



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 28, 1999

Gilbert Aldaz, P.E.
Aldaz Engineering & Surveying, Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

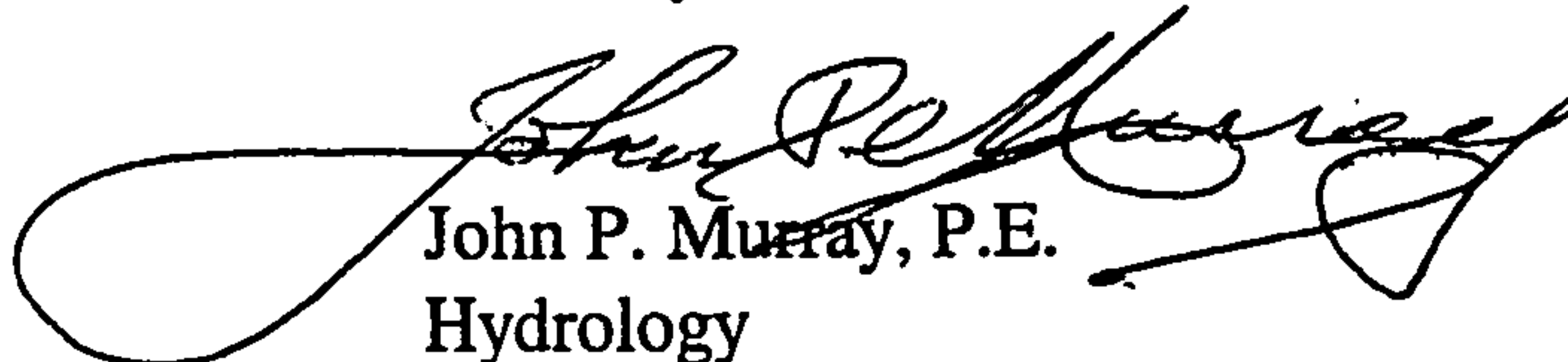
RE: LOT 30, RICHFIELD PARK SUBDIVISION - OFFICE WAREHOUSE (C17-D2A30). ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S STAMP DATED SEPTEMBER 18, 1999. APPROVED GRADING AND DRAINAGE PLAN STAMPED JUNE 28, 1998 AND REVISED AUGUST 11, 1998.

Dear Mr. Aldaz:

Based on the information provided on your September 23, 1999 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: WR
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Office Warehouse ZONE ATLAS/DRNG. FILE #: C-17/D2A30

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 30, Richfield Park Subd.

CITY ADDRESS: Washington Street

ENGINEERING FIRM: Aldaz Engineering Inc. CONTACT: Gilbert Aldaz

ADDRESS: 1605 Blair Drive NE PHONE: 237-1456

OWNER: Al Grant CONTACT: Mr. Grant

ADDRESS: 4431 Anaheim NE PHONE: 822-9515

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: NEED TO ~~GO~~ PHONE: _____

CONTRACTOR: 10/28 CONTACT: _____

ADDRESS: Certify G&D PL PHONE: _____

ADDRESS: Stamped for C.O. PHONE: _____

ADDRESS: NOT Separate, PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

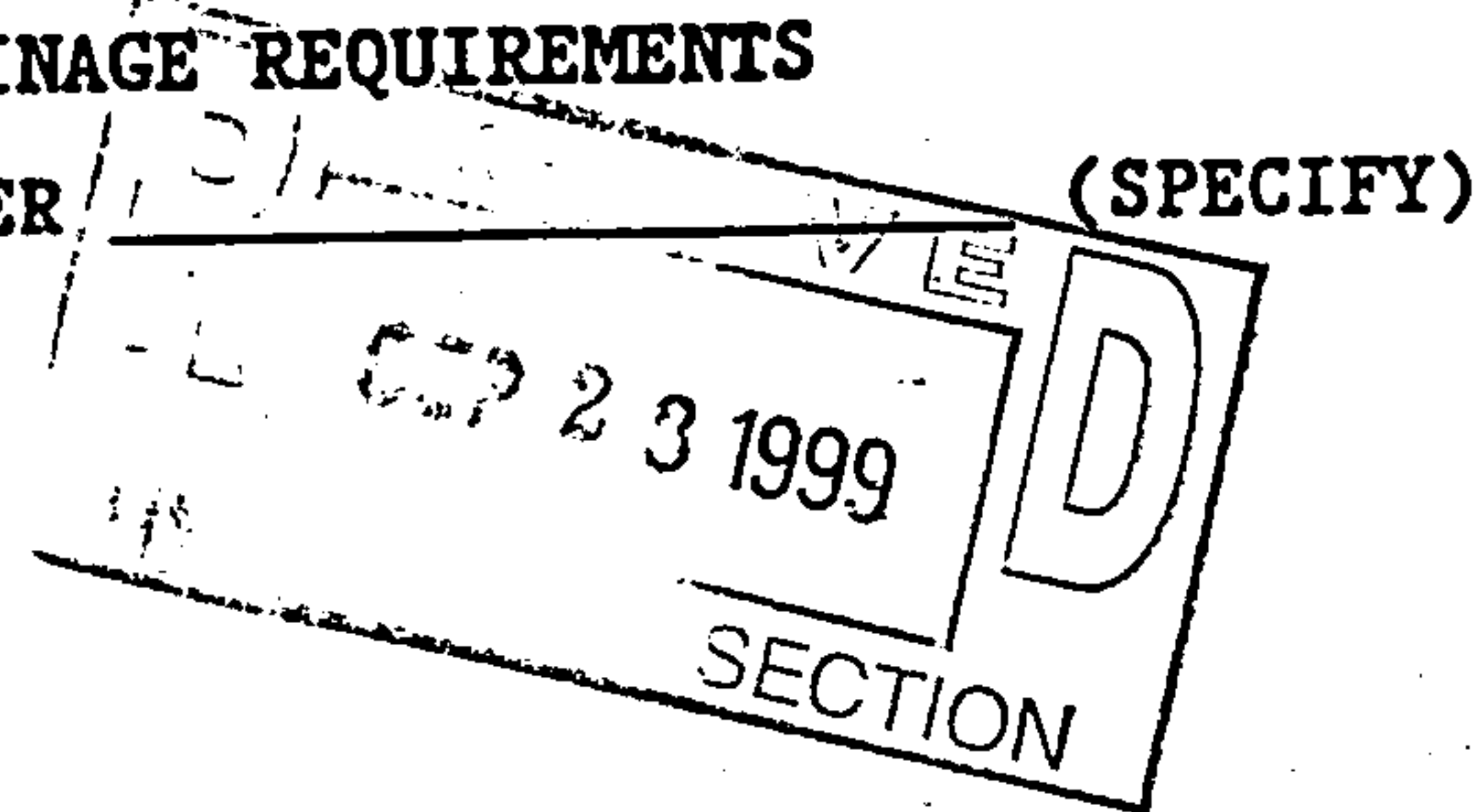
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

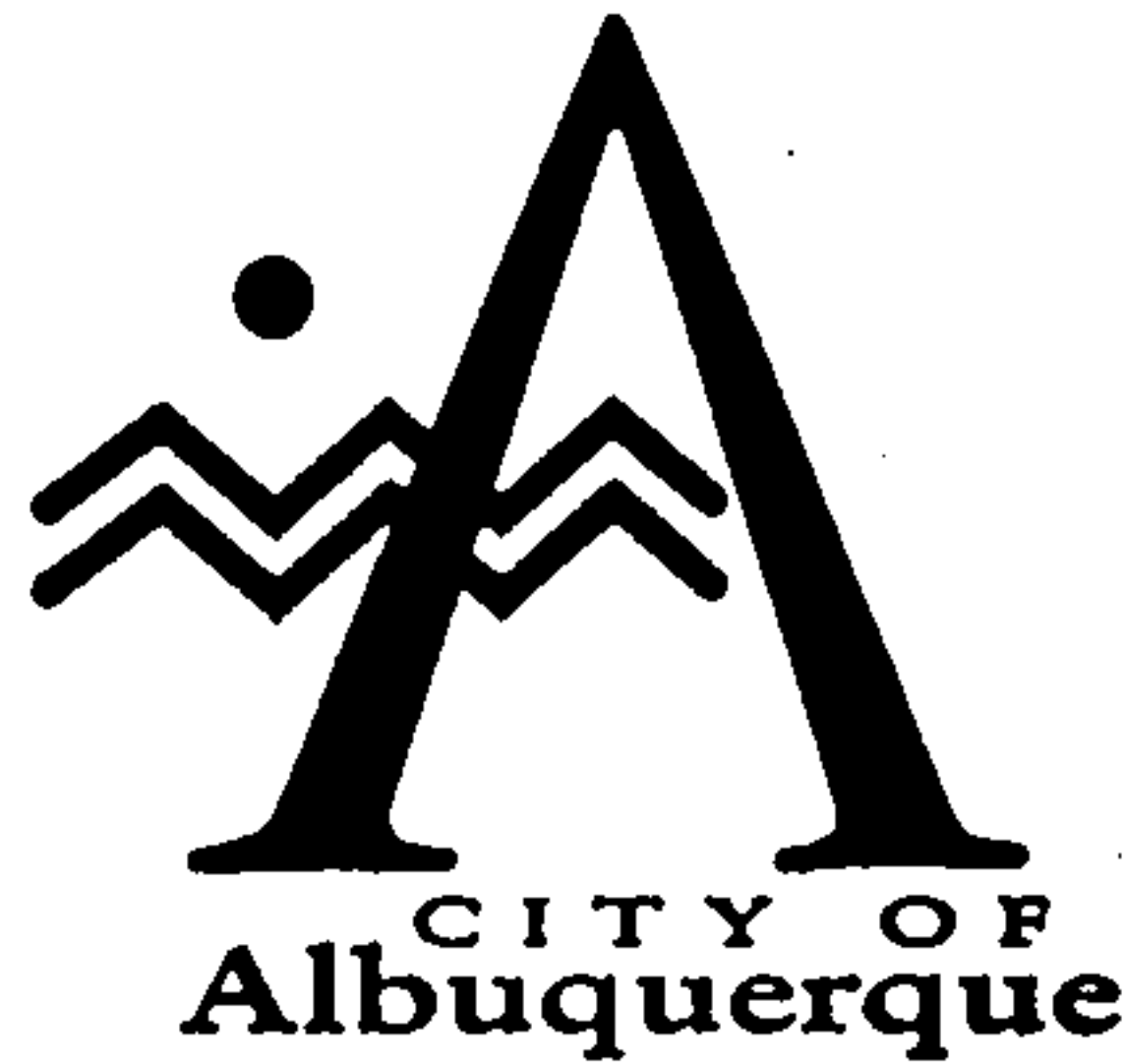
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 09-19-99

BY: Gilbert Aldaz





August 14, 1998

Gilbert Aldaz
Aldaz Engineering
1605 Blair Dr. NE
Albuquerque, New Mexico 87112

RE: REVISED DRAINAGE PLAN FOR LOT 30 RICHFIELD PARK SUBDIVISION
(C17-D2A30) REVISION DATED 8/11/98

Dear M. Aldaz:

based on the information provided on your August 11, 1998 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, Engineer Certification per the DPM checklist will be required prior to Certificate of Occupancy release.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

~~File~~

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

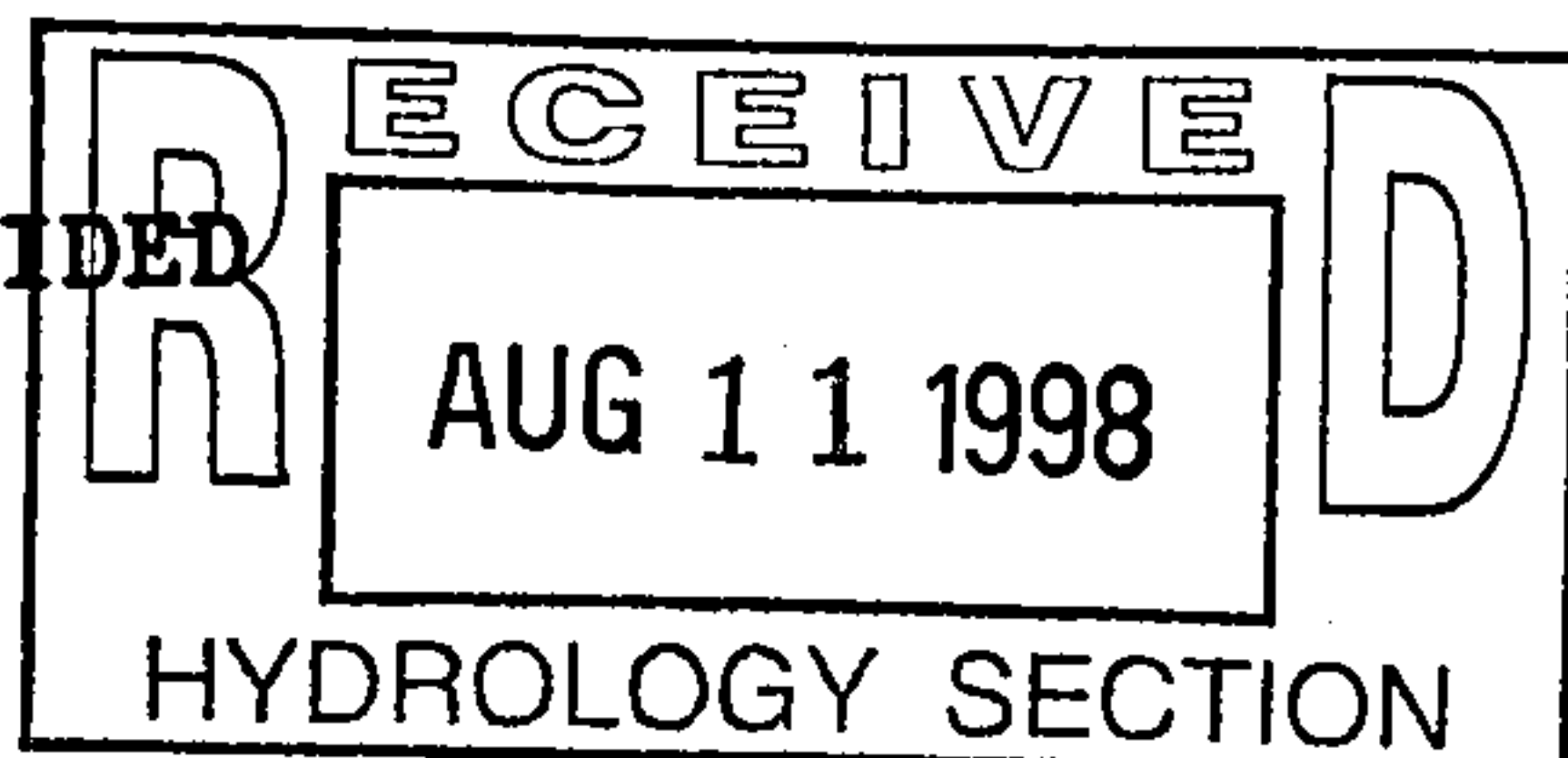
PROJECT TITLE: Office Warehouse ZONE ATLAS/DRNG. FILE #: C-17/D2A30
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 30, Richfield Park Subd.
CITY ADDRESS: Washington Street
ENGINEERING FIRM: Aldaz Engineering Inc. CONTACT: Gilbert Aldaz
ADDRESS: 1605 Blair Drive NE PHONE: 237-1456
OWNER: Al Grant CONTACT: Mr. Grant
ADDRESS: 4431 Anaheim NE PHONE: 822-9515
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER _____

PRE-DESIGN MEETING:

____ YES
☒ NO
____ COPY PROVIDED



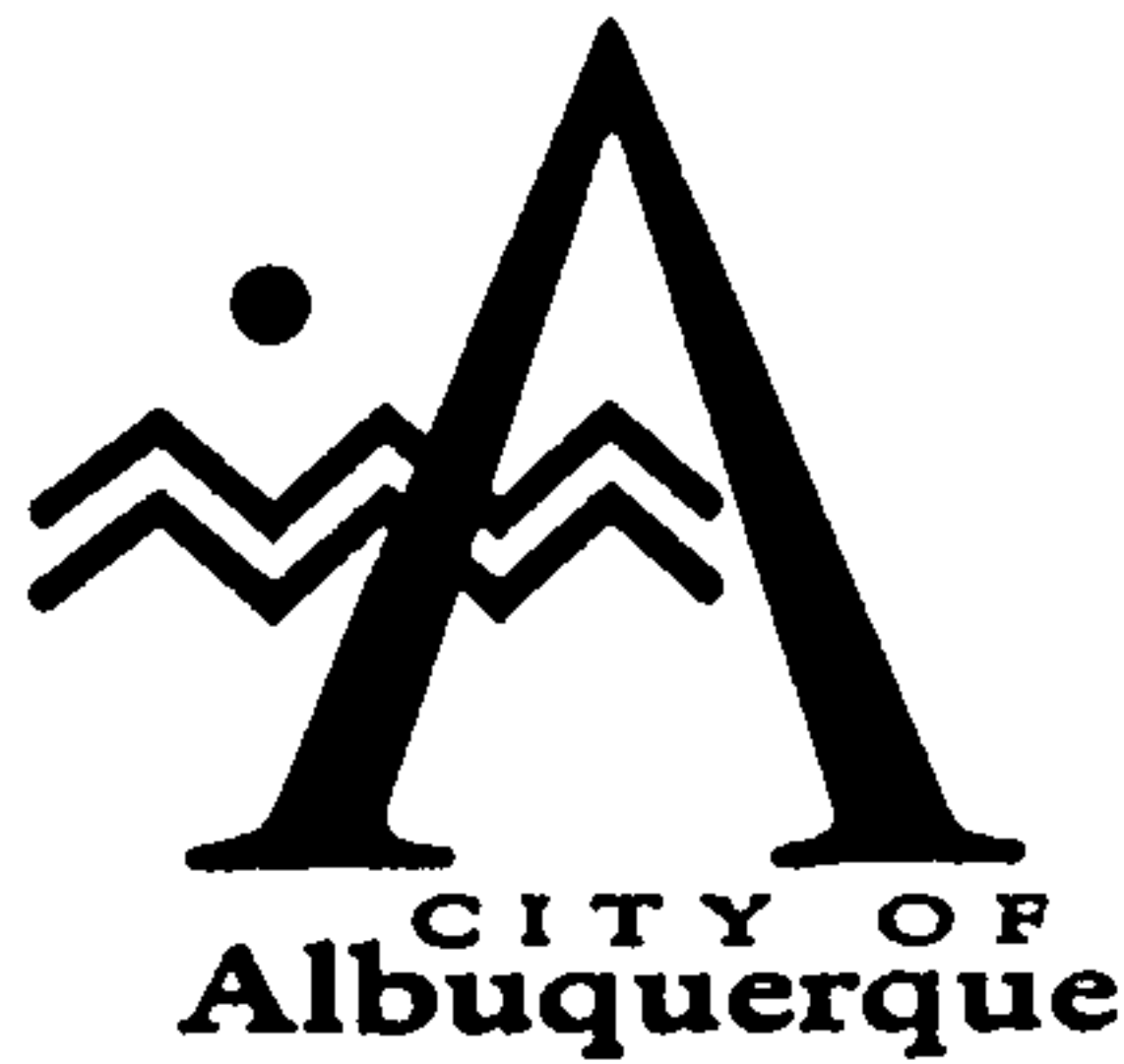
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____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY APPROVAL
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
____ OTHER _____ (SPECIFY)

DATE SUBMITTED: 08-11-98

BY: Gilbert Aldaz

* Revised Location of Dumpster Pad



July 13, 1998

Gilbert Aldaz
Aldaz Engineering Inc.
1605 Blair Drive NE
Albuquerque, New Mexico 87112

RE: DRAINAGE PLAN FOR LOT 30 RICHFIELD PARK SUBD. OFFICE/WAREHOUSE
(C17-D2A30) ENGINEER'S STAMP DATED 6/28/98

Dear Mr. Aldaz:

Based on the information provided on your June 29, 1998, the above referenced site is approved for Site Development Plan for Building Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Please advise your client that once he secures the approval from the owner of Lot 31 to construct the concrete swale, a copy of the approval must be sent to our office.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely

Bernie J. Montoya CE
Associate Engineer



DRAINAGE INFORMATION SHEET

NW

PROJECT TITLE: Office Warehouse ZONE ATLAS/DRNG. FILE #: C-17 002A30

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 30, Richfield Park Subd.

CITY ADDRESS: Washington Street

ENGINEERING FIRM: Aldaz Engineering Inc. CONTACT: Gilbert Aldaz

ADDRESS: 1605 Blair Drive NE PHONE: 237-1456

OWNER: Al Grant CONTACT: Mr. Grant

ADDRESS: 4431 Anaheim NE PHONE: 822-9515

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

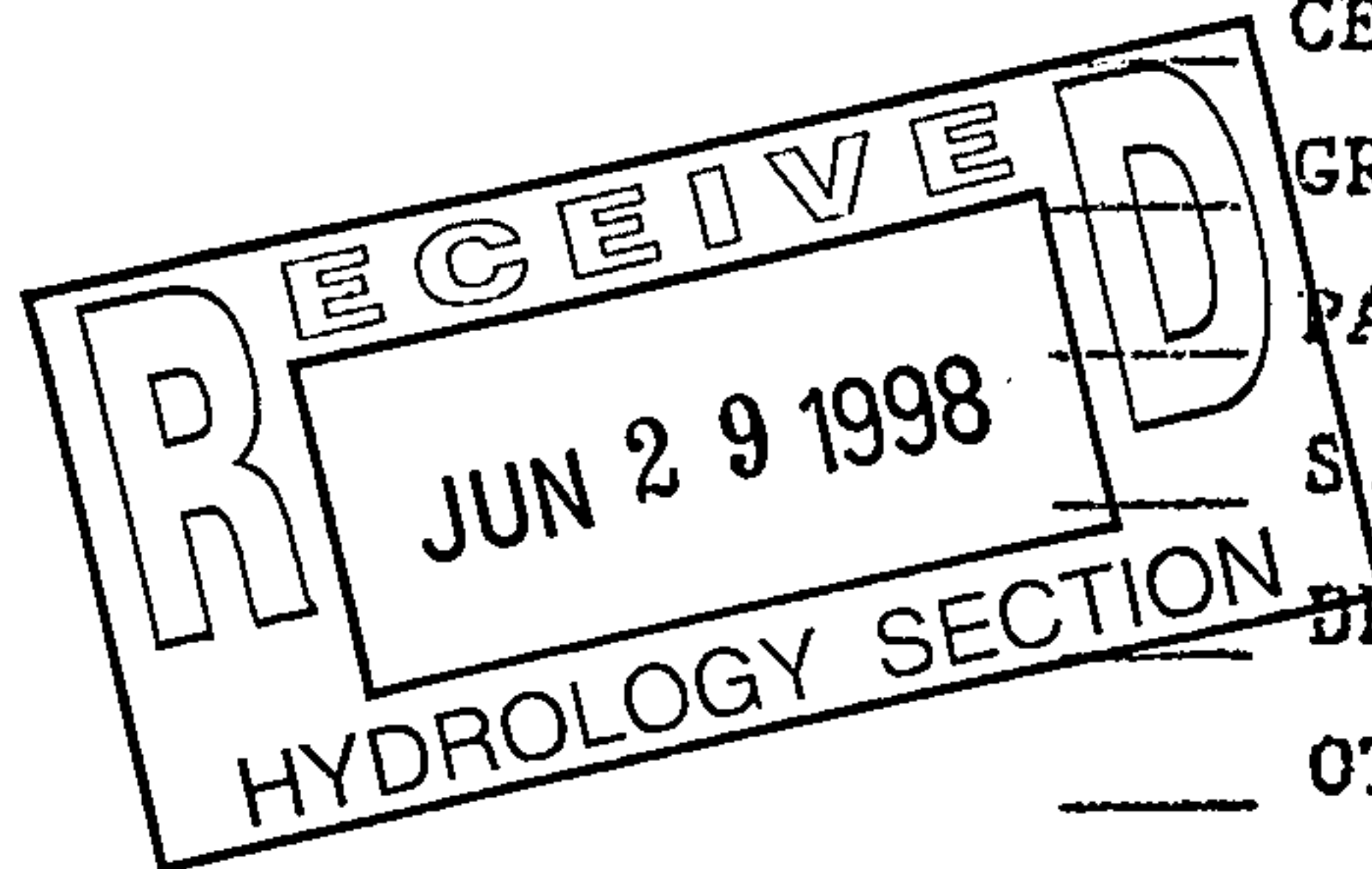
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- ☒ DRAINAGE PLAN
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 06-28-98

BY: Gilbert Aldaz