

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 19, 2024

Kurt Geiger
Excel Engineering, Inc.
100 Camelot Dr.
Fond du Lac, WI 54935

**RE: Mister Car Wash 2502 Fiesta Park
4709 Alameda Blvd. NE
Grading and Drainage Plan
Engineer's Stamp Date: 08/14/24
Hydrology File: C17C002A26C**

Dear Mr. Geiger:

Based upon the information provided in your submittal received 08/15/2024, the Grading Plan is approved for Building Permit, Grading Permit, and action by the Development Facilitation Team (DFT) on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

Legal Description

Parcel 1:

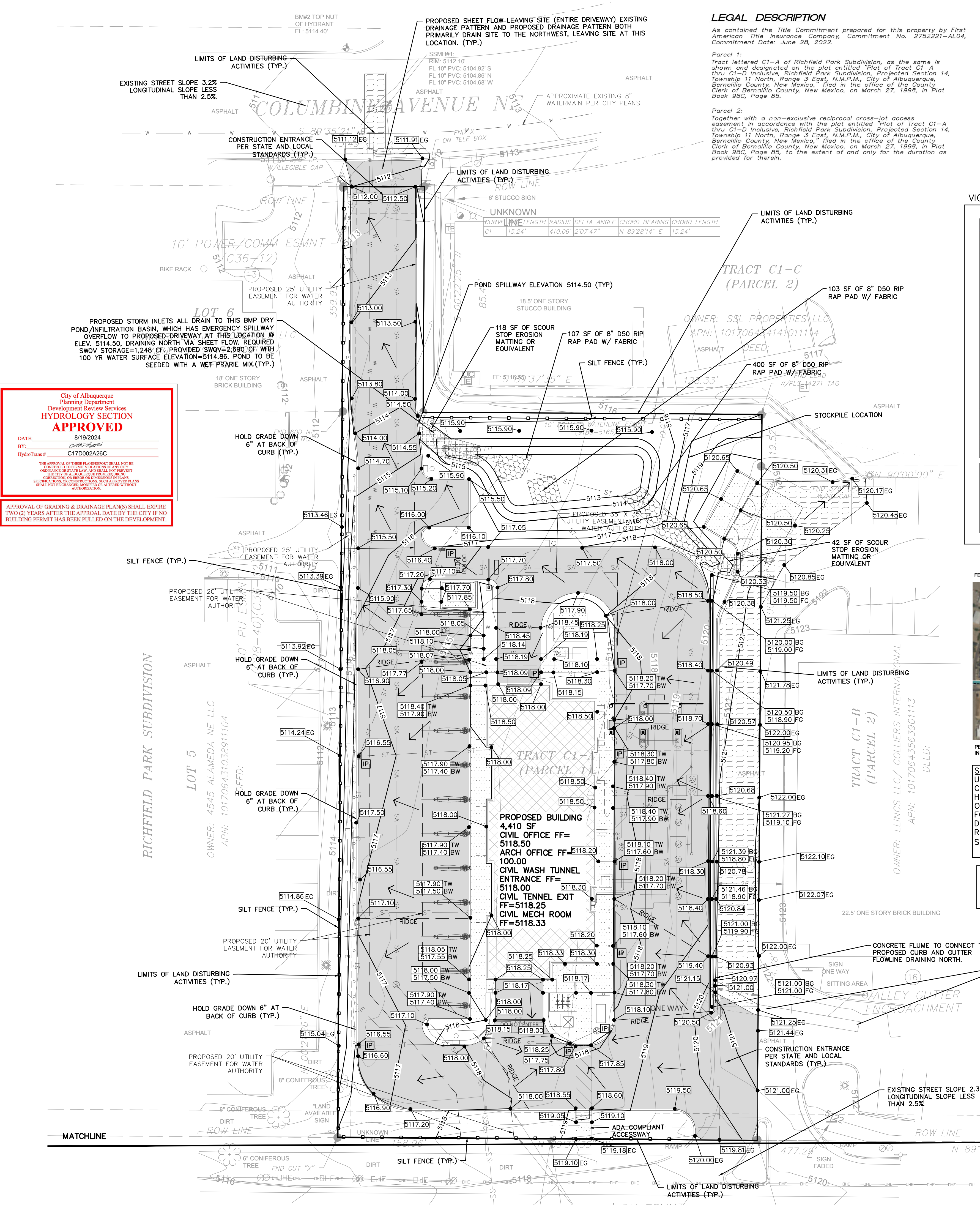
Tract lettered C1-A of Richfield Park Subdivision, as the same is shown and designated on the plat entitled "Plat of Tract C1-A thru C1-D Inclusive, Richfield Park Subdivision, Projected Section 14, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1998, in [Plat Book 98C, Page 85](#).

Parcel 2:

Together with a non-exclusive reciprocal cross-lot access easement in accordance with the plat entitled "Plat of Tract C1-A thru C1-D Inclusive, Richfield Park Subdivision, Projected Section 14, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1998, in [Plat Book 98C, Page 85](#), to the extent of and only for the duration as provided for therein.

And

Together with non-exclusive easement for vehicular and pedestrian access, and drainage easements to the extent of and only for the duration as provided for therein in accordance with the Declaration of Easements by LINCS, LLC, a New Mexico limited liability company filed _____, 2022 as Document No. _____, records of Bernalillo County, New Mexico.



LEGAL DESCRIPTION

As contained in the Title Commitment prepared for this property by First American Title Insurance Company, Commitment No. 2792221-AL04, Commitment Date: June 28, 2022.

Parcel 1:
Tract lettered C1-A of Richfield Park Subdivision, as the same is shown and designated on the plat entitled "Plat of Tract C1-A thru C1-D Inclusive, Richfield Park Subdivision, Projected Section 14, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1998, in Plat Book 98C, Page 85.

Parcel 2:
Together with a non-exclusive reciprocal cross-lot access easement in accordance with the plat entitled "Plat of Tract C1-A thru C1-D Inclusive, Richfield Park Subdivision, Projected Section 14, Township 11 North, Range 3 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico," filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 27, 1998, in Plat Book 98C, Page 85, to the extent of and only for the duration as provided for therein.

BENCHMARKS:

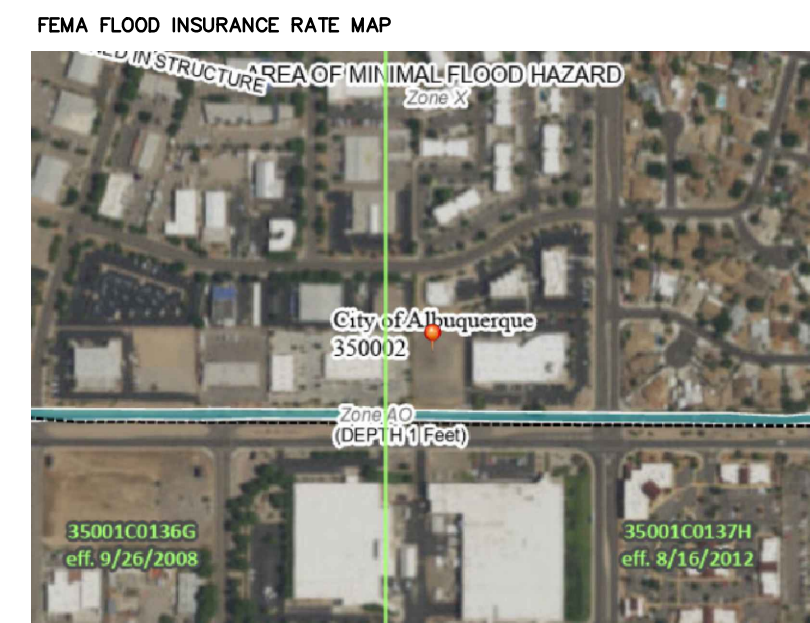
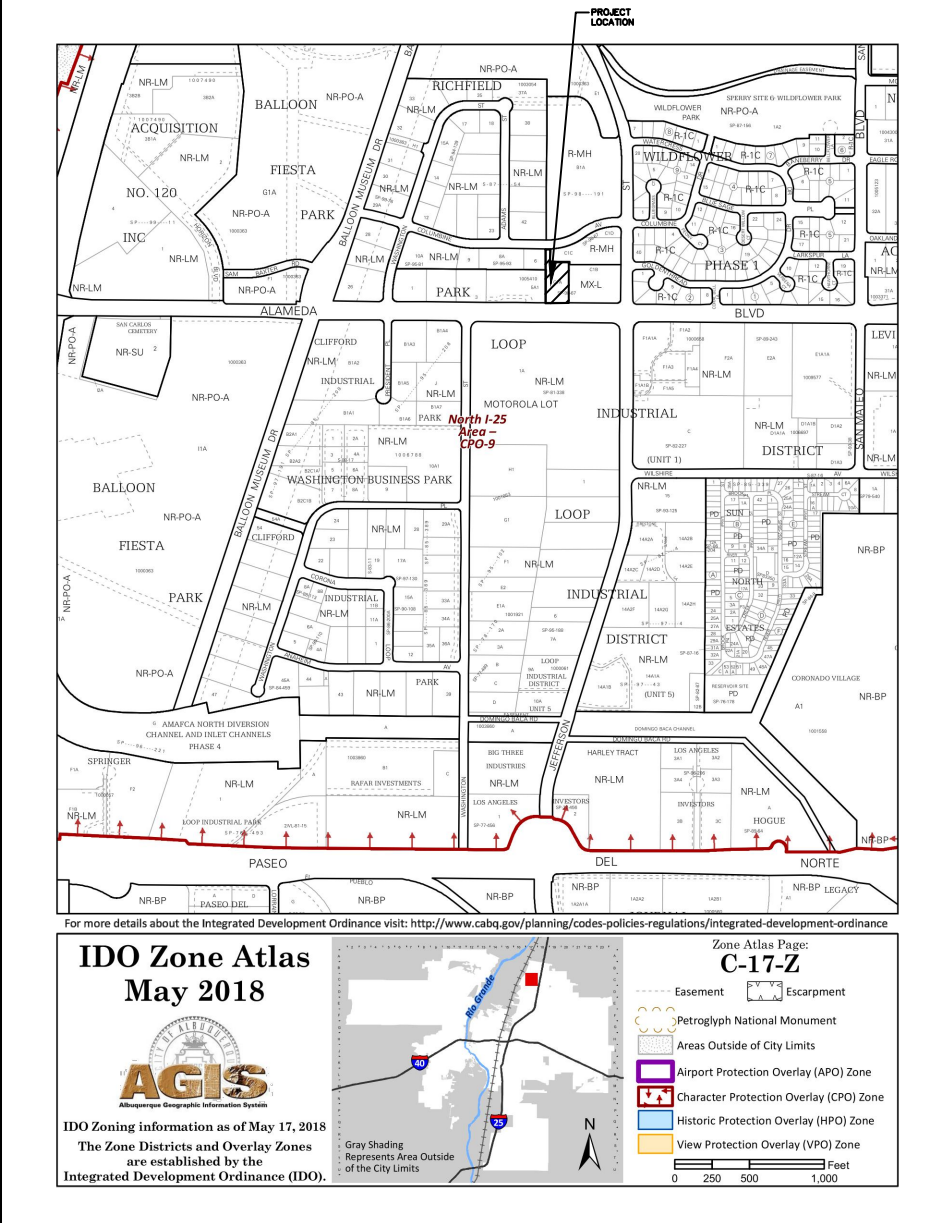
CP#1 SET 1/2 REBAR
W/ "RPLS CONTROL" CAP
OPUS CORRECTED
EL: 5113.99' NAVD88
NM CENTRAL ZONE NAD83

BM#1 N&T STAMPED
"RPLS CONTROL"
EL: 5118.78'

BM#2 TOP NUT
OF HYDRANT
EL: 5114.40'

BM#3
FND 1/2" STEEL ROD (NGS G442)
NAVD88 EL: 5112.86'

VICINITY MAP



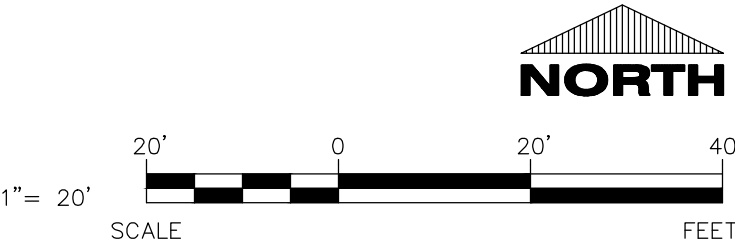
SOIL NOTE:
USDA WEB SOIL SURVEY SOIL NAME: EMBUDO-TIJERAS COMPLEX
HYDROLOGIC SOIL GROUP A: THE EMBUDO SERIES CONSISTS OF DEEP, WELL DRAINED, HIGH PERMEABLE SOILS THAT FORMED FROM ALLUVIUM DERIVED FROM IGNEOUS AND SEDIMENTARY ROCK. SLOPES RANGE FROM 0 TO 9 PERCENT.
SOIL ERODIBILITY FACTOR (K VALUE)=0.15

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EXISTING, PRE-CONSTRUCTION, LAND COVER IS A VACANT LOT WITH SEVERAL CONIFEROUS SHRUBS AND TREES. NO AREAS OF FEDERALLY LISTED CRITICAL HABITAT ON SITE OR AT SITE DISCHARGE LOCATIONS.

SITE INFORMATION:

PROPERTY AREA: 46,306 S.F. (1.06 ACRES).
EXISTING ZONING: MX-L
PROPOSED ZONING: MX-L
PROPOSED USE: CAR WASH
AREA OF SITE DISTURBANCE: 46,520 S.F. (1.07 ACRES)
PROPERTY OWNER: CWPS CORP



CONSTRUCTION SEQUENCE

| PHASE | TYPE OF ACTION |
|-----------------------------|--|
| 1. PRE-CONSTRUCTION ACTION | 1. CONTRACTOR TO CALL NM 811 AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. 2. PLACE ALL SILT FENCE. 3. CONSTRUCT TRACKING STOCK PILES AS NEEDED. 4. CONSTRUCT PERMANENT DETENTION POND AND PERMANENT STORMWATER CONVEYANCE SYSTEMS. 5. CONSTRUCT TEMPORARY SEDIMENT TRAPS, SEDIMENT BASINS, AND ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. 6. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED. |
| 2. CONSTRUCTION ACTION | 1. SITE DEMOLITION AS REQUIRED. 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. 3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. 7. MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP. |
| 3. POST CONSTRUCTION ACTION | 1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. 2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS. |

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.

CITY OF ALBUQUERQUE ESC PLAN STANDARD NOTES (2023-06-16)

- ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
 - THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE,
 - THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
 - THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
- ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
- SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), "AT A MINIMUM A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4" INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST."
- CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
- FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS DETERMINED AS STABILIZED BY THE CITY. THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE CONDITIONS FOR TERMINATING CGP COVERAGE PER CGP PART 8.2 ARE SATISFIED AND THEN FOR FILING THEIR NOTICE OF TERMINATION (NOT) WITH THE EPA. EACH OPERATOR MAY TERMINATE CGP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2, OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY.
- WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G. SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEP DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).
- WHEN INSTALLING UTILITIES BEHIND THE CURB, THE EXCAVATED DIRT SHOULD NOT BE PLACED IN THE STREET.
- WHEN CUTTING THE STREET FOR UTILITIES THE DIRT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEP AFTER THE WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.
- ESC PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLES/MULCH SOCKS OR U-HOOD SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.

STABILIZATION MEASURES NOTE:

SITE TO BE STABILIZED WITH MULCH AND STONE, AS SPECIFIED ON SHEET C1.4. FINAL STABILIZATION IS MET IF THE AREA HAS BEEN SEED OR PLANTED TO ESTABLISH VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE VEGETATIVE COVER NATIVE TO LOCAL UNDISTURBED AREAS WITHIN THREE (3) YEARS AND, TO THE EXTENT NECESSARY TO PREVENT EROSION ON THE SEEDED OR PLANTED AREA, NON-VEGETATIVE EROSION CONTROLS HAVE BEEN APPLIED TO PROVIDE COVER FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE.

STABILIZATION MEASURES NOTE:

SITE TO BE STABILIZED WITH MULCH AND STONE, AS SPECIFIED ON SHEET C1.4. FINAL STABILIZATION IS MET IF THE AREA HAS BEEN SEED OR PLANTED TO ESTABLISH VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE VEGETATIVE COVER NATIVE TO LOCAL UNDISTURBED AREAS WITHIN THREE (3) YEARS AND, TO THE EXTENT NECESSARY TO PREVENT EROSION ON THE SEEDED OR PLANTED AREA, NON-VEGETATIVE EROSION CONTROLS HAVE BEEN APPLIED TO PROVIDE COVER FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE.

WATERS OF THE U.S.:

"ALAMEDA LATERAL/DITCH" IS APPROX. 0.8 MILES AWAY FROM THE SITE, THE "ALAMEDA WATERWAY" IS APPROX. 0.9 MILES AWAY FROM THE SITE, AND THE "AMAFCA NORTH DIVERSION CHANNEL" IS APPROX. 0.5-0.7 MILES AWAY FROM THE SITE. ACCORDING TO THE ONLINE MAPPER, IT APPEARS THAT NONE OF THESE ARE IMPAIRED THEMSELVES, BUT THEY APPEAR TO ALL BE IN CONNECTION WITH THE RIO GRANDE.

THE RIO GRANDE, SECTIONS "TIJERAS ARROYO TO ALAMEDA BRIDGE" & NON-PUEBLO ALAMEDA BRIDGE TO HWY. 550 BRIDGE" NEAREST THE SITE ARE BOTH LISTED IN THE 2020 FINAL TMDL IMPAIRED WATERS WITH THE ID OF NM-2105.51 & NM-2105.1.00 WITH CURRENT IMPAIRMENTS LISTED AS: DISSOLVED OXYGEN, COLIFORM BACTERIA - FISH CONSUMPTION ADVISORY (PCBS) - FISH CONSUMPTION ADVISORY (TEMPERATURE ADVISORY) POLYCHLORINATED BI-PHENYLS (PCBS) - BOTH THESE SECTIONS ARE ALSO LISTED IN THE 2024 DRAFT OF TMDL IMPAIRED WATERS WITH AN ID OF NM-2015.51 & NM-2105.1.00 WITH IR CATEGORY OF E. COLI "FISH CONSUMPTION ADVISORY" LISTINGS ARE BASED ON NM'S CURRENT FISH CONSUMPTION ADVISORIES FOR THIS WATER BODY. PER USEPA GUIDANCE, THESE ADVISORIES DEMONSTRATE NON-ATTAINMENT OF CWA GOALS STATING THAT ALL WATERS SHOULD BE "FISHABLE." THEREFORE, THE IMPAIRED DESIGNATED USE IS THE ASSOCIATED AQUATIC LIFE EVEN THOUGH HUMAN CONSUMPTION OF THE FISH IS THE ACTUAL CONCERN.

NONE OF THE WATERS LISTED ABOVE (INCLUDING THE RIO GRANDE) ARE LISTED AS A TIER 2, 2.5, OR 3 WATER

CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL ARTICLES-2(a) CALCULATIONS

| EXISTING CONDITION | A (sf) | E (ZONE 2) |
|--------------------|--------|------------|
| A | 0.62 | |
| B | 0.8 | |
| C | 1.03 | |
| D | 2.33 | |
| TOTAL | 46306 | |

ON-SITE WEIGHTED EXCESS PRECIPITATION (100 Year, 6 Hour Storm)

$$\text{Weighted E} = \frac{E_A \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D}{A_A + A_B + A_C + A_D}$$

Weighted E 1.03 in.

$$V_{\text{tot}} (\text{as volume}) = \text{weighted E}^* (A_A + A_B + A_C + A_D)$$

On site volume of runoff: V360= 3975

On site Peak discharge Rate

| Q _{ga} | 1.71 cfs |
|-----------------|----------|
| Q _{gb} | 2.36 cfs |
| Q _{gc} | 3.05 cfs |
| Q _{gd} | 4.34 cfs |
| Q _{gn} | 3.24 cfs |

SWOV CALCULATIONS

Proposed Impervious area=35,658 sf X (0.42/12)=1,248 cfs required.

PROPOSED STORMWATER POND PROVIDES 2,690 CF OF STORAGE IN 100YR STORM.

BMP DESIGN: DRY POND IS DESIGNED TO MEET CITY OF ALBUQUERQUE STORMWATER QUALITY VOLUME. IN ADDITION TO A CONSERVATIVE MAXIMUM ALLOWABLE DISCHARGE RATE BASED UPON PREVIOUSLY APPROVED PLANS. (TYP.)



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

COLLABORATION



PROJECT INFORMATION

PROPOSED CAR WASH FOR:
MISTER CAR WASH (NM 2502 FIESTA PARK)
4703 ALAMEDA BLVD NE • ALBUQUERQUE, NM 87113

(110L-NH - V1.2-Z3)



SHEET DATES

ISSUE DATE AUG. 13, 2024

REVISIONS

AD1 AUG. 13, 2024

ISSUED FOR PERMIT

MILESTONES

PERMIT SET JUNE 21, 2024

BID SET

CONSTRUCTION SET

RECORD SET

JOB NUMBER

230193300

SHEET NUMBER

C1.2B