

- GENERAL NOTES:
1. ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
  2. CONTOUR INTERVAL IS ONE (1) FOOT.
  3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5120.52 FEET ABOVE SEA LEVEL.
  4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  6. SLOPES ARE AT 4:1 MAXIMUM.

EROSION CONTROL PLAN  
AND POLLUTION PREVENTION NOTES

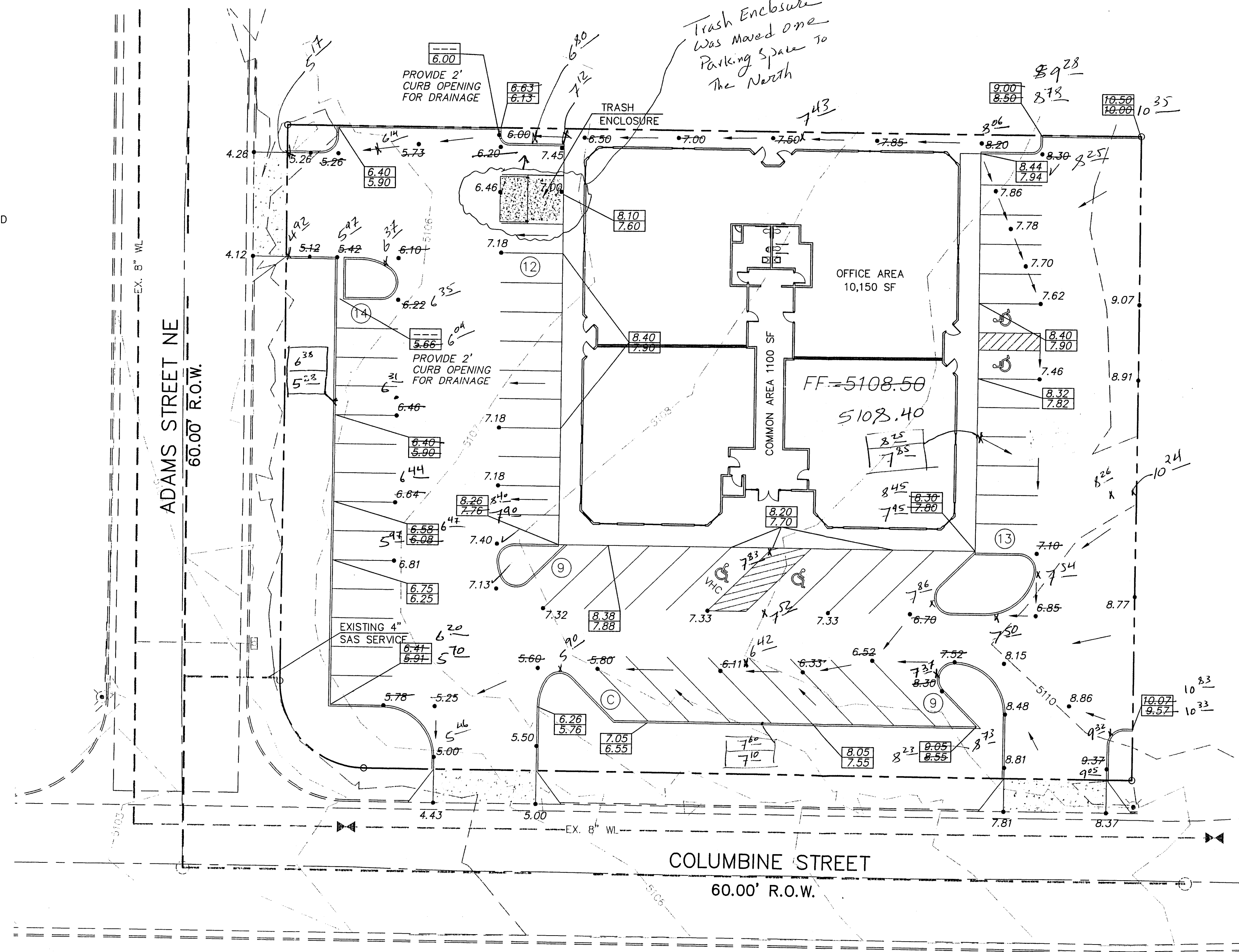
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

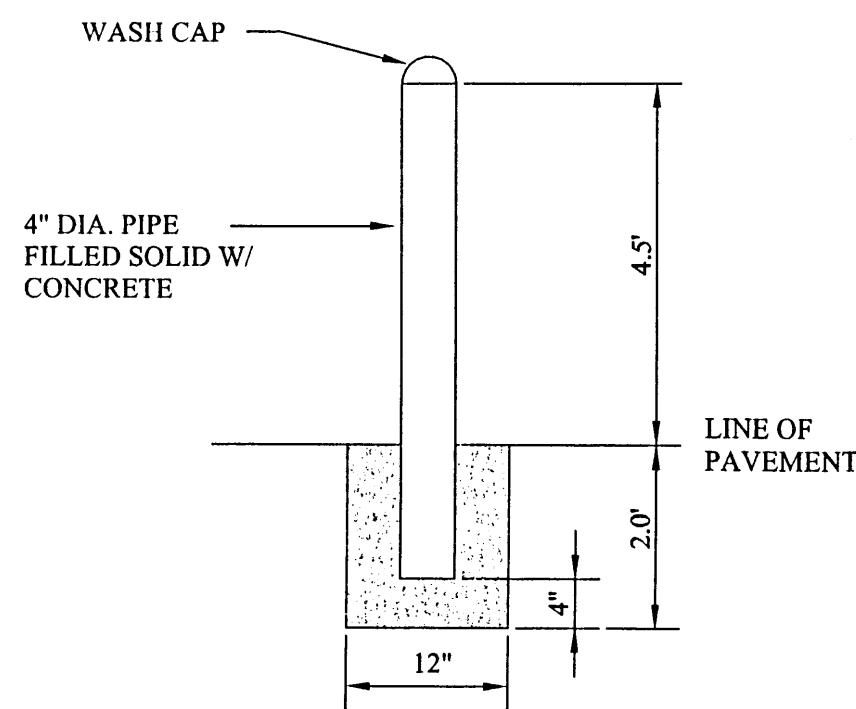
I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/27/2002. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

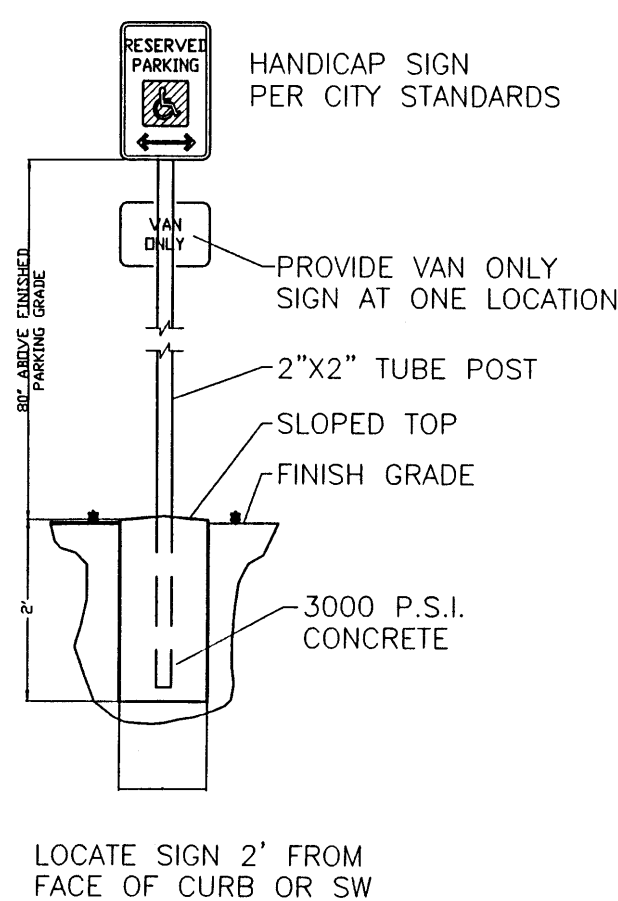
SHAHAB BIAZAR, NMPE # 13479

11/3/03  
DATE





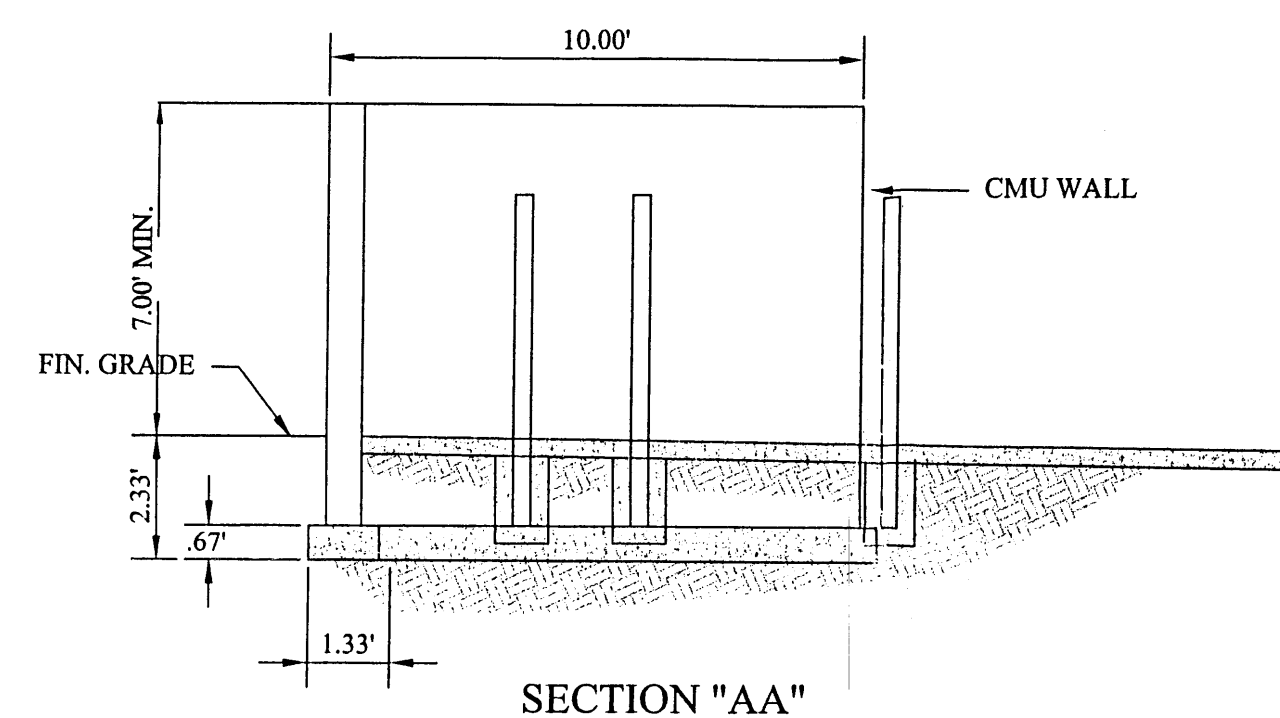
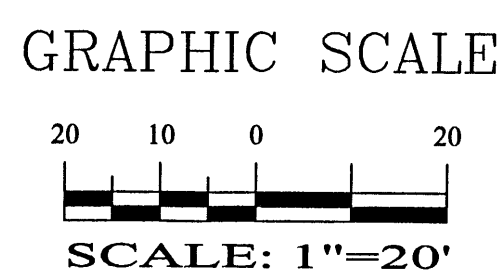
PIPE POST DETAIL  
NTS



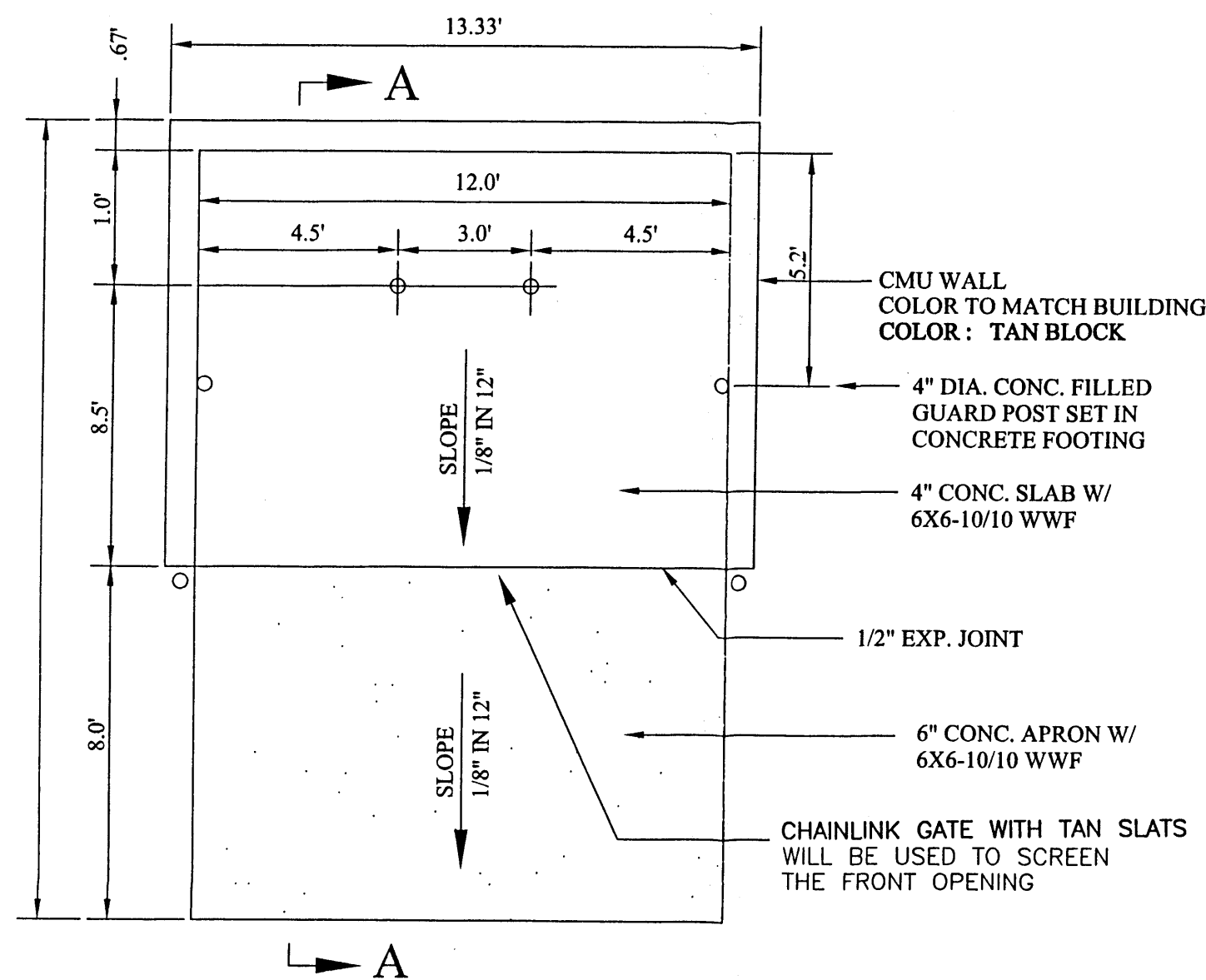
HANDICAP SIGN DETAIL  
NTS

**LEGEND**

	BOUNDARY LINE
	BUILDING
	PROPOSED CURB ON SITE
	EXISTING CURB & GUTTER
	EX. 8" WL
	EXISTING WATER LINE
	EXISTING SAS



SECTION "AA"



DUMPSTER ENCLOSURE DETAIL  
NTS

# GENERAL NOTES:

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED, STEEL OR WOOD POLE MOUNTED, HIGH PRESSURE SODIUM, 400 WATTS. LIGHTING SHALL BE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES. PARKING LOT FIXTURES ARE TO HAVE AN OVERALL HEIGHT OF SIXTEEN(16) FEET. WALKING LIGHTING FIXTURES ARE TO HAVE AN OVERALL MAXIMUM HEIGHT OF TWELVE (12) FEET.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 24 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 6.00'
3. THIS SITE PLAN CONFORMS WITH AND APPROVED SITE PLAN CASE #Z-85-70-1.
4. CURRENT ZONING IS IP.
5. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
6. BUILDINGS: BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 26 FEET IN HEIGHT. BUILDING TYPES: BUILDINGS WILL BE STEEL FRAME WITH FLAT AND PITCHED ROOF. BUILDINGS WILL BE STUCCO.
7. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE AND APPROVED SITE PLAN CASE #Z-85-70-1.
8. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
9. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
10. ALL EXTERNAL SIDEWALKS HAVE BEEN DIFFERED. THE AREA FROM BACK OF CURB TO PROPERTY LINE SHOULD BE LANDSCAPED PER APPROVED SITE PLAN CASE #Z-85-70-1.
11. NO FUGITIVE LIGHT IS ALLOWED TO ESCAPE THE SITE.

## SITE DATA

PROPOSED USAGE:	OFFICE/STORAGE
LOT AREA:	46,670.51 S.F. (1.0714 ACRE)
OFFICE AREA (LEASEABLE):	10,150.00 S.F.
COMMON AREA:	1,100.00 S.F.
GROSS BUILDING AREA:	11,250.00 S.F.
CONSTRUCTION TYPE:	IIN (PRE-ENGINEERED STEEL BUILDING, W/ NON-COMBUSTIBLE INTERIOR FRAMING)

## LANDSCAPE CALCULATIONS:

NET LOT AREA	35,420.00 SF ±
LANDSCAPING REQUIRED:	5,313.00 SF ±
15% OF 35,770 SF	
LANDSCAPE PROVIDED	6,640.00 SF ±

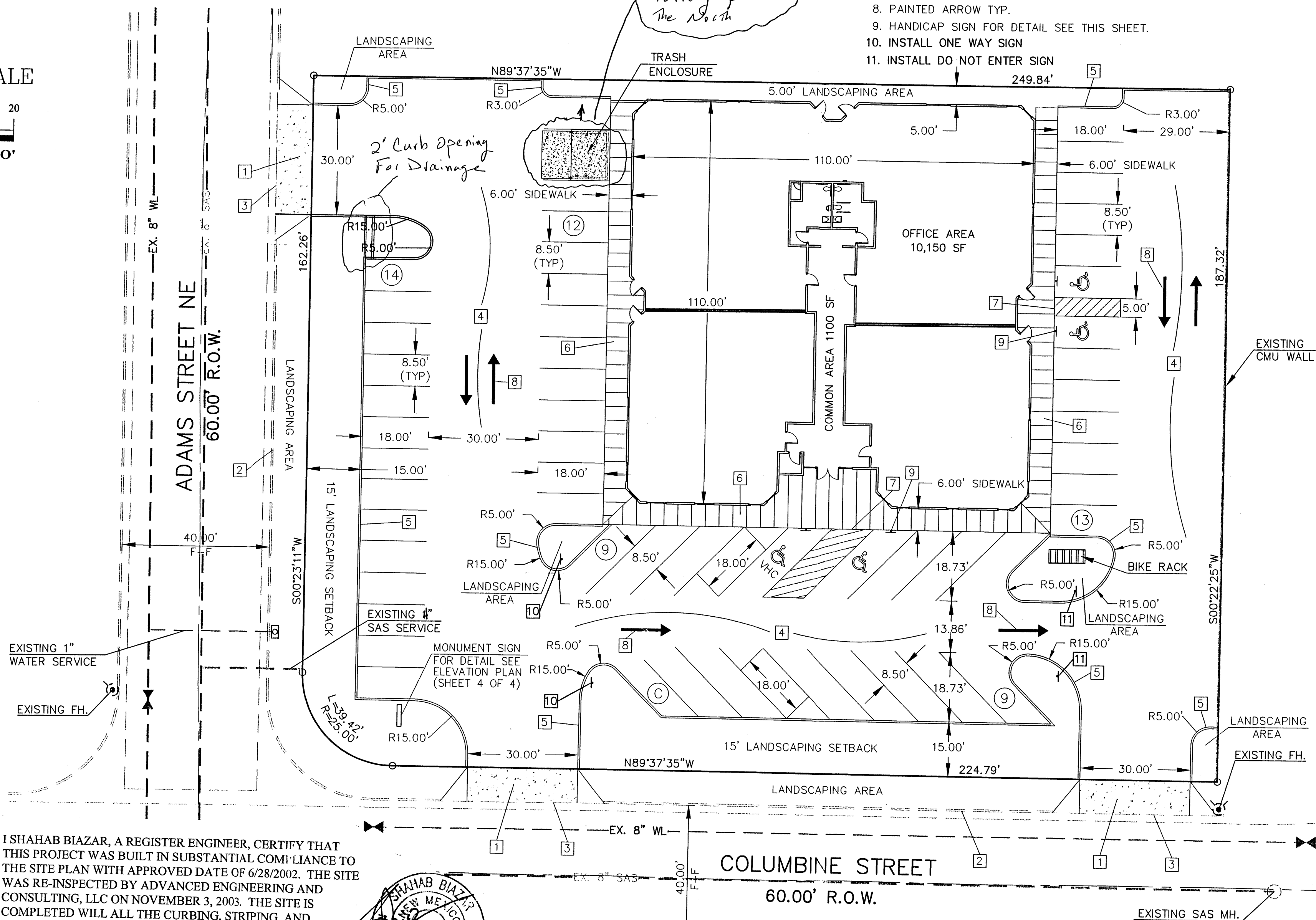
## PARKING CALCULATIONS:

PARKING REQUIRED:	
OFFICE AREA (LEASEABLE):	10,150 GSF / 200 GSF 51 SPACES

TOTAL PARKING PROVIDED:	57 SPACES
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
BICYCLE SPACES REQUIRED:	2 SPACES
BICYCLE SPACES PROVIDED:	2 SPACES

## NOTES:

1. NEW ENTRANCE PER COA STANDARD DRAWING #2426.
2. EXISTING CURB AND GUTTER.
3. REMOVE EXISTING CURB.
4. NEW ASPHALT PAVING AREA.
5. NEW CONCRETE HEADER CURB PER COA STANDARD DRAWING #2415.
6. NEW 6' TURNDOWN SIDEWALK.
7. NEW WHEELCHAIR RAMP.
8. PAINTED ARROW TYP.
9. HANDICAP SIGN FOR DETAIL SEE THIS SHEET.
10. INSTALL ONE WAY SIGN
11. INSTALL DO NOT ENTER SIGN



## SHEET INDEX

1. SITE PLAN
2. LANDSCAPING PLAN
3. GRADING AND DRAINAGE PLAN
4. ELEVATIONS

DRB PROJ. # 1001973  
DRB APP. # 02DRB-00924

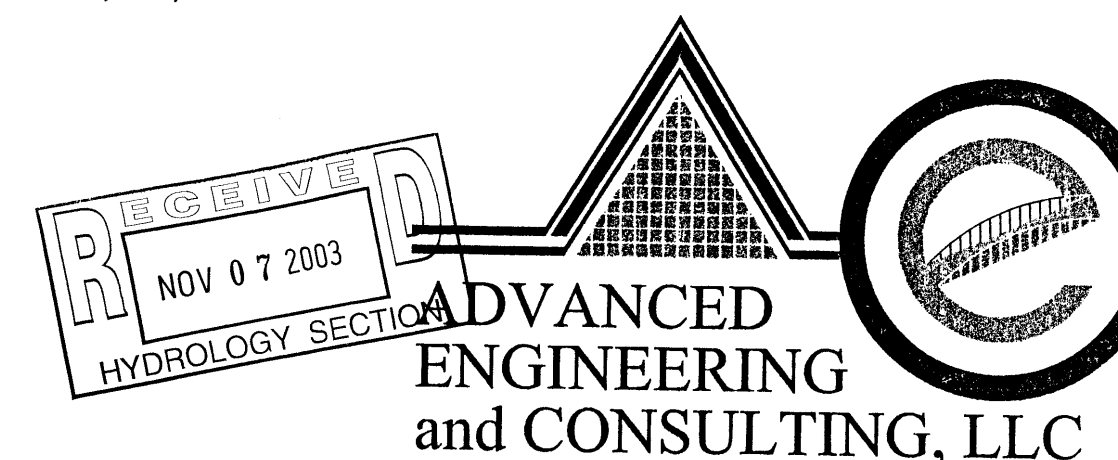
## CASE NUMBER:

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

## SITE DEVELOPMENT PLAN

<i>Richard Dante</i> Traffic Engineer, Transportation Division	6-27-02 Date
<i>Deborah Hilyard</i> Parks & Recreation Department	6/26/02 Date
<i>Roger A. Green</i> Public Works, Water Utilities Division	6-26-02 Date
<i>Brady L. Brigham</i> City Engineer, Engineering Division / AMAFCA	6/26/02 Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
<i>Janet S.</i> City Planner, Albuquerque / Bernalillo County Planning Division	6/28/02 Date
<i>Sharon A. Ribera</i> Solid Waste	6-24-02 Date

PLNZ (10706) 4/96



SHAHAB BIAZAR  
P.E. #13479

10205 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-5570

## HELMICK HOMES, INC. SITE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200218-ST.DWG	SHH	06-10-02	1 OF 4

LAST REVISION: 06-10-02