAP



PER MAP NUMBER 35001C0137H FOR BERNALILLO COUNTY, NM AND INCORPORATED AREAS DATED AUGUST 16, 2012 THE SITE IS IN ZONE X.

SOIL NOTE:
USDA WEB SOIL SURVEY SOIL NAME: EMBUDO–TIJERAS COMPLEX
HYDROLOGIC SOIL GROUP A. THE EMBUDO SERIES CONSISTS OF DEEP, WELL DRAINED, HIGH PERMEABLE SOILS THAT FORMED FROM ALLUVIUM
DERIVED FROM IGNEOUS AND SEDIMENTARY ROCK. SLOPES RANGE FROM 0 TO 9 PERCENT.
SOIL ERODIBILITY FACTOR (K VALUE)=0.15

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EXISTING, PRE–CONSTRUCTION, LAND COVER IS A VACANT LOT WITH SEVERAL CONIFEROUS SHRUBS AND TREES NO AREAS OF FEDERALLY LISTED CRITICAL HABITAT ON SITE OR AT SITE DISCHARGE LOCATIONS.

SITE INFORMATION:

PROPERTY AREA: 46,306 S.F. (1.06 ACRES).

EXISTING ZONING: MX–L

PROPOSED ZONING: MX–L

PROPOSED USE: CAR WASH

AREA OF SITE DISTURBANCE: 46,520 S.F. (1.07 ACRES)

PROPERTY OWNER: CWPS CORP

NORTH

1" = 20' SCALE 20' 0 20' 40' FEET

CONSTRUCTION SEQUENCE

CITY OF ALBUQUERQUE PLANNING — These plans have been reviewed for code compliance and are: APPROVED. The Approval of these plans shall not be construed to be a permit for any violations of any code or ordinance of this city. PERMIT #: BP-2024-31124 DATE: 01/16/25. A printed copy of these plans shall be on the job site for all requested inspections.

PHASE	TYPE OF ACTION
1. PRE–CONSTRUCTION ACTION	1. CONTRACTOR TO CALL NM 811 AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.
	2. PLACE ALL SILT FENCE.
	3. CONSTRUCT TRACKING STONE ENTRANCES AS NEEDED.
	4. CONSTRUCT PERMANENT DETENTION POND AND PERMANENT STORMWATER CONVEYANCE SYSTEMS.
	5. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.
	6. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED.
	2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE [illegible] BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABLIZED.
	3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.
	4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.
	5. DIG AND POUR ALL BUILDING FOOTINGS.
	6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES.
	7. MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.
	8. CONSTRUCT BUILDING.
	9. PAVE DRIVEWAYS AND PARKING AREAS.
	10. MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.
	2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.

CITY OF ALBUQUERQUE ESC PLAN STANDARD NOTES (2023–06–16)
1. ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
a. THE CITY ORDINANCE § 14–5–2–11, THE ESC ORDINANCE,
b. THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
c. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
2. ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF–INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMPS AND PRIOR TO BEGINNING CONSTRUCTION.
3. SELF–INSPECTIONS – IN ACCORDANCE WITH CITY ORDINANCE § 14–5–2–11(C)(1), "AT A MINIMUM A ROUTINE SELF–INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
4. CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
5. FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) – IN ACCORDANCE WITH CITY ORDINANCE § 14–5–2–11(C)(1), SELF–INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINED AS STABILIZED BY THE CITY." THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATING CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THEN FOR FILING THEIR NOTICE OF TERMINATION (NOT) WITH THE EPA. EACH OPERATOR MAY TERMINATE CGP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2, OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY.
6. WHEN DOING WORK IN THE CITY RIGHT–OF–WAY (E.G. SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEPT DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).
7. WHEN INSTALLING UTILITIES BEHIND THE CURB, THE EXCAVATED DIRT SHOULD NOT BE PLACED IN THE STREET.
8. WHEN CUTTING THE STREET FOR UTILITIES THE DIRT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEPT AFTER THE WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.
9. ESC PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLES/MULCH SOCKS OR J–HOOD SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.

STABILIZATION MEASURES NOTE:
SITE TO BE STABLIZED WITH MULCH AND STONE, AS SPECIFIED ON SHEET C1.4. FINAL STABILIZATION IS MET IF THE AREA HAS BEEN SEEDED OR PLANTED TO ESTABLISH VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE VEGETATIVE COVER NATIVE TO LOCAL UNDISTURBED AREAS WITHIN THREE (3) YEARS AND, TO THE EXTENT NECESSARY TO PREVENT EROSION ON THE SEEDED OR PLANTED AREA, NON–VEGETATIVE EROSION CONTROLS HAVE BEEN APPLIED TO PROVIDE COVER FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE.

STABILIZATION MEASURES NOTE:
SITE TO BE STABLIZED WITH MULCH AND STONE, AS SPECIFIED ON SHEET C1.4. FINAL STABILIZATION IS MET IF THE AREA HAS BEEN SEEDED OR PLANTED TO ESTABLISH VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE VEGETATIVE COVER NATIVE TO LOCAL UNDISTURBED AREAS WITHIN THREE (3) YEARS AND, TO THE EXTENT NECESSARY TO PREVENT EROSION ON THE SEEDED OR PLANTED AREA, NON–VEGETATIVE EROSION CONTROLS HAVE BEEN APPLIED TO PROVIDE COVER FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE.

WATERS OF THE U.S.:
"ALAMEDA LATERAL/DITCH" IS APPROX. 0.8 MILES AWAY FROM THE SITE, THE "ALAMEDA WATERWAY" IS APPROX. 0.9 MILES AWAY FROM THE SITE, AND THE "AMAFCA NORTH DIVERSION CHANNEL" IS APPROX. 0.5–0.7 MILES AWAY FROM THE SITE. ACCORDING TO THE ONLINE MAPPER, IT APPEARS THAT NONE OF THESE ARE IMPAIRED THEMSELVES, BUT THEY APPEAR TO ALL BE IN CONNECTION WITH THE RIO GRANDE.

THE RIO GRANDE, SECTIONS "TIJERAS ARROYO TO ALAMEDA BRIDGE" & "NON–PUEBLO ALAMEDA BRIDGE TO HWY. 550 BRIDGE" NEAREST THE SITE ARE BOTH LISTED IN THE 2020 FINAL TMDL IMPAIRED WATERS WITH THE ID OF NM–2105_51 & NM–2105.1_00 WITH CURRENT IMPAIRMENTS LISTED AS: "DISSOLVED OXYGEN|E. COLI|MERCURY – FISH CONSUMPTION ADVISORY|PCBS – FISH CONSUMPTION ADVISORY|TEMPERATURE ADVISORY|POLYCHLORINATED BIPHENYLS (PCBS)" BOTH THESE SECTIONS ARE ALSO LISTED IN THE 2024 DRAFT OF TMDL IMPAIRED WATERS WITH AN ID OF NM–2015_51 & NM–2105.1_00 WITH IR CATEGORY OF 5/TMDL OF E. COLI "FISH CONSUMPTION ADVISORY LISTINGS ARE BASED ON NM'S CURRENT FISH CONSUMPTION ADVISORIES FOR THIS WATER BODY. PER USEPA GUIDANCE, THESE ADVISORIES DEMONSTRATE NON–ATTAINMENT OF CWA GOALS STATING THAT ALL WATERS SHOULD BE "FISHABLE." THEREFORE, THE IMPAIRED DESIGNATED USE IS THE ASSOCIATED AQUATIC LIFE EVEN THOUGH HUMAN CONSUMPTION OF THE FISH IS THE ACTUAL CONCERN."
NONE OF THE WATERS LISTED ABOVE (INCLUDING THE RIO GRANDE) ARE LISTED AS A TIER 2, 2.5, OR 3 WATER

CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL ARTICLE6-2(A) CALCULATIONS

EXISTING CONDITION

	A (sf)	E	(ZONE 2)
A		0.62	
B		0.8	
C	46306	1.03	
D	0	2.33	
TOTAL	46306		

ON-SITE WEIGHTED EXCESS PRECIPITATION (100 YEAR, 6 Hour Storm)

$$\textbf{Weighted E} = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Weighted E 1.03 in.

$$V_{360}\ \textbf{(as volume)} = \text{weighted } E^* (A_A + A_B + A_C + A_D)$$

On site volume of runoff: V360= 3975

On site Peak discharge Rate

Qpa	1.71	cfs
Qpb	2.36	cfs
Qpc	3.05	cfs
Qpd	4.34	cfs
Qp=	3.24	cfs

PROPOSED CONDITON

	A (sf)	E	(ZONE 2)
A		0.62	
B		0.8	
C	10648	1.03	
D	35658	2.33	
TOTAL	46306		

ON-SITE WEIGHTED EXCESS PRECIPITATION (100 YEAR, 6 Hour Storm)

Weighted E 2.03 in.

On site volume of runoff: V360= 7838 cf

On site Peak discharge Rate

Qpa	1.71	cfs
Qpb	2.36	cfs
Qpc	3.05	cfs
Qpd	4.34	cfs
Qp=	4.30	cfs

SWQV CALCULATIONS

Proposed Impervious area=35,658 sf X (0.42/12)=1,248 cf required.

PROPOSED STORMWATER POND PROVIDES 2,690 CF OF STORAGE IN 100YR STORM.

BMP DESIGN: DRY POND IS DESIGNED TO MEET CITY OF ALBUQUERQUE STORMWATER QUALITY VOLUME, IN ADDITON TO A CONSERVATIVE MAXIMUM ALLOWABLE DISCHARGE RATE BASED UPON PREVIOUSLY APPROVED PLANS. (TYP.)

CIVIL GRADING PLAN

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

COLLABORATION
Mister

PROJECT INFORMATION

PROPOSED CAR WASH FOR:
MISTER CAR WASH (NM 2502 FIESTA PARK)
4703 ALAMEDA BLVD NE • ALBUQUERQUE, NM 87113

(110L-NH - V1.2-Z3)

08/14/24

SHEET DATES
ISSUE DATE AUG. 13, 2024
REVISIONS
AD1 AUG. 13, 2024

ISSUED FOR PERMIT

MILESTONES
PERMIT SET JUNE 21, 2024
BID SET
CONSTRUCTION SET
RECORD SET

JOB NUMBER
230193300

SHEET NUMBER
C1.2B

L E G E N D

- Property Boundary / Limit of Disturbance (1)
- Silt Fence (2)
- Cutback Curb / Sidewalk (3)
- Pre & Post Construction Water Flow (1)
- Detention Basin (1)
- Rip Rap (3)
- Materials Storage (1)
- Stockpiles (1)
- Water Truck (1)
- Street Sweeping (1)
- Inlet Protection (4)
- Portable Toilet (1)
- Dumpster (1)
- Temporary Blockade (2)
- Spill Kit (1)
- SWPPP Sign (1)
- Portable Concrete Washout (1)
- Stabilized Construction Exit (1)

CPESC Stamp

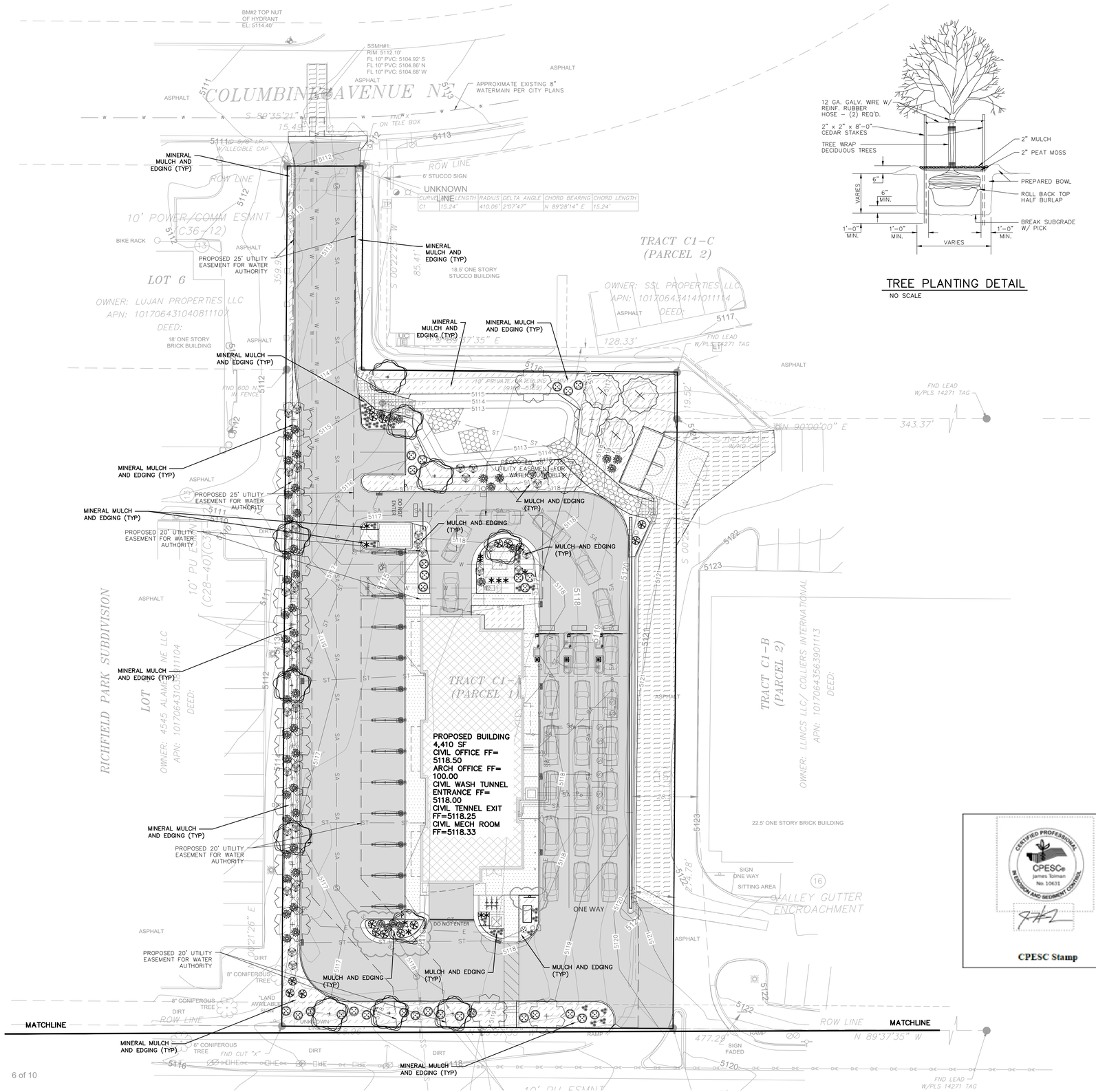
Mister Carwash NM 2502
PROJECT TITLE

ALBUQUERQUE, NM, BERNALILLO COUNTY
CITY, COUNTY, STATE

02/05/2025
DATE

B. Henriksen / J. Tolman
DRAWN BY

INSPECTIONS PLUS



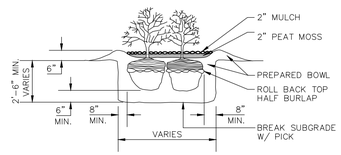
TREE PLANTING DETAIL

NO SCALE

LANDSCAPING PLANTING SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
	DECIDUOUS TREES			
	Sensation Box Elder	Acer negundo 'Sensation'	2"	11
	Tatarian Maple	Acer tartaricum	2"	20
	EVERGREEN TREES			
	Deodar Cedar	Cedrus deodara	6'	4
	DECIDUOUS SHRUBS			
	Desert Hackberry	Celtis pallida	24"	51
	Sunrise Forsythia	Forsythia intermedia	18"–24"	33
	EVERGREEN SHRUBS			
	Arizona Rosewood	Vauquelinia californica	15"–18"	16
	Sotol	Dasylirion wheeleri	15"–18"	30
	PERENNIALS			
	Fountain Grass	Pennisetum	1 gal pot	12
	Blue Oatgrass	Helictotrichon semper	1 gal pot	23

NOTE:
FOR MASS PLANTINGS EXCAVATE ENTIRE BED & BACKFILL W/ PREPARED SOIL.



SHRUB PLANTING DETAIL

NO SCALE

LANDSCAPING CALCULATIONS

ZONE	REQ. PLANTS	PLANTS PROVIDED
FRONT WITH RESIDENTIAL	25' BUFFER WITH AT LEAST 1 TREE EVERY 25'	BUFFER PROVIDED WITH AT LEAST 1 TREE EVERY 25'
FRONT WITH STREET	10' BUFFER WITH CONTINUOUS LINE OF EVERGREEN SHRUBBERY 3' IN HEIGHT	10' BUFFER WITH EVERGREEN SHRUBBERY PROVIDED
SIDE/REAR	PARKING LOT WITHIN 20 FEET OF SIDE OR REAR LOT LINE SHALL CONTAIN 6' LANDSCAPE STRIP WITH 2 TREES AND 6 SHRUBS PER 25 FEET	6' LANDSCAPE STRIP WITH 2 TREES AND 6 SHRUBS PER 25 FEET PROVIDED
INTERIOR PARKING	10% OF PARKING LOT AREA. 1 TREE PER 10 SPACES. NO PARKING MORE THAN 100 FEET FROM A TREE TRUNK. 75% OF TREES SHALL BE DECIDUOUS TREES WITH MATURE 25' CANOPY. 60 SF PER TREE.	DECIDUOUS TREES PROVIDED WITH NO PARKING MORE THAN 100' FROM A TREE TRUNK.
STREET	1 TREE PER 25' WITHIN 20' OF BACK OF CURB	1 TREE PER 25' WITHIN 20' OF BACK OF CURB PROVIDED.
LOT	15% OF NET LOT AREA. TREE CANOPIES AND PLANTS TO COVER A MINIMUM OF 75% OF AREA. 25% OF REQUIRED VEGETATIVE COVER SHALL BE GROUND-LEVEL PLANTS.	23% OF NET LOT AREA PROVIDED AS LANDSCAPE AREA.

CPESC Stamp

Mister Carwash NM 2502
PROJECT TITLE

ALBUQUERQUE, NM, BERNALILLO COUNTY
CITY, COUNTY, STATE

02/05/2025 DATE

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INSPECTIONS PLUS

NORTH

1"= 20' SCALE

20' 0 20' 40' FEET

CIVIL LANDSCAPE AND RESTORATION PLAN

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

COLLABORATION

Mister

PROJECT INFORMATION

PROPOSED CAR WASH FOR:
MISTER CAR WASH (NM 2502 FIESTA PARK)
4703 ALAMEDA BLVD NE • ALBUQUERQUE, NM 87113

(110L-NH - V1.2-Z3)

SHEET DATES

ISSUE DATE JUNE 21, 2024

REVISIONS
AD1 AUG. 13, 2024
CB1 SEPT. 25, 2024
CB2 OCT. 9, 2024

ISSUED FOR BID

MILESTONES
PERMIT SET JUNE 21, 2024
BID SET OCT. 9, 2024
CONSTRUCTION SET
RECORD SET

JOB NUMBER
230193300

SHEET NUMBER
C1.4

A1-1 DUST CONTROL

A1
A2
A3

Image credit: Sites Southwest

DESCRIPTION

Dust control measures reduce a construction site's potential for producing airborne fugitive dust that can lead to air and water pollution. Sediments that are transported from construction sites by wind and construction vehicles that have left the site, are often re-dispersed to the air by subsequent vehicular traffic and winds. Likewise, these sediments may be transported by the next rainfall to streams and into public storm sewer systems. Implementation of control measures to minimize the generation of fugitive dust from disturbed landscapes and construction sites will also limit the quantity of sediments in stormwater.

PRIMARY USE

Dust control is used to limit and control nuisance fugitive dust from disturbed landscapes and construction sites. Project types and conditions that benefit from execution of a dust control strategy include, but are not limited to, the following:

- *Grading operations (land clearing and earthmoving).*
- *Drilling and blasting.*
- *Batch drop operations (loader operation).*
- *Exposed, cleared, and unstabilized areas.*
- *Vehicle traffic on unpaved surfaces.*
- *Sediment tracking on paved surfaces.*
- *Blasting and wrecking ball operations.*
- *Soil and debris storage piles.*

SEE ALSO

A1-4 *Grassland Seedbank Protection*
A1-5 *Stockpile Management*
A2-1 *Seeding*
A2-2 *Mulching*

NMDOT TESCP (TEMPORARY EROSION AND SEDIMENT CONTROL PLAN) SYMBOL

DU

A1-1 DUST CONTROL CONTINUED

APPLICATION

Dust control measures vary widely and should be selected alone or in combination for the specific project type, conditions, and resource availability. Dust control measures include, but are not limited to, the following:

- *Provide covers for trucks transporting materials that contribute dust.*
- *Pave, apply gravel, vegetate or chemically stabilize large disturbed areas.*
- *Immediately water disturbed areas.*
- *Regularly water and dampen unstabilized areas.*

Additionally, if the contractor is responsible for complying with the requirements of the air pollution control permit, the following is typically required:

- *Provide dust control plans for construction or land-clearing projects.*
- *Conduct enforcement activities with priority given to citizen complaints.*
- *Conduct documentation of maintenance.*

LIMITATIONS

Some dust control measures may be of limited use due to lack of resources at the site, construction sequencing, and the need to repeatedly re-implement measures during the course of construction. Limitations may include:

- *Access to water.*
- *Availability of equipment.*
- *Drought.*
- *Frequent disturbance during construction.*

MAINTENANCE REQUIREMENTS

- *Inspect stabilized soils for disturbance on a regular basis.*
- *Wet soil and soils treated with stabilization agents.*
- *Regrade and reapply soil stabilizing agents.*

A1-13 STABILIZED CONSTRUCTION ENTRANCE/EXIT

A1
A2
A3

Image credit: Sites Southwest

DESCRIPTION

A stabilized construction entrance/exit consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter, which is used to facilitate the wash-down and removal of sediment and other debris from construction equipment prior to exiting the site.

PRIMARY USE

Stabilized construction entrances/exits are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point. Stabilized construction entrances and exits are recommended for all construction sites, and may be required for Construction General Permit compliance.

APPLICATION

Strategies for successful and effective stabilized construction entrances/exits include but are not limited to:

- *Location selection able to accommodate construction traffic.*
- *Appropriate selection of locally available material.*

LIMITATIONS

- *Selection of the construction entrance/exit location is critical. To be effective, it must be used exclusively.*
- *Stabilized access points can be expensive and must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.*

NMDOT STANDARD DRAWING

603-01-7/7 Offsite Tracking Prevention

NMDOT TESCP (TEMPORARY EROSION AND SEDIMENT CONTROL PLAN) SYMBOL

SCEE

A1-13 STABILIZED CONSTRUCTION ENTRANCE/EXIT CONTINUED

LIMITATIONS *CONTINUED*

- *Site constraints may limit the recommended 50 feet entrance/exit drive length.*

MAINTENANCE REQUIREMENTS

- *Inspect the stabilized construction entrance after major storm events to ascertain sediment and pollution are being effectively captured on site. When sediment or debris has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.*
- *Re-grade and top dress stone periodically to retain the effectiveness of the entrance/exit.*

A2-8 MULCH SOCKS

A1
A2
A3

Image credit: NMDOT

DESCRIPTION

Mulch socks are erosion and sediment control materials made typically of high density polyethylene (HDPE) or biodegradable plastic filament mesh tubes filled with compost or other organic media.

PRIMARY USE

Mulch socks are primarily used to filter and slow stormwater. Uses include:

- *Filter sediment and silts from sheet stormwater flowing from disturbed sites.*
- *Protect inlets from sediment.*
- *Create temporary ponding areas behind socks to facilitate the deposition of suspended solids.*
- *Slow stormwater runoff and reduce peak flows.*
- *Filter heavy metals, pollutants and oil from stormwater when socks are filled with adsorbent media.*
- *Provide temporary protection at drop inlets or culverts.*
- *Create check dams or sediment traps at concrete washout areas.*
- *Provide perimeter control, runoff diversion, and slope interruption.*
- *Reinforce stream banks and aid in the protection and establishment of stabilizing watercourse vegetation.*

APPLICATION

Strategies for successful use of mulch socks include:

- *Lay the sock upon the surface and stake the tube every 10 feet.*
- *Lay the tube along contours, vegetated channels, and outside of the toes of slopes.*

NMDOT TESCP (TEMPORARY EROSION AND SEDIMENT CONTROL PLAN) SYMBOL

MS
CMS

A2-8 MULCH SOCKS CONTINUED

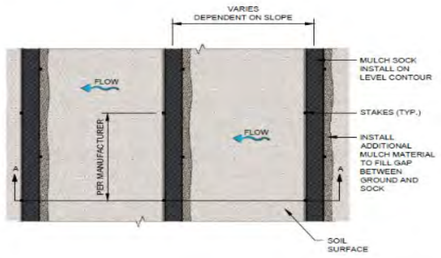
LIMITATIONS

- *Mulch socks do not provide long-term solutions for stormwater storage.*
- *Mulch socks have limited usefulness in concentrated flow conditions.*
- *On NMDOT projects composted mulch socks (CMS) are used exclusively; wood chip mulch socks are not allowed.*

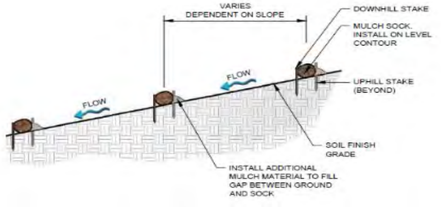
MAINTENANCE REQUIREMENTS

- *Inspect mulch socks periodically, especially after major storm events.*
- *Remove sediments from behind socks after accumulation is 1/3 sock height.*
- *Restake and overlap socks that are displaced due to storm events or construction disturbance.*

Use for alternative to Cut Back Curbs in certain areas; and curb and grate inlet protection.



Mulch sock - PLAN VIEW.



Mulch sock - SECTION A-A.

CERTIFIED PROFESSIONAL CPESC® James Tolman No. 10631 IN EROSION AND SEDIMENT CONTROL

CPESC Stamp

Mister Carwash NM 2502
PROJECT TITLE

ALBUQUERQUE, NM, BERNALILLO COUNTY
CITY, COUNTY, STATE

02/05/2025
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A2-11 SEDIMENT BASIN

A1 A2 A3

Image credit: Integra Engineering & Science Services/ Julie Coco

DESCRIPTION

A sediment basin is a pond area with a controlled outlet in which suspended sediment is allowed to settle. A sediment basin is a highly effective treatment device for removing sediments and other pollutants from stormwater for the design storm event.

PRIMARY USE

Sediment basins are used as permanent erosion and sediment control facilities to provide stormwater treatment and control outflow, minimizing flood problems downstream. Sediment basins should be used where there is adequate open space to direct most of the site drainage into the basin.

APPLICATION

Strategies for successful sediment basin design include:

- *Design sediment basins for two-year storm (or higher) runoff volumes.*
- *Create an outlet structure that consists of a stone section in the embankment formed by a combination of coarse aggregate and riprap to provide for filtering/ detention capability.*
- *Locate the outlet crest at least 1 foot below the top of the embankment.*
- *Use a geotextile at the stone-soil interface to act as a separator.*
- *Provide an emergency overflow spillway for rainstorms that exceed the capacity of the sediment basin.*

SEE ALSO

A2-10 *Sediment Trap*

A3-9 *Detention Basin*

NMDOT STANDARD DRAWING

603-01-5/7 Sediment Basin

NMDOT TESCP (TEMPORARY EROSION AND SEDIMENT CONTROL PLAN) SYMBOL

SB

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A2-11 SEDIMENT BASIN CONTINUED

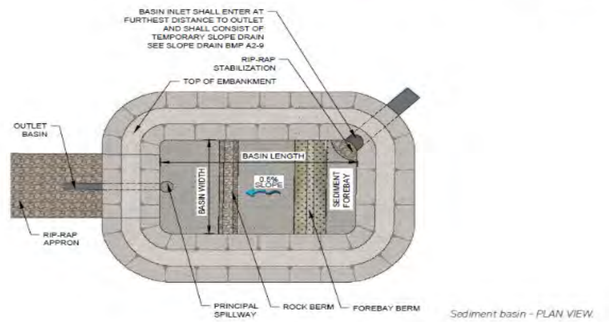
LIMITATIONS

- *Sediment basins can be rather large, depending on site conditions.*
- *Sediment basins require comprehensive planning for construction phasing prior to implementation.*
- *Storm events that exceed the design storm event can cause damage to the spillway structure of the basin and cause unexpected flooding around and downstream of the basin.*

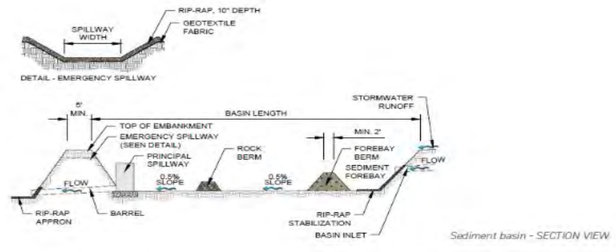
MAINTENANCE REQUIREMENTS

- *Remove sediment and re-grade basin to its original dimensions when the capacity of the impoundment has been reduced significantly from its original storage capacity. The removed sediment shall be stockpiled or redistributed in areas that are protected from erosion.*
- *Inspect basin outlet structure and emergency spillway (if present) after major storm events to inspect for damage and to ensure that obstructions are not diminishing the effectiveness of the structures.*

A2-11 SEDIMENT BASIN CONTINUED

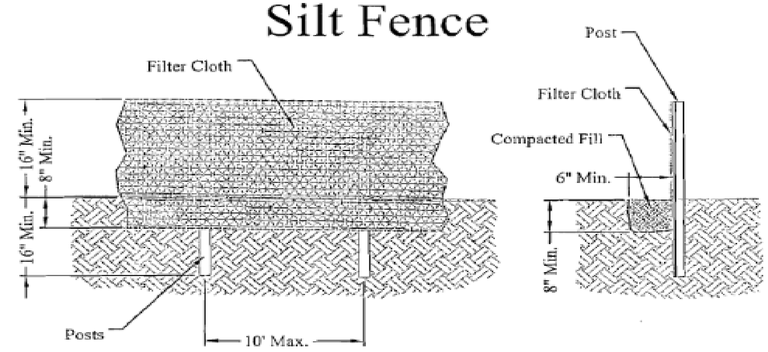


Sediment basin - PLAN VIEW



Sediment basin - SECTION VIEW

Silt Fence



Definition

A temporary barrier of Geotextile Class "F" used to intercept sediment laden runoff from small drainage areas.

Purpose

The purpose of silt fence is to reduce runoff where velocity and allow the deposition of transported sediment to occur. Limits imposed by ultraviolet light on the stability of the fabric will dictate the maxinum period that the silt fence may be used.

1. Silt fence provides a barrier that can collect and hold debris and soil, preventing the material from entering critical areas, streams, streets, etc.
2. Silt fence can be used where the installation of a dike would destroy sensitive areas; woods, wetlands, etc.

Conditions where the Practice Applies

Silt Fence is limited to intercepting sheet flow runoff from limited distances according to slope. It provides filtering and velocity dissipation to promote gravity settling of sediment.

Design Criteria

Wood or Steel Posts may be used in certain instances. Silt fence should be placed as close to the contour as possible. No section of silt fence should exceed a grade of 5 percent for a distance more than 50 feet. Where ends of the geotextile fabric come together, the ends shall be overlapped, folded, and stapled to prevent sediment bypass.

* If wood post are to be used they must meet the following specifications:

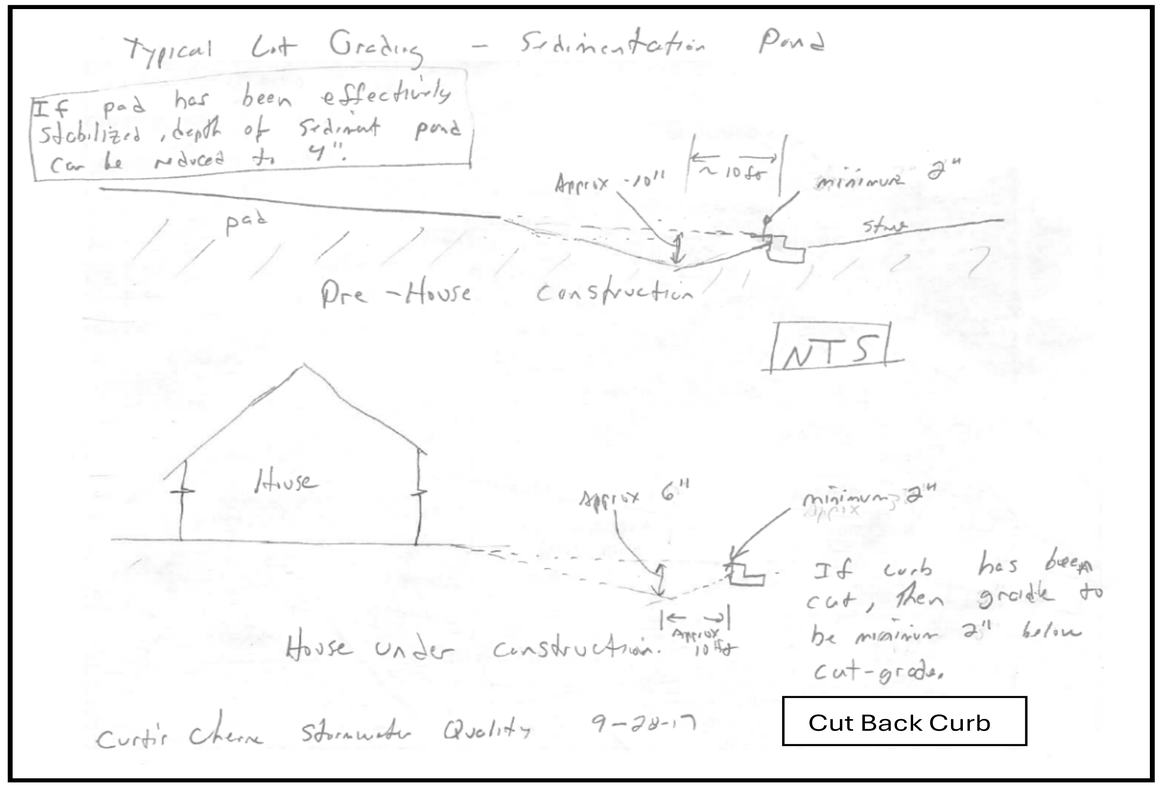
$1\frac{1}{2}$" X $1\frac{1}{2}$" minimum square posts, or $1\frac{3}{4}$" minimum diameter round post

* If metal posts are to be used they must be standard "T" or "U" post weighing not less than 1 lb. per linear foot.

The length of the flow contributing to silt fence shall conform to the following limitations.

Slope (%)	Slope Steepness	Slope Length (Ft.) (Maximum)	Silt Fence Length (Ft.) (Maximum)
2	0-50:1	Unlimited	Unlimited
2-10	50:1-10:1	125	1,000
10-20	10:1-5:1	100	750
20-33	5:1-3:1	60	500
33-50	3:1-2:1	40	250
50 +	> 2:1	20	125

4



Cut Back Curb

A1-10 CONCRETE WASTE MANAGEMENT

A1 A2 A3

Image credit: SoCal Sandbags

DESCRIPTION
Concrete waste management reduces or prevents the discharge of pollutants to stormwater by implementing management measures.

PRIMARY USE
Concrete waste products can negatively affect the pH of water, harm aquatic life, and contribute to total suspended solids in stormwater. Concrete waste management strategies keep the discharge of concrete waste materials from affecting local stormwater and drainage systems during concrete construction operations.

Concrete construction operations that have the potential for contaminating receiving waters include, but are not limited to:

- *Pouring and finishing concrete slabs on grade and concrete paving.*
- *Pouring vertical cast in place concrete (header curbs, concrete curbs and gutters, retaining walls, concrete footings).*
- *Drilling, cutting, polishing, and curing concrete.*
- *Washing concrete dust, and exposed aggregate concrete.*
- *Spilling concrete.*
- *Dampening freshly made concrete.*
- *Creating and applying concrete slurry coat.*
- *Building masonry structures.*
- *Finishing surfaces with stucco.*
- *Washing equipment.*

SEE ALSO

A1-9 *Spill Prevention Plan*
A1-11 *Solid Waste Management*
A1-12 *Hazardous Waste Management*

NMDOT TESCP
(TEMPORARY EROSION AND SEDIMENT CONTROL PLAN)
SYMBOL

CWM

A1-10 CONCRETE WASTE MANAGEMENT CONTINUED

APPLICATION
Concrete waste management strategies include:

- *Avoid mixing excess amounts of fresh concrete or cement onsite.*
- *Perform washout of concrete trucks offsite or in designated areas on site at least 50 feet from storm drains, open ditches or bodies of water.*
- *Block drop inlets and direct concrete wastewater into temporary pits where the concrete can set, be broken up, and then disposed of properly.*
- *Collect and return sweepings to aggregate base stockpile or dispose of properly.*
- *Train employees and subcontractors in proper concrete waste management.*

LIMITATIONS
- *Offsite washout of concrete wastes may not always be possible.*

MAINTENANCE REQUIREMENTS
- *Ensure subcontractors properly manage concrete wastes.*
- *Dispose of hardened concrete on a regular basis.*
- *Regularly inspect drop inlet protection measures.*

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Mister Carwash NM 2502
PROJECT TITLE

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CITY, COUNTY, STATE

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Stabilized Drive Approach

NM

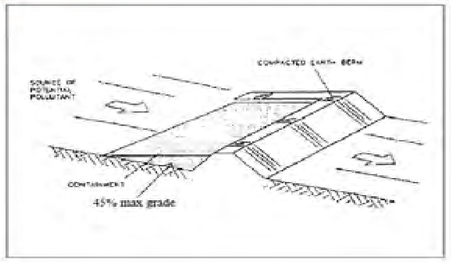
Description
A stabilized layer of aggregate or road base laid in preparation for a driveway or drive approach on a residential lot. Stabilized drive approaches are used as the only vehicular access to a lot so that vehicles do not compact or track out disturbed soils.

Application
The purpose of the stabilized drive approach is to reduce tracking of sediment onto streets or public rights-of-way and provide a stable area for entrance or exit from the individual lot.

Conditions Where the Practice Applies
1. Stabilized drive approaches shall be located where a future driveway or drive approach will be paved with concrete.
2. Stabilized drive approaches should only apply to individual homes/building lots.
3. Stabilized drive approaches should not be used on existing pavement.

Design/Installation
1. Length - Minimum of 10'-0" (30'-0" preferred for single residence lot/commercial pad or as space will allow).
2. Width - Minimum of 10'-0", should be flared at the existing road to provide a turning radius.
3. Road base or similar aggregate should be used as normal in preparation for a driveway
4. Location - The stabilized drive approach will be the only access point for vehicular traffic to the site. Vehicle traffic will not be allowed on areas of the site other than the stabilized drive approach.

BMP: Earth Berm Barrier



DESCRIPTION:
A temporary containment control constructed of compacted soil.

APPLICATION:
- Construct around waste and materials storage area.
- Construct around staging and maintenance areas.
- Construct around vehicle parking and servicing areas.

INSTALLATION/APPLICATION CRITERIA:
- Construct an earthen berm down hill of the area to be controlled. The berm should surround fueling facilities and maintenance areas on three sides to provide containment.
- Berm needs to be a minimum of 1 foot tall by 1 foot wide and be compacted by earth moving equipment.

LIMITATIONS:
- Not effective on steep slopes.
- Limits access to controlled area.
- Personnel need to quickly respond to spills with remedial actions.

MAINTENANCE:
- Observe daily for any non-stormwater discharge.
- Look for runoff bypassing ends of berms or undercutting berms.
- Repair or replace damaged areas of the berm and remove accumulated sediment.
- Recompact soil around berm as necessary to prevent piping.

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BMP: Outlet Protection

OP
Construction

DESCRIPTION:
A rock outlet protection is a physical device composed of rock, grouted riprap, or concrete rubble which is placed at the outlet of a pipe to prevent scour of the soil caused by high pipe flow velocities, and to absorb flow energy to produce non-erosive velocities.

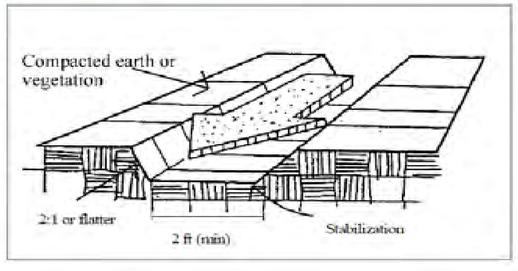
APPLICATIONS:
- Wherever discharge velocities and energies at the outlets of culverts, conduits, or channels are sufficient to erode the next downstream reach.
- Rock outlet protection is best suited for temporary use during construction because it is usually less expensive and easier to install than concrete aprons or energy dissipators.
- A sediment trap below the pipe outlet is recommended if runoff is sediment laden.
- Permanent rock riprap protection should be designed and sized by the engineer as part of the culvert, conduit or channel design.
- Grouted riprap should be avoided in areas of freeze and thaw because the grout will break up.

INSTALLATION/APPLICATION CRITERIA:
Rock outlet protection is effective when the rock is sized and placed properly. When this is accomplished, rock outlets do much to limit erosion at pipe outlets. Rock size should be increased for high velocity flows. Best results are obtained when sound, durable, angular rock is used.

LIMITATIONS:
- Large storms often wash away the rock outlet protection and leave the area susceptible to erosion.
- Sediment captured by the rock outlet protection may be difficult to remove without removing the rock.
- Outlet protection may negatively impact the channel habitat.

MAINTENANCE:
- Inspect after each significant rain for erosion and/or disruption of the rock, and repair immediately.
- Grouted or wire-tied rock riprap can minimize maintenance requirements.

BMP: Temporary Drains And Swales



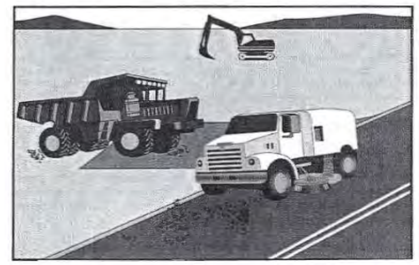
DESCRIPTION:
Temporary drains and swales are used to divert off-site runoff around the construction site, divert runoff from stabilized areas around disturbed areas, and direct runoff into sediment.

APPLICATIONS:
- Temporary drains and swales are appropriate for diverting any upslope runoff around unstabilized or disturbed areas of the construction site.
- Prevent slope failures. Prevent damage to adjacent property. Prevents erosion and transport of sediments into water ways. Increases the potential for infiltration. Diverts sediment-laden runoff into sediment basins or traps.

INSTALLATION/APPLICATION:
- Temporary drainage swales will effectively convey runoff and avoid erosion if built properly.
- Size temporary drainage swales using local drainage design criteria. A permanent drainage channel must be designed by a professional engineer (see the local drainage design criteria for proper design).
- At a minimum, the drain/swale should conform to predevelopment drainage patterns and capacities.
- Construct the drain/swale with an uninterrupted, positive grade to a stabilized outlet. Provide erosion protection or energy dissipation measures if the flow out of the drain or swale can reach an erosive velocity.

LIMITATIONS:
- Temporary drains and swales or any other diversion of runoff should not adversely impact upstream or downstream properties.
- Temporary drains and swales must conform to local floodplain management requirements.

Street Sweeping and Vacuuming SE-7



Objectives

EC Erosion Control
SE Sediment Control
TR Tracking Control
WE Wind Erosion Control
NS Non-Stormwater Management Control
WM Waste Managemenland Materias Pollution Control

Description and Purpose
Street sweeping and vacuuming includes use of self-propelled and walk-behind equipment to remove sediment from streets and roadways, and to clean paved surfaces in preparation for final paving. Sweeping and vacuuming prevents sediment from the project site from entering storm drains or receiving waters.

Suitable Applications
Sweeping and vacuuming are suitable anywhere sediment is tracked from the project site onto public or private paved streets and roads, typically at points of egress. Sweeping and vacuuming are also applicable during preparation of paved surfaces for final paving.

Limitations
Sweeping and vacuuming may not be effective when sediment is wet or when tracked soil is caked (caked soil may need to be scraped loose).

mplementation
- Controlling the number of points where vehicles can leave the site will allow sweeping and vacuuming effo ls to be focused, and perhaps save money.
- Inspect potential sediment tracking locations daily.
- Visible sediment tracking should be swept or vacuumed on a daily basis.

Targeted Constituents

Sediment
Nutrients
Trash
Metals
Bacteria
Oil and Grease
Organics

Potential Alternatives

None

January 2003 1 of 2

SE-7 Street Sweeping and Vacuuming

- Do not use kick brooms or sweeper attachments. These tend to spread the dirt rather than remove it.
- If not mixed with debris or trash, consider incorporating the removed sediment back into the project.

Costs
Rental rates for self-propelled sweepers vaIy depending on hopper size and duration of rental. Expect rental rates from $s8/hour (3 yd3 hopper) to $88/hour (9 yd3 hopper), plus operator costs. Hourly production rates vary with the amount of area to be swept and amount of sediment. Match the hopper size to the area and expect sediment load to minimize time spent dumping.

Inspection and Maintenance
- Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.
- When actively in use, points of ingress and egress must be inspected daily.
- When tracked or spilled sediment is observed outside the construction limits, it must be removed at least daily. More frequent removal, even continuous removal, may be required in some jurisdictions.
- Be careful not to sweep up any unknown substance or any object that may be potentially hazardous.
- Adjust brooms frequently; maximize efficiency of sweeping operations.
- After sweeping is finished, properly dispose of sweeper wastes at an approved dumpsite.

References
Stormwater Quality Handbooks - Construction Site Best Management Practices (BMPs) Manual, State of California Depaltment of Transportation (Caltrans), November 2000.

Labor Surcharge and Equipment Rental Rates, State of California Department of TranspOltation (Caltrans), April 1, 2002-March31, 2003.

2 of 2 January 2003