



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

November 7, 2003

Shahab Biazar, P.E.  
10205 Snowflake Ct NW  
Albuquerque, NM 87114

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Richardfield Park, Lot 42, [C-17 / D2A32]  
4601 Columbine Ave NE  
Engineer's Stamp Dated 11/03/03

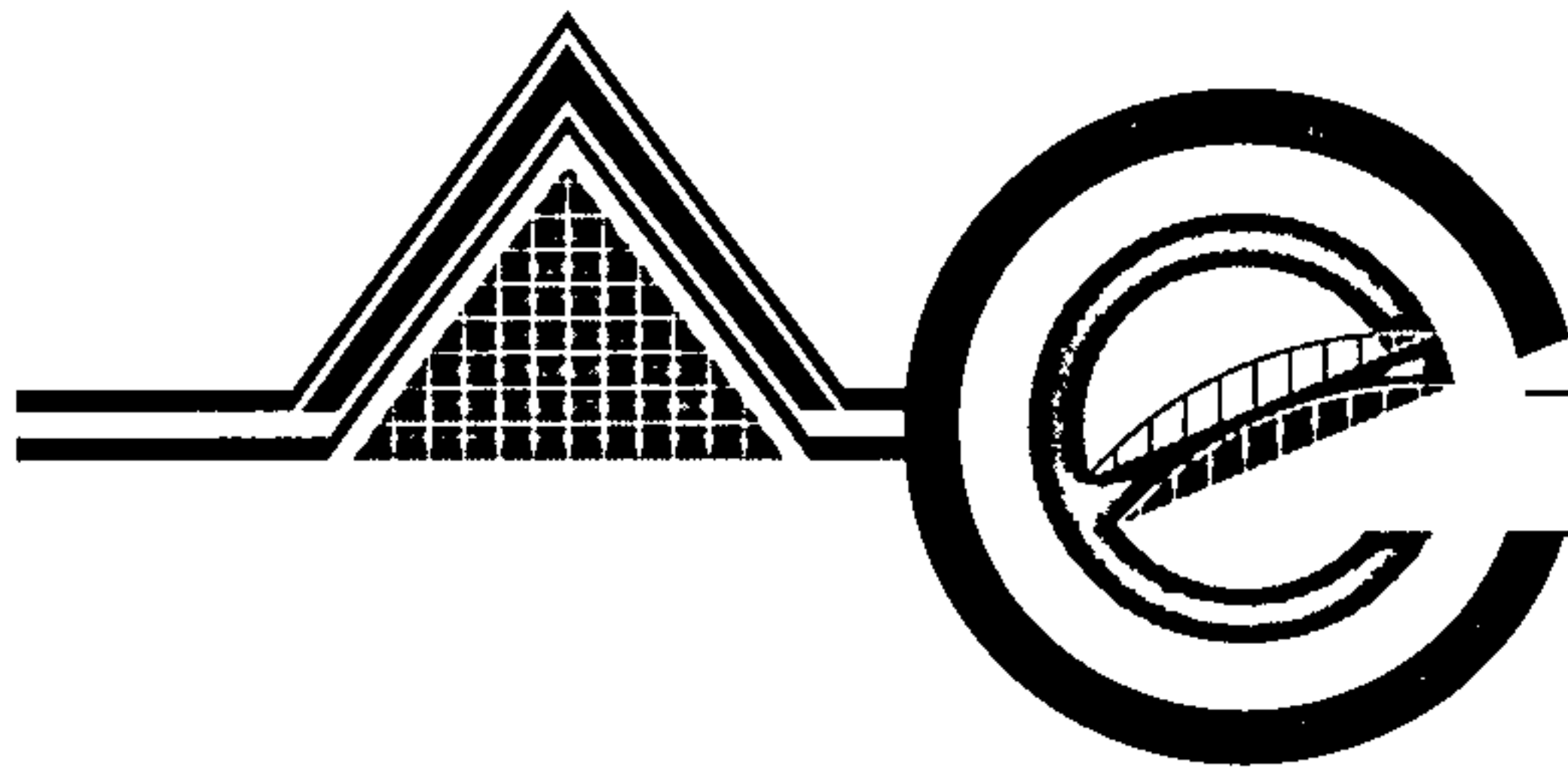
Dear Mr. Biazar:

The TCL / Letter of Certification submitted on November 7, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO clerk



ADVANCED ENGINEERING and CONSULTING, LLC

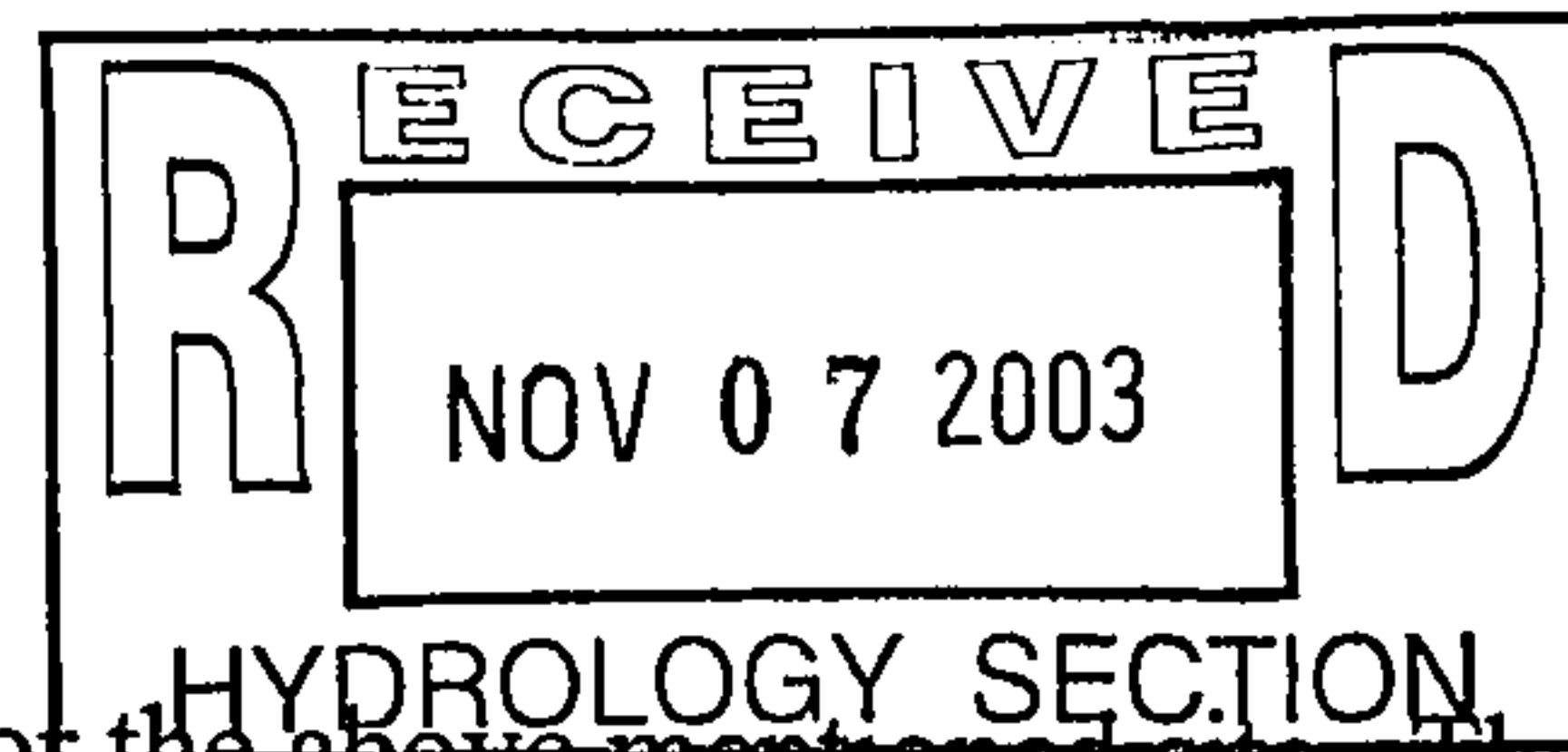
Consulting  
Design  
Development  
Management  
Inspection

November 1, 2003

Mr. Nilo Salgado, P.E.  
City Transportation Department  
600 Second Street NW  
Albuquerque, New Mexico 87102

Re: Final Certification of Occupancy Request for Lot 42, Richfield Park  
(C17 / D2A32), 4601 Columbine Ave., NE

Dear Mr. Salgado:



Enclosed please find copy of the as-built Site Plan for the above mentioned site. The project was re-inspected by Advanced Engineering and Consulting, LLC on November 1, 2003. The site is completely paved. All the curbing and landscaping are in place. We are asking for Final Certification of Occupancy.

Should you have any questions, please do not hesitate to contact our office.

substantial  
compliance  
with approved  
plan  
SB

Sincerely,

Shahab Biazar, P.E.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 7, 2003

Shahab Biazar, P.E.  
Advanced Engineering and Consulting, LLC  
10205 Snowflake Ct. NW  
Albuquerque, NM 87114

**Re: Lot 42, Richfield Park, 4601 Columbine Ave. NE, Certificate of Occupancy  
Engineer's Stamp dated 6-27-02 (C17/D002A32)  
Certification dated 11-03-03**

Dear Mr. Biazar,

Based upon the information provided in your submittal received 11-07-03, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 13, 2002

Shahab Biazar  
Advanced Engineering and Consulting, LLC  
10205 Snowflake Ct. NW  
Albuquerque, NM 87114

**RE: Lot 42, Richfield Park Drainage Report (C17-D2A32)  
Engineer's Stamp Dated May 31, 2002**

Dear Mr. Biazar:

The above referenced grading plan received May 31, 2002 is approved for Site Development Plan for Building Permit, Grading Permit, and Building Permit. The engineer will submit grading certification per the DPM to Hydrology upon completion of the project.

If you have any questions please call me at 924-3982

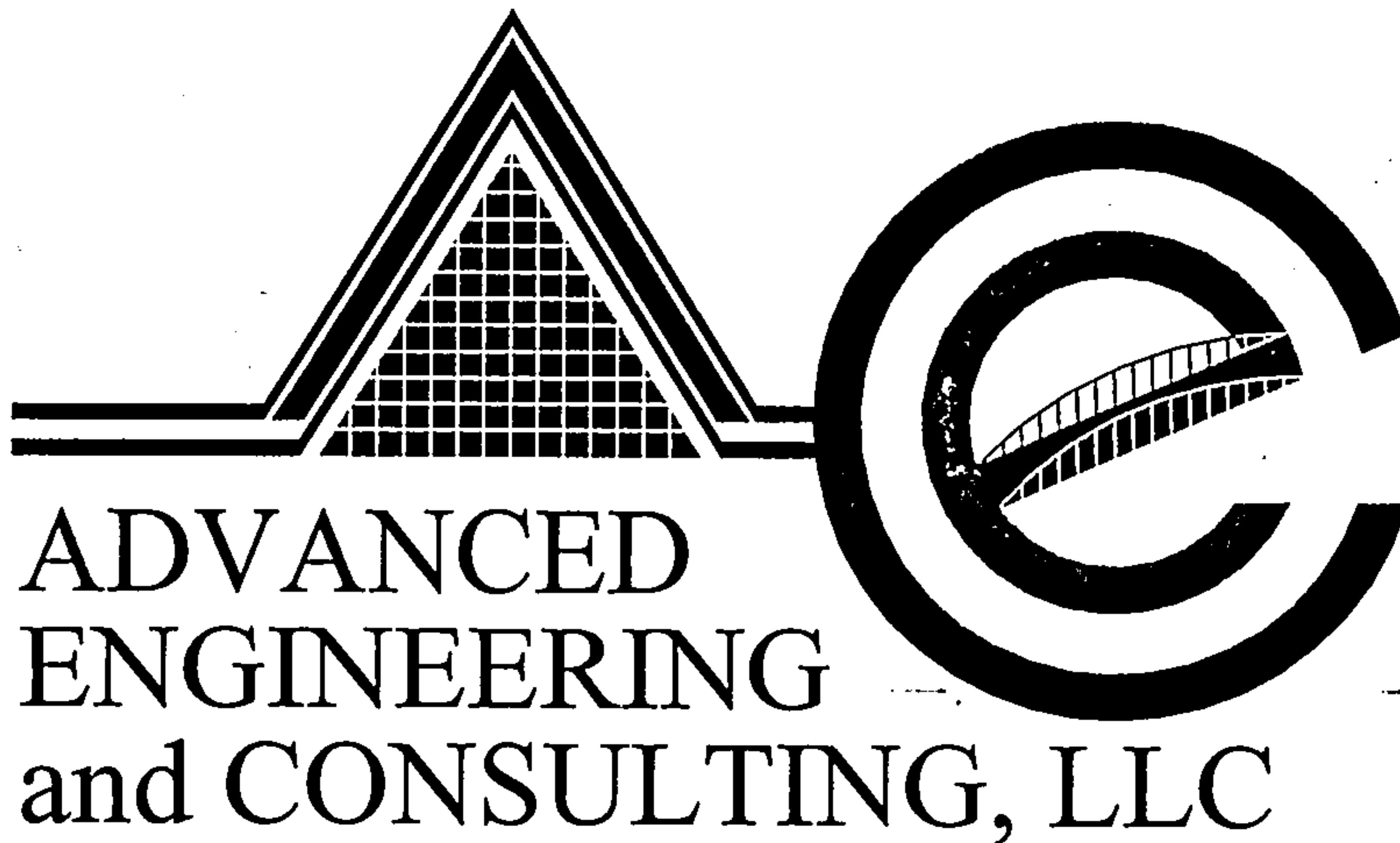
Sincerely,

Carlos A. Montoya, PE  
City Floodplain Administrator

DRAINAGE REPORT  
FOR

LOT 42, RICHFIELD PARK  
8900 ADAMS ST. NE

Prepared by:

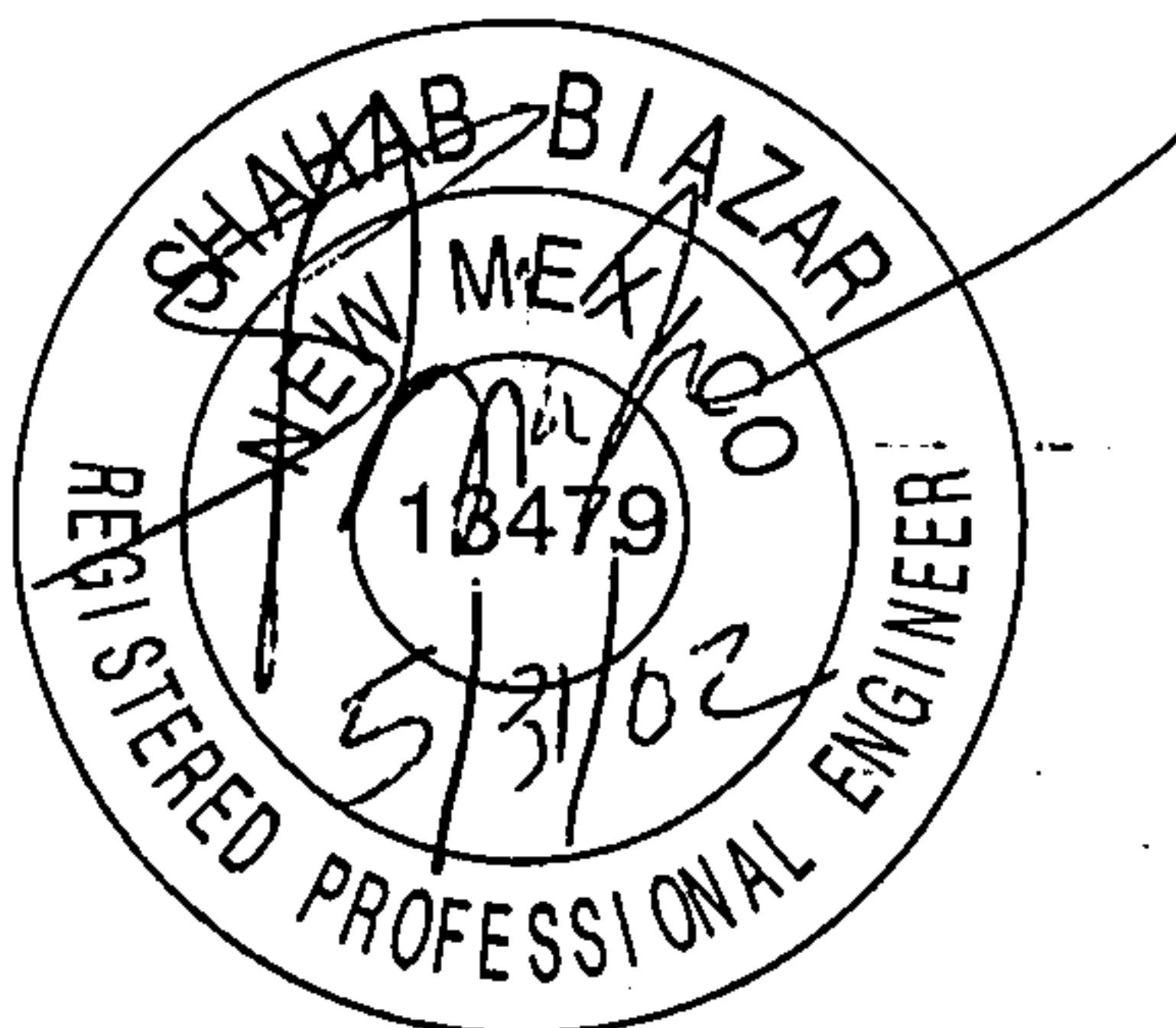


10205 Snowflake Ct. NW  
Albuquerque, New Mexico 87114

Prepared For:

C/O Helmick Homes, Inc.  
Rob Helmick  
P. O. Box 91927  
Albuquerque, New Mexico 87199

May, 2002



Shahab Biazar  
PE NO. 13479



## **Location**

Lot 42, Richfield Park, is located at 8900 Adams Street NE. See attached Zone Atlas page number C-17-Z for exact location. The owners are proposing to build a new building on this site.

## **Purpose**

The purpose of this drainage report is to present a grading and drainage solution for the proposed sites. We are requesting rough grading permit, site development plan for building permit, and building permit approval.

## **Existing Drainage Conditions**

Richfield Park Subdivision improvements were constructed in 1987. The site falls within the Master Drainage Plan for Richfield Park prepared by Espey, Huston, & Associates, Inc. dated August 1, 1986. The site drains east to west to Adams Street. And from there the runoff is carried via street surface to the existing AMAFCA channel located along the west boundary of Richfield Park, Tract D-1. Based on the revised FIRM map # 35001C0-128, 129, 136, & 138-D dated 9-29-1999 the site does not fall within a 100-year floodplain. No offsite runoff enters this site.

## **Proposed Conditions and On-Site Drainage Management Plan**

Under the proposed conditions the runoff discharge routing will remain the same.

Based on the master drainage plan for Richfield Park Subdivision, it was established that all the lots free discharge into the street and then drain to the existing AMAFCA channel located along the west boundary of Richfield Park, Tract D-1.

### **Calculations**

City of Albuquerque, Development Process Manuel, Section 22.2, Hydrology Section, revised January, 1993, was used for runoff calculations.

## RUNOFF CALCULATION RESULTS

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
LOT 42	46670.51	1.0714	0.001674

### EXISTING

BASIN	Q-100 CFS	Q-10 CFS
LOT 42	1.67	0.40

### PROPOSED

BASIN	Q-100 CFS	Q-10 CFS
LOT 42	4.77	3.09



## RUNOFF CALCULATIONS

The site is @ Zone 2

### DEPTH (INCHES) @ 100-YEAR STORM

$$P_{60} = 2.01 \text{ inches}$$

$$P_{360} = 2.35 \text{ inches}$$

$$P_{1440} = 2.75 \text{ inches}$$

### DEPTH (INCHES) @ 10-YEAR STORM

$$\begin{aligned} P_{60} &= 2.01 \times 0.667 \\ &= 1.34 \text{ inches} \end{aligned}$$

$$P_{360} = 1.57$$

$$P_{1440} = 1.83$$

See the summary output from AHYMO calculations.

Also see the following summary tables.

# SUMMARY OUTPUT FILE

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -  
INPUT FILE = 200218

- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =05/19/2002  
USER NO.= AHYMO-I-9702c01000R31-AH

[illegible]