

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 16, 1995

Christopher L. Weiss C.L. Weiss Engineering, Inc. P.O. Box 97 Sandia Park, NM 87047

RE: REVISED GRADING AND DRAINAGE PLAN FOR LOT 15-A RICHFIELD PARK SUBDIVISION (C17-D2A9) ENGINEER'S STAMP DATED 5/18/95.

Dear Mr. Weiss:

Based on the information provided on your May 22, 1995 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this ap[proved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

A separate permit is required for construction within City Right-of-Way. A copy of this approval letter must be on hand when applying for the excavation permit.

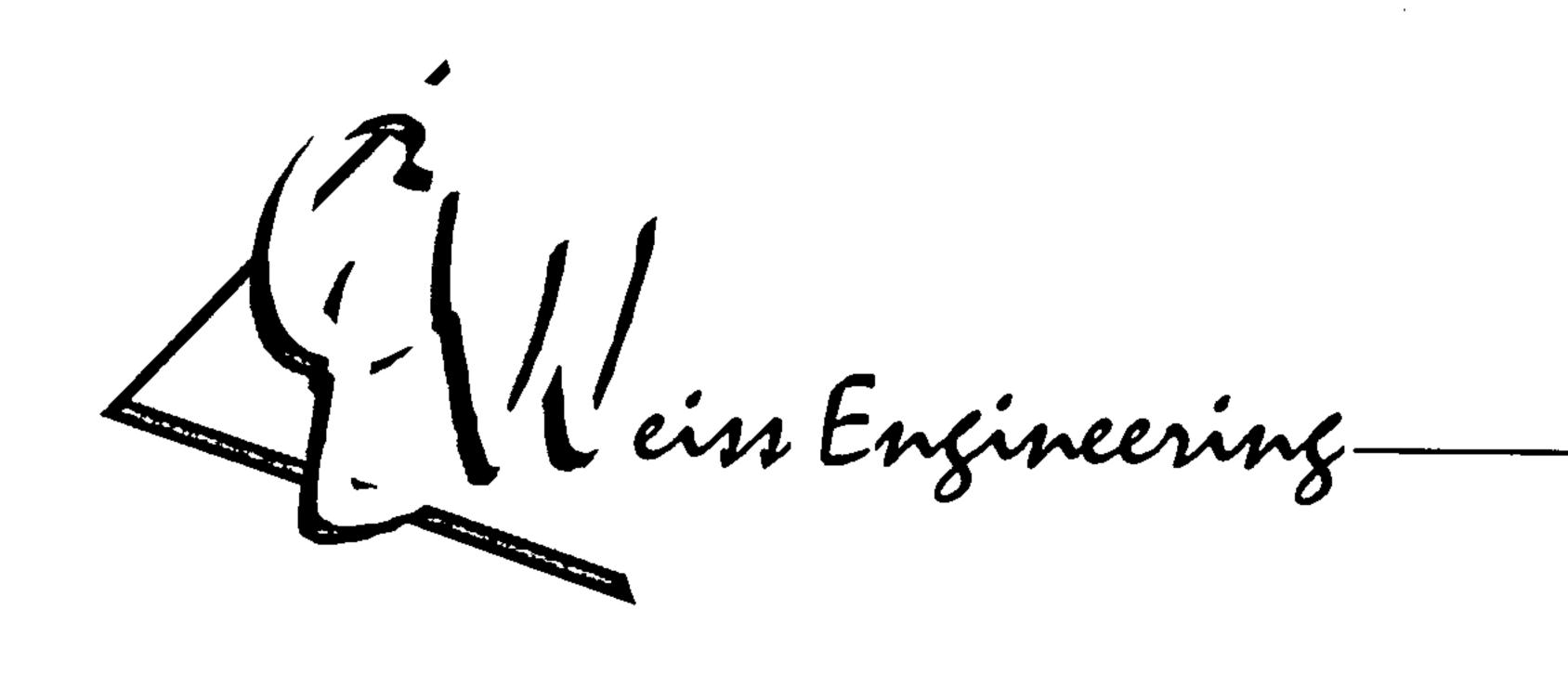
If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia
Arlene Portillo
Pat McMullan
File



May 18, 1995

Susan M. Calongne, P.E. City / County Floodplain Administrator P.O. Box 1293 Albuquerque, New Mexico 87103

RE: REVISED GRADING AND DRAINAGE PLAN FOR LOT 15-A, RICHFIELD PARK SUBDIVISION, (C17-D2A9), ENGINEER'S STAMP DATED 5/18/95.

Dear Ms. Calongne,

Enclosed with this letter are three copies of the revised Drainage / Grading Plan for the above mentioned project. I have also included a copy of the original letter of approval dated 12/19/1994.

A tenant has been found for the office / warehouse but a dock was required. This revision addresses the design of the dock with modifications as follows:

- 1. Building F.F. raised from 97.00 to 97.71 (based on as-built information).
- 2. North / West / East parking and landscape grades modified per new F.F. elevation.
- 3. 18' x 20' x 46" high dock added to south side of building. Parking configuration modified, grades modified.
- 4. Concrete valley gutter, concrete rundown and underwalk drain added to carry flows to Washington St.. See calcs for additional information.
- 5. Handicap parking / building access grades modified.

Total flows do not change, all flows continue to discharge to Washington St.. Our client would greatly appreciate a quick review of this submittal as the building is currently under construction.

Please don't hesitate to call me at 266-3444 or Chris Weiss, Project Engineer at 281-1718 if you have any questions or concerns.

Sincerely,

Bryan J. Robrick, Project Manager

C.L. Weiss Engineering, Inc.

::reviewed and approved by C.L. Weiss, P.E.

MAY 2 2 1995

PROJECT TITLE: Lot 15-A Richfield Park Subdivision	ZONE ATLAS / DRNG. FILE #: C-17/M
LEGAL DESCRIPTION: Lot 15-A Richfield Park Subdivision	
CITY ADDRESS: N/A	
ENGINEERING FIRM: C.L. Weiss Engineering, Inc.	CONTACT: Bryan Bobrick
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 266-3444
OWNER: Pat McMullan	CONTACT: Pat McMullan
ADDRESS: 7109 Prospect Pl. N.E.	PHONE: <u>883-1100</u>
ARCHITECT: Weller Architects	CONTACT: Dick Engstrom
ADDRESS: 401-d Alvarado S.E. 87108	PHONE: <u>255-8270</u>
SURVEYOR: Forstbauer Surveying Co.	CONTACT: Ron Forstbauer
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 268-2112
CONTRACTOR FIRM:	CONTACT:
ADDRESS:	PHONE:
PRE-DESIGN MEETING:	
YES	DRB NO
X_NO	EPC NO
COPY OF CONFERENCE RECAP SHEET PROVIDED	PROJ. NO
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT
X_DRAINAGE PLAN	PRELIMINARY PLAT
CONCEPTUAL GRADING & DRAINAGE PLAN	SITE DEVELOPMENT PLAN
X_GRADING PLAN	FINAL PLAT
EROSION CONTROL PLAN	X BUILDING PERMIT
ENGINEER'S CERTIFICATION	FOUNDATION PERMIT
	CERT. OF OCCUPANCY
	ROUGH GRADING PERMIT
	GRADING / PAVING PERMIT
	OTHER
	The first the fi
DATE SUBMITTED: May 18, 1995	
BY: C.L. Weiss Engineering, Inc.	MAY 2 2 1995



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 19, 1994

Christopher L. Weiss, P.E. C.L. Weiss Engineering, Inc. Post Office Box 97 Sandia Park, New Mexico 87047

RE: REVISED GRADING AND DRAINAGE PLAN FOR LOT 15-A, RICHFIELD PARK SUBDIVISION, (C17-D2A9), ENGINEER'S STAMP DATED 12/8/94.

Dear Mr Weiss:

Based on the information provided in the above referenced resubmittal of December 12, 1994, the revised plan is approved for Building Permit release.

Please be advised that prior to Certificate of Occupancy release, the Engineer's Certification per the D.P.M. checklist will be required.

If you have any questions, or if I may be of further assistance, please do not hesitate to call me at 768-2650.

Sincerely,

Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology File



December 8, 1994

Mr. Fred Aguirre City of Albuquerque Hydrologist Public Works Department P.O. Box 1293 Albuquerque, New Mexico 87103

RE:

RESUBMITTAL OF LOT 15-A RICHFIELD PARK SUBDIVISION - C17-D2A9 - ENG. STAMP DATED 12-8-94

Dear Mr. Aguirre,

Enclosed with this letter, please find 4 copies of the revised Drainage / Grading Plan for the above mentioned property. This project was previously approved for Building Permit by Susan Calongne, City / County Floodplain Administrator on November 25, 1994.

The changes made were based on updating the site plan to match the architects approved plan and included revisions to the paved areas with minor changes to the walks and landscaped areas at the building entrances. Based on these changes, the calculations show an increase of 0.1 cfs from our previous submittal. All notes remained unchanged.

We would appreciate your review of this project as soon as possible. Please don't hesitate to call me at 266-3444 or Chris at 281-1800 if there is any thing else you need.

Sincerely,

Bryan J. Bobrick, Project Manager C.L. Weiss Engineering, Inc.

PROJECT TITLE: Lot 15-A Richfield Park Subdivision	ZONE ATLAS / DRNG. FILE #: C-17/4
LEGAL DESCRIPTION: Lot 15-A Richfield Park Subdivisi	
CITY ADDRESS: N/A	
ENGINEERING FIRM: C.L. Weiss Engineering, Inc.	CONTACT: <u>Bryan Bobrick</u>
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 266-3444
OWNER: Pat McMullan	CONTACT: Pat McMullan
ADDRESS: 7109 Prospect Pl. N.E.	PHONE: 883-1100
ARCHITECT: Weller Architects	CONTACT: <u>Dick Engstrom</u>
ADDRESS: 401-d Alvarado S.E. 87108	PHONE: 255-8270
SURVEYOR: Forstbauer Surveying Co.	CONTACT: Ron Forstbauer
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 268-2112
CONTRACTOR FIRM:	CONTACT:
ADDRESS:	PHONE:
DDE DECION MEETING	
PRE-DESIGN MEETING: YES	DRB NO.
' LO X NO	EPC NO
COPY OF CONFERENCE RECAP SHEET PROVIDED	PROJ. NO
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT
X DRAINAGE PLAN	PRELIMINARY PLAT
CONCEPTUAL GRADING & DRAINAGE PLAN	SITE DEVELOPMENT PLAN .
X GRADING PLAN	FINAL PLAT
EROSION COI	X BUILDING PERMIT
ENGINEER'S (DRB 94-569	FOUNDATION PERMIT
	CERT. OF OCCUPANCY
grading & drainage plan dated 12-8-94	ROUGH GRADING PERMIT
dated 12-8-94	GRADING / PAVING PERMIT
matches Site Plan	OTHER
DATE SUBMITTED: December 0, 4004	
DATE SUBMITTED: <u>December 8, 1994</u> BY: C.L. Weiss Engineering, Inc.	
BY: <u>C.L. Weiss Engineering, Inc.</u>	

UEC 1 2 1991



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 25, 1994

Christopher L. Weiss, P.E. C.L. Weiss Engineering, Inc. Post Office Box 97 Sandia Park, New Mexico 87047

RE: GRADING AND DRAINAGE PLAN FOR LOT 15-A, RICHFIELD PARK SUBDIVISION, (C17-D2A9), ENGINEER'S STAMP DATED 11/17/94.

Dear Mr Weiss:

Based on the information provided in the above referenced submittal of November 21, 1994, this plan is approved for Building Permit release.

Please be advised that prior to Certificate of Occupancy release, the Engineer's Certification per the D.P.M. checklist will be required.

If you have any questions, or if I may be of further assistance, please feel free to call me at 768-2650.

Sincerely,

Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology File

PROJECT TITLE: Lot 15-A Richfield Park Subdivision	
LEGAL DESCRIPTION: Lot 15-A Richfield Park Subdivi	
CITY ADDRESS: N/A	
ENGINEERING FIRM: C.L. Weiss Engineering, Inc.	CONTACT: Bryan Bobrick
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 266-3444
OWNER: Pat McMullan	CONTACT: Pat McMullan
ADDRESS: 7109 Prospect Pl. N.E.	PHONE: 883-1100
ARCHITECT: Weller Architects	CONTACT: Dick Engstrom
ADDRESS: 401-d Alvarado S.E. 87108	PHONE: 255-8270
SURVEYOR: Forstbauer Surveying Co.	CONTACT: Ron Forstbauer
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 268-2112
CONTRACTOR FIRM:	CONTACT:
ADDRESS:	PHONE:
PRE-DESIGN MEETING:	
YES	DRB NO
TL3	EPC NO.
COPY OF CONFERENCE RECAP SHEET PROVIDED	PROJ. NO. <u>C17-D2A9</u>
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT
X_DRAINAGE PLAN	PRELIMINARY PLAT
CONCEPTUAL GRADING & DRAINAGE PLAN	SITE DEVELOPMENT PLAN
X_GRADING PLAN	FINAL PLAT
EROSION CONTROL PLAN	X BUILDING PERMIT
ENGINEER'S CERTIFICATION	FOUNDATION PERMIT
	CERT. OF OCCUPANCY
	ROUGH GRADING PERMIT
· •.	GRADING / PAVING PERMIT
	OTHER
DATE SUBMITTED: November 17, 1994	

BY: C.L. Weiss Engineering, Inc.

NOV 2 1 15



November 17, 1994

Susan M. Calongne, P.E. City / County Floodplain Administrator

RE: DG PLAN FOR LOT 15-A, RICHFIELD PARK SUBDIVISION (C17-D2A9) COMMENTS DATED 11/7/94

Dear Ms. Calongne,

Enclosed with this letter, please find four copies of the revised Drainage / Grading Plan for your review. Based on your comments, the following revisions were made:

- 1. The FEMA flood zone designation "100 Year Flood Boundary" has been added to the flood plain map.
- 2. The limits of the existing flood plain has been shown on the site plan.
- 3. The FEMA map insert indicates the presence of a 100 year Flood Boundary through a portion of the property, but this flood zone exists on paper only. The subsequent development of this area has diverted flows to the streets and surrounding drainage infrastructure improvements (see exhibit A). Our client has not hired us to revise the FEMA Map for this property and he understands he may be required to pay for flood insurance until the map is revised. We are including the following statement on the plan:

Although the FEMA map insert indicates the presence of a 100-year Flood Boundary through a portion of this property, the infrastructure constructed in this area have diverted these flows. No additional methods of flood proofing were implemented. Until FEMA Map revisions are made, this property may be subject to Flood Insurance.

4. The Flood Hazard Statement has been revised to read as follows:

Per FEMA Boundary Map #9, the property does lie within a Flood Zone. However, this area has been developed with streets and other drainage infrastructure improvements and the site is no longer impacted by the aforementioned flood zone.

We apologize for any confusion caused by our initial statement that the property was not located within a flood zone. We provided that information based on review of the Master Drainage Plan for Richfield Park prepared by Bohannan-Huston, the City of Albuquerque PWD Drainage Facilities System Sectional Maps and field inspection of the site and surrounding areas We have relayed to our client that while the property is not actually impacted by a flood zone, until a Map revision is done, it may be subject to flood insurance requirements.

Our client is very anxious to begin the construction process. If you have any questions or comments concerning this resubmittal, I would greatly appreciate it if you would call Chris Weiss, P.E. at 281-1800.

Sincerely,

Christoper L. Weiss, P.E. C.L. Weiss Engineering, Inc.

EXHIBIT A

As shown on the FEMA Map #9, dated October 14, 1983, the Wildflower - Phase I development to the east of Richfield Park, concentrated storm run-off flows within the streets Goldenthread Drive and Watercress Drive. These flows continue west to Richfield Park, thus creating the 100-yr Flood Plain Boundary shown. Since that map was created, other development in the area has been completed which affects these flood flows.

Per the City of Albuquerque, PWD Drainage Facilities System Section Map C-17, the flows from Goldenthread Drive and Columbine Dr. are captured in storm inlets and carried in 36" rcp beneath Jefferson St. to a 60" rcp beneath Alameda. The flows from Watercress Dr. are collected in storm drains and carried north to the AMAFCA Watercress Drain where they are carried further north to the North La Cueva Arroyo. Any flows which do not enter the storm inlets are carried north within Jefferson St. to enter the AMAFCA Watercress Drain.

Based on the above mentioned information as well as field inspections, it is clear that the flow path which is indicated on the FEMA Map #9 no longer exists at Richfield Park Subdivision. The construction on lot 15-A does not require additional methods of flood proofing. The only off-site drainage effecting this property is the approximately 1/4 acre to the east which has minimal impact on the site. All other off-site flows are diverted by existing drainage swales (see plan).

Please refer to page 2 of the exhibit for additional information.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 7, 1994

Chris Weiss C.L. Weiss Engineering Inc. 1100 Alvarado DR. NE Albuquerque, NM 87110

RE: GRADING AND DRAINAGE PLAN FOR LOT 15-A, RICHFIELD PARK SUBDIVISION, (C17-D2A9), ENGINEER'S STAMP DATED 10/28/94.

Dear Mr. Weiss:

This property lies within a Special Flood Hazard Area as identified on Panel 9 of FEMA's Flood Insurance Rate Map (FIRM). There have been no map revisions in this area. Unless you are proposing to revise the FEMA map, this property remains within the flood plain and the owners may be subject to flood insurance. Prior to release of the Building Permit, the following flood plain issues must be resolved:

- 1. The FEMA flood zone designation must be shown on the flood plain map.
- 2. The limits of the existing flood plain must be shown on the site plan.
- 3. Please indicate what methods of floodproofing are proposed to protect the development.
- 4. Please revise the flood hazard statement on the plan.

If you have any questions, please feel free to call me.

Sincerely,

Susan M. Calongne, P.E.

City/County Floodplain Administrator

c: Andrew Garcia File

wphyd/8925

PROJECT TITLE: Lot 15-A Richfield Park Subdivision	ZONE ATLAS / DRNG. FILE #: C-17/
LEGAL DESCRIPTION: Lot 15-A Richfield Park Subdiv	<u>ision</u>
CITY ADDRESS: N/A	
ENGINEERING FIRM: C.L. Weiss Engineering, Inc.	CONTACT: <u>Bryan Bobrick</u>
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 266-3444
OWNER: Pat McMullan	CONTACT: Pat McMullan
ADDRESS: 7109 Prospect Pl. N.E.	PHONE: <u>883-1100</u>
ARCHITECT: Weller Architects	CONTACT: <u>Dick Engstrom</u>
ADDRESS: 401-d Alvarado S.E. 87108	PHONE: 255-8270
SURVEYOR: Forstbauer Surveying Co.	CONTACT: Ron Forstbauer
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 268-2112
CONTRACTOR FIRM:	CONTACT:
ADDRESS:	PHONE:
	· · · · · · · · · · · · · · · · · · ·
PRE-DESIGN MEETING:	
YES	DRB NO
X_NO	EPC NO
COPY OF CONFERENCE RECAP SHEET PROVIDED	PROJ. NO
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT
X_DRAINAGE PLAN	PRELIMINARY PLAT
CONCEPTUAL GRADING & DRAINAGE PLAN	SITE DEVELOPMENT PLAN
X_GRADING PLAN	FINAL PLAT
EROSION CONTROL PLAN	X BUILDING PERMIT
ENGINEER'S CERTIFICATION	FOUNDATION PERMIT
	CERT. OF OCCUPANCY
	ROUGH GRADING PERMIT
	GRADING / PAVING PERMIT
····	OTHER
DATE SUBMITTED: October 28, 1994	
BY: C.L. Weiss Engineering, Inc.	OCT 2 8 1994



October 28, 1994

Mr. Bernie J. Montoya, CE City of Albuquerque Public Works Department P.O. Box 1293 Albuquerque, New Mexico 87103

RE: DRAINAGE PLAN FOR LOT 15-A RICHFIELD PARK SUBDIVISION (C17-D2A9)

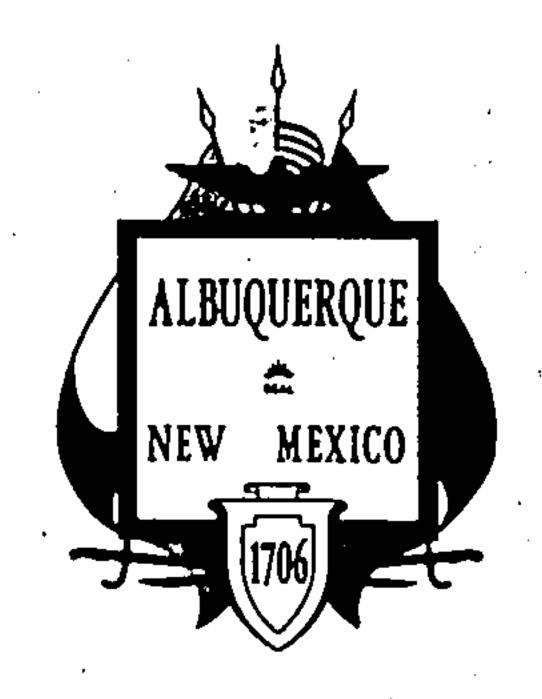
Dear Mr. Montoya,

Enclosed with this letter are four copies of the revised D/G Plan for the above mentioned project. The only revision was in the <u>FLOOD ZONE</u> area of the general notes. We had incorrectly stated that based on the flood map, the site was not located in the flood zone. This statement has been revised.

If you have any questions, please feel free to call me at 266-3444 or Chris Weiss at 281-1800.

Sincerely,

Bryan J. Bobrick, Project Manager C.L. Weiss Engineering, Inc.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 26, 1994

Chris Weiss C.L. Weiss Engineering Inc. 1100 Alvarado DR. NE Albuquerque, NM 87110

RE: DRAINAGE PLAN FOR LOT 15-A RICHFIELD PARK SUBDIVISION (C17-D2A9) ENGINEER'S STAMP DATED 9/21/94.

Dear Mr. Weiss:

The approval for Building Permit in the above referenced site must be revoked at this time for the following reasons:

- 1. Narrative on the drainage plan identifies that the site is not encroached on a flood zone. A portion of lot 16 is within a flood zone.
- 2. Please identify on your resubmittal the portion of the site which is within the flood zone.
- 3. Also, please identify how the site will be protected from flooding.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/d1/WPHYD/8925

c: Andrew Garcia
File



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 13, 1994

Chris Weiss C.L. Weiss Engineering Inc. 1100 Alvarado Dr. NE Albuquerque, NM 87110

RE: DRAINAGE PLAN FOR LOT 15-A RICHFIELD PARK SUBDIVISION (C17-D2A9) ENGINEER'S STAMP DATED 9/21/94.

Dear Mr. Weiss:

Based on the information provided on your September 23, 1994 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, none of the roof run-off from the west area will be allowed over the public curb and gutter.

Prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/d1/WPHYD/8881

c: Andrew Garcia File

C17/102A9

PROJECT TITLE: Lot 15-A Richfield Park Subdivision	ZONE ATLAS / DRNG. FILE #: C-17
LEGAL DESCRIPTION: Lot 15-A Richfield Park Subdivis	ion
CITY ADDRESS: N/A	
ENGINEERING FIRM: C.L. Weiss Engineering, Inc.	CONTACT: Bryan Bobrick
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 266-3444
OWNER: Pat McMullan	CONTACT: <u>Pat McMullan</u>
ADDRESS: 7109 Prospect Pl. N.E.	PHONE: 883-1100
ARCHITECT: Weller Architects	CONTACT: Dick Engstrom
ADDRESS: 401-d Alvarado S.E. 87108	PHONE: 255-8270
SURVEYOR: <u>Forstbauer Surveying Co.</u>	CONTACT: Ron Forstbauer
ADDRESS: 1100 Alvarado Dr. N.E. 87110	PHONE: 268-2112
CONTRACTOR FIRM:	CONTACT:
ADDRESS:	PHONE:
PRE-DESIGN MEETING:	
YES	DRB NO
XNO	EPC NO
COPY OF CONFERENCE RECAP SHEET PROVIDED	PROJ. NO
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SKETCH PLAT
X_DRAINAGE PLAN	PRELIMINARY PLAT
CONCEPTUAL GRADING & DRAINAGE PLAN	SITE DEVELOPMENT PLAN
X_GRADING PLAN	FINAL PLAT
EROSION CONTROL PLAN	XBUILDING PERMIT
ENGINEER'S CERTIFICATION	FOUNDATION PERMIT
	CERT. OF OCCUPANCY
	ROUGH GRADING PERMIT
	GRADING / PAVING PERMIT
	OTHER
DATE SUBMITTED: September 21, 1994	
BY: C.L. Weiss Engineering, Inc.	SEP 2 3 1901