

# CITY OF ALBUQUERQUE

Planning Department  
David S. Campbell, Director



Timothy M. Keller, Mayor

February 19, 2018

Bruce Stidworthy, PE  
Bohannon-Huston  
7500 Jefferson St NE Courtyard I  
Albuquerque, NM 87109

**Re: 4101 Paseo Del Norte NE - Sports Complex  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 6/11/2015 (C17D008)  
Certification dated: 12-13-2017**

Dear Mr. Stidworthy,

Based on the application received 2/09/2018, the site is acceptable for permanent Release of Certificate of Occupancy by Hydrology.

If you have any questions feel free to call me at 924-3986 or e-mail [jhughes@cabq.gov](mailto:jhughes@cabq.gov).

Sincerely,

James D. Hughes, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

C: email Serna, Yvette; Fox, Debi; Tena, Victoria; Sandoval, Darlene M., Bob  
Feeney, Nicole Friedt



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
- \_\_\_\_\_ ENGINEER'S CERT (ESC)
- \_\_\_\_\_ SO-19
- \_\_\_\_\_ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

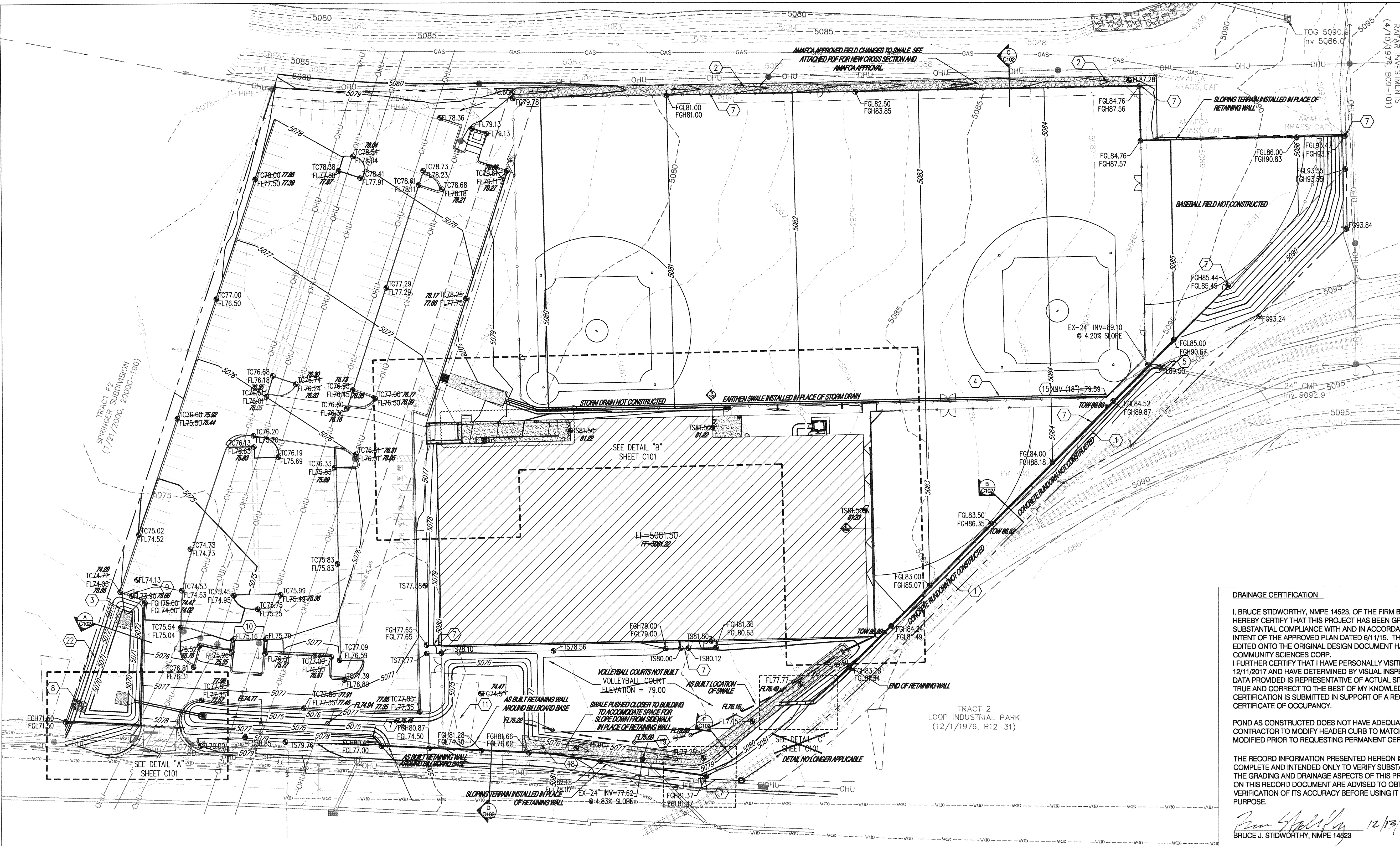
- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ GRADING CERTIFICATION
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ ESC PERMIT APPROVAL
- \_\_\_\_\_ ESC CERT. ACCEPTANCE
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



GRADING KEYED NOTES

1. INSTALL NEW CONCRETE RIBBON CHANNEL PER DETAIL "N" SHEET C102.
2. INSTALL NEW RIP RAP SWALE PER DETAIL "J" SHEET C102.
3. INSTALL NEW RIP RAP BLANKET PER DETAIL "L" SHEET C102.
4. INSTALL NEW STORM DRAIN. SEE PLAN FOR SIZE. TIE FIELD SUBDRAINS TO STORM DRAIN PER SUBDRAIN MANUFACTURER'S RECOMMENDATIONS
5. DAYLIGHT EXISTING CULVERT INTO NEW CONCRETE RIBBON CHANNEL. SEE DETAIL "M" SHEET C102.
6. INSTALL CMP STORM DRAIN END SECTION SEE PLAN FOR SIZE.
7. INSTALL RETAINING WALL, SEE STRUCTURAL SHEETS FOR DETAILS.
8. INSTALL NEW POND WEIR PER DETAIL "H" SHEET C102.
9. INSTALL NEW 16" WIDE CONCRETE RUNDOWN PER DETAIL "N" SHEET C102.
10. INSTALL CURB OPENING PER DETAIL "K" SHEET C102.
11. EXISTING BILLBOARD TO REMAIN. MATCH EXISTING GRADE WITHIN 5' OF BILLBOARD FOUNDATION. SEE DETAIL "D" SHEET C102.
12. INSTALL NEW 10" NYLOPLAST DOME INLET OR APPROVED EQUAL.
13. INSTALL NEW 10" NYLOPLAST DROP-IN INLET OR APPROVED EQUAL.
14. INSTALL NEW 30" NYLOPLAST DOME INLET OR APPROVED EQUAL.
15. INSTALL STORM DRAIN CAP.
16. INSTALL PRE-FABRICATED STORM DRAIN FITTING WITH WATER-TIGHT GASKET, SEE PLAN FOR SIZE.
17. CONSTRUCT NEW 24" SIDEWALK CULVERT PER COA STD DWG. 2236.
18. INSTALL NEW RIP RAP SWALE PER DETAIL "F" SHEET C102.
19. DAYLIGHT EXISTING STORM DRAIN INTO SWALE.
20. INSTALL PRE-FABRICATED STORM DRAIN BEND. SEE PLAN FOR SIZE.
21. CONSTRUCT NEW DOUBLE 24" SIDEWALK CULVERT PER COA STD DWG. 2236.
22. INSTALL CONCRETE HEADER CURB PER COA STD DWG. 2415.

\* NOT ALL KEYED NOTES USED ON THIS SHEET  
\*\* FOR TYPICAL CROSS-SECTIONS SEE SHEET C102

DRAINAGE CERTIFICATION

I, BRUCE STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/11/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY COMMUNITY SCIENCES CORP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/11/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

POND AS CONSTRUCTED DOES NOT HAVE ADEQUATE FREEBOARD. CONTRACTOR TO MODIFY HEADER CURB TO MATCH DESIGN AND WILL BE MODIFIED PRIOR TO REQUESTING PERMANENT CERTIFICATE OF OCCUPANCY.

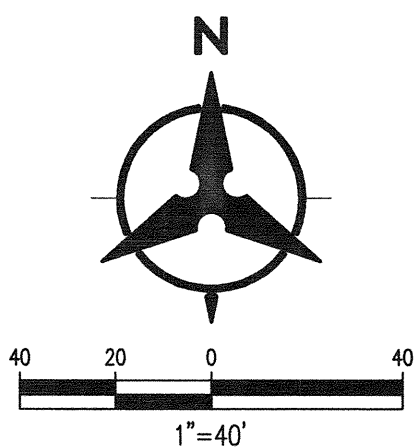
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Bruce J. Stidworthy* 12/13/17  
BRUCE J. STIDWORTHY, NMPE 14523

12/13/2017

LEGEND

- TS97.26 DESIGN GRADE
- 97.32 97.23 AS-BUILT GRADE
- TCW 97.32 TOP OF WALL AS-BUILT GRADE

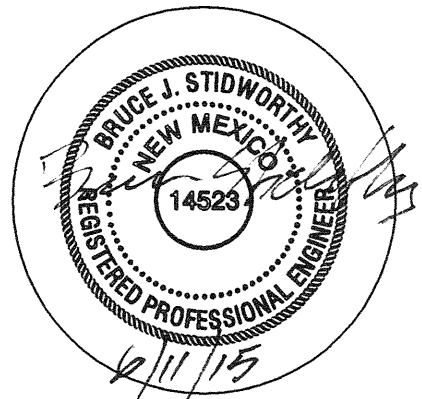


**Bohannon & Huston**  
www.bhinc.com 800.877.5332

**SPORTSPLEX**  
fract A,  
loop industrial park  
Albuquerque, New Mexico

**slag**  
slag the err  
4 1 3 s e c o n d s t w  
a l b u q u e r r q u e n m  
8 7 1 0 2  
5 0 5 2 4 6 0 8 7 0  
s l a g l e h e r r . c o m

grading and  
drainage plan



revisions

date  
8-31-15  
sheet  
c100

PROJECT BENCHMARK

Intersection of PDN &  
North Diversion Channel @  
Southwest Quadrant of  
Bridge Abutment  
3-1/4" Alum Disc  
ACS Monument "13\_D16  
NAD 1983CENTRAL ZONE  
X=1534181.325  
Y=1518996.001  
Z=5073.471 (NAVD 1988)  
G-C=0.999673570  
Mapping Angle=-00°12'17.26"

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

- PROPERTY LINE
- 5301 EXISTING CONTOURS
- 65.23 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- FGH=FINISHED GRADE HIGH
- FGL=FINISHED GRADE LOW
- EX=EXISTING, TG=TOP OF GRATE
- FG=FINISHED GRADE
- S=2.0% PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK
- PROPOSED RETAINING WALL
- 5305 PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- SD PROPOSED STORM DRAIN LINE

1. ~~INSTALL NEW CONCRETE RIBBON CHANNEL PER DETAIL "I" SHEET C102.~~ GRAVEL LINED SWALE INSTALLED IN LIEU OF CONCRETE RIBBON CHANNEL.
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tract A,  
loop industrial park  
Albuquerque, New Mexico

4 1 3 s e c o n d s t s w  
a l b u q u e r q u e n m  
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5 o 5 2 4 6 o 8 7 o  
s l a g l e h e r r . c o m

revisions

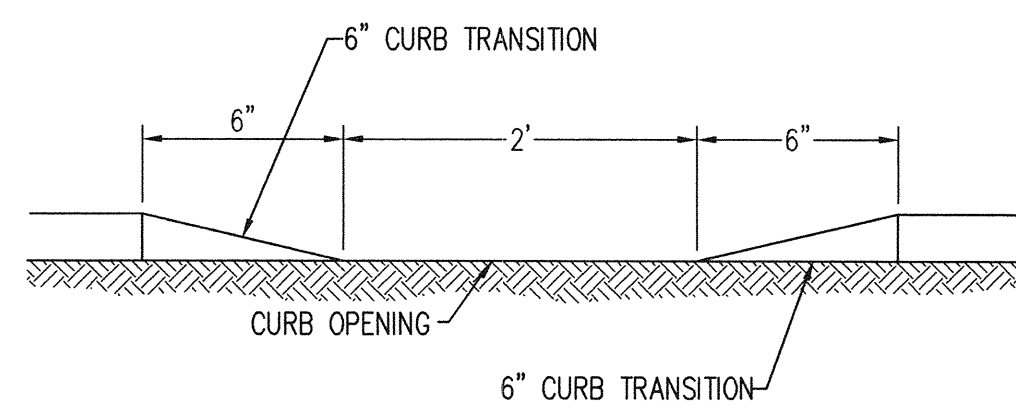
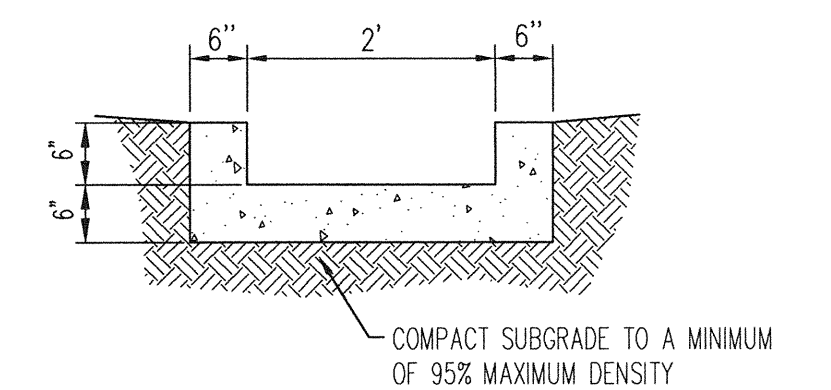
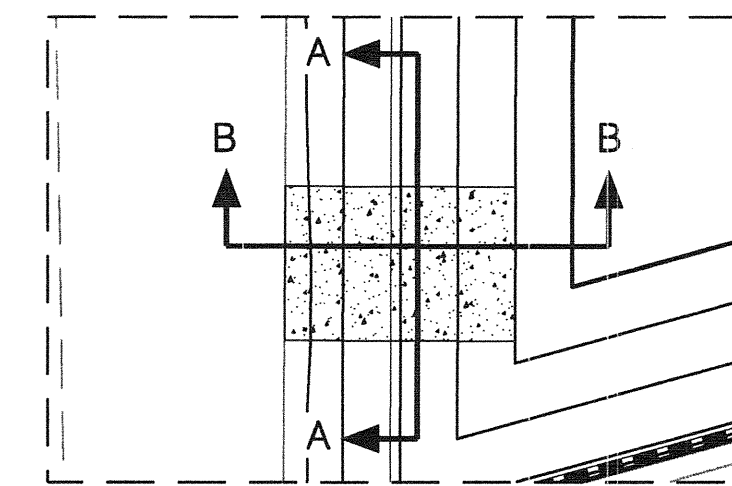
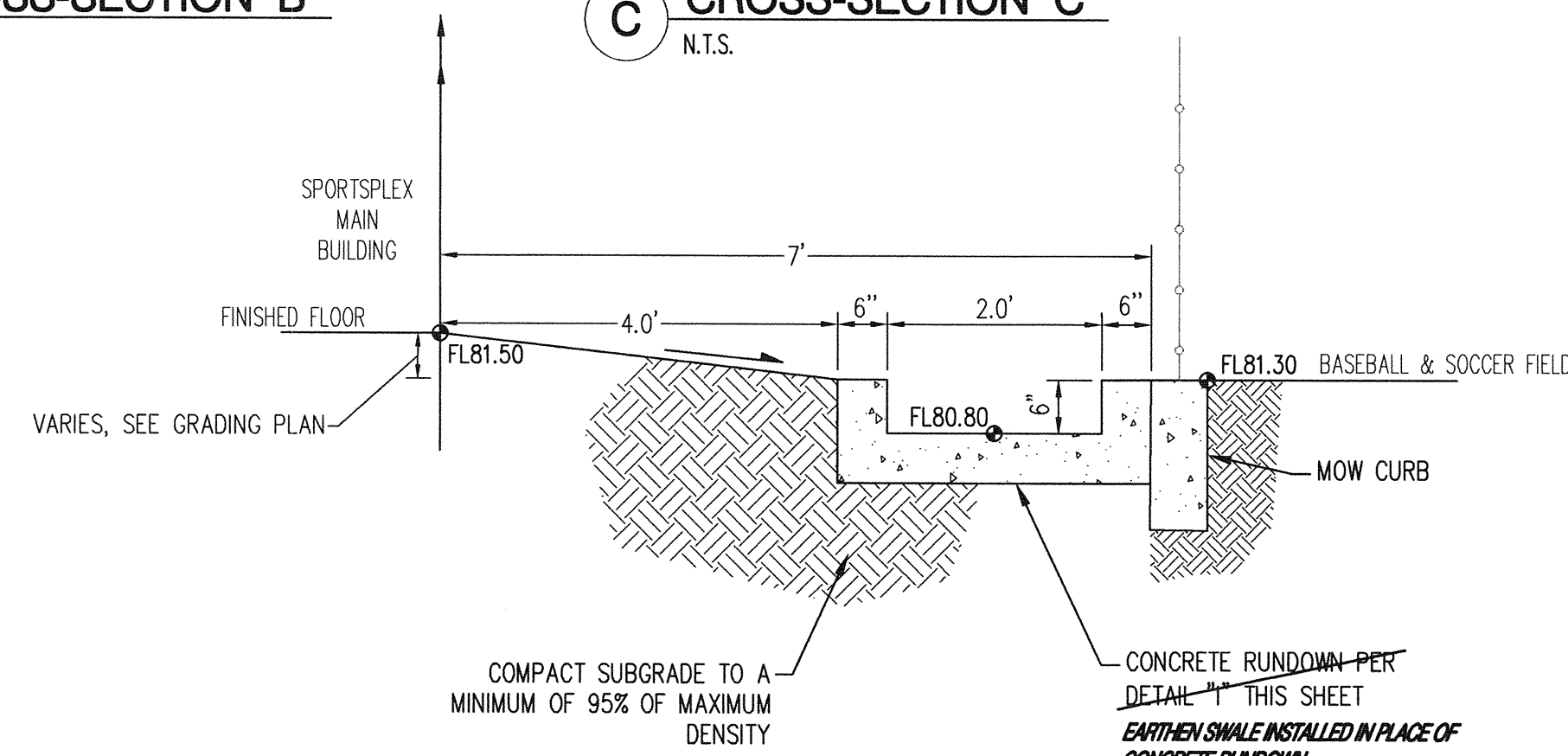
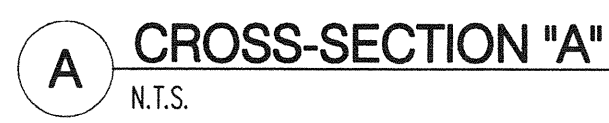
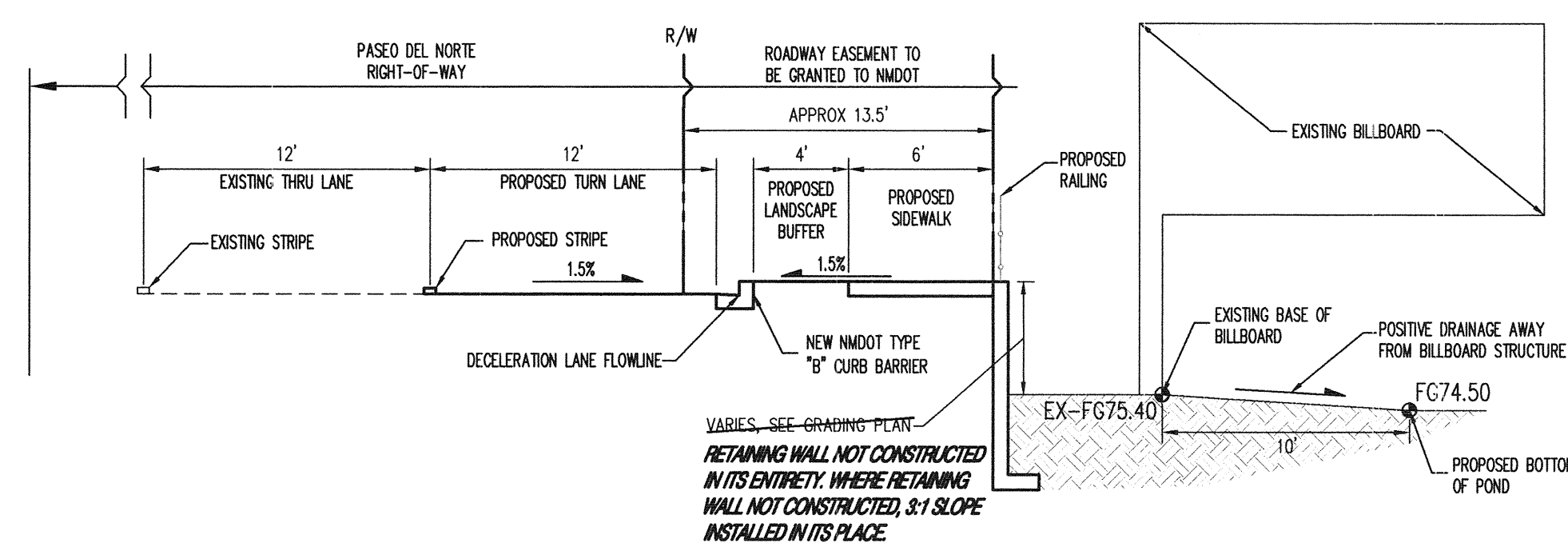
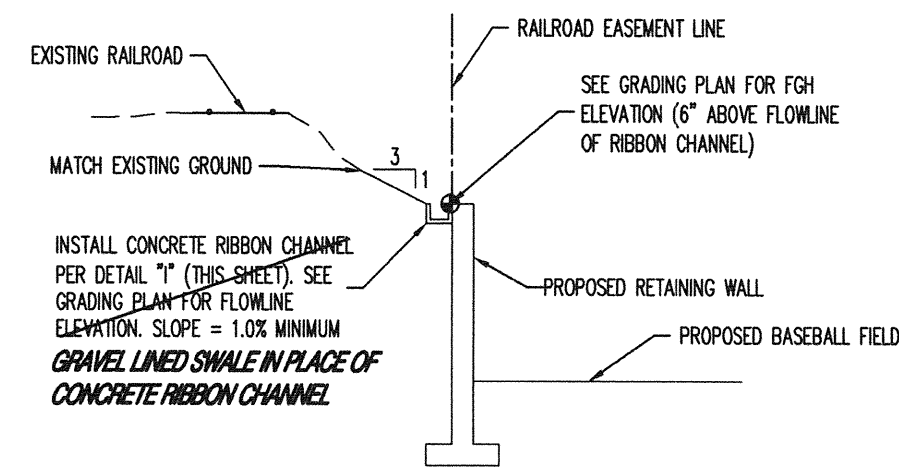
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8-31-15  
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c101



TS97.26 DESIGN GRADE  
 97.32 TS97.26 AS-BUILT GRADE  
 TOW97.32 TOP OF WALL AS-BUILT GRADE



*DETAIL NO LONGER APPLICABLE*



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I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/11/2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

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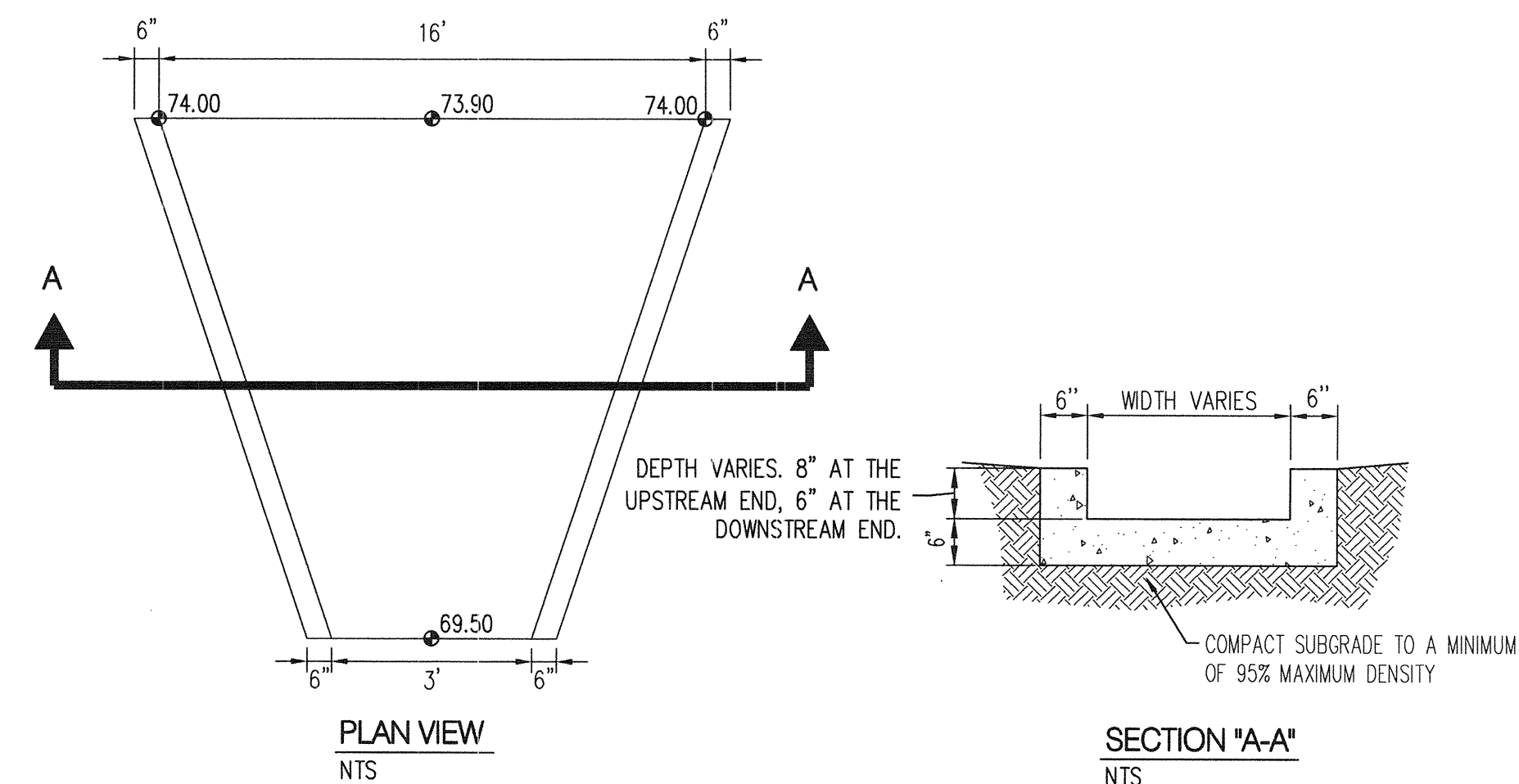
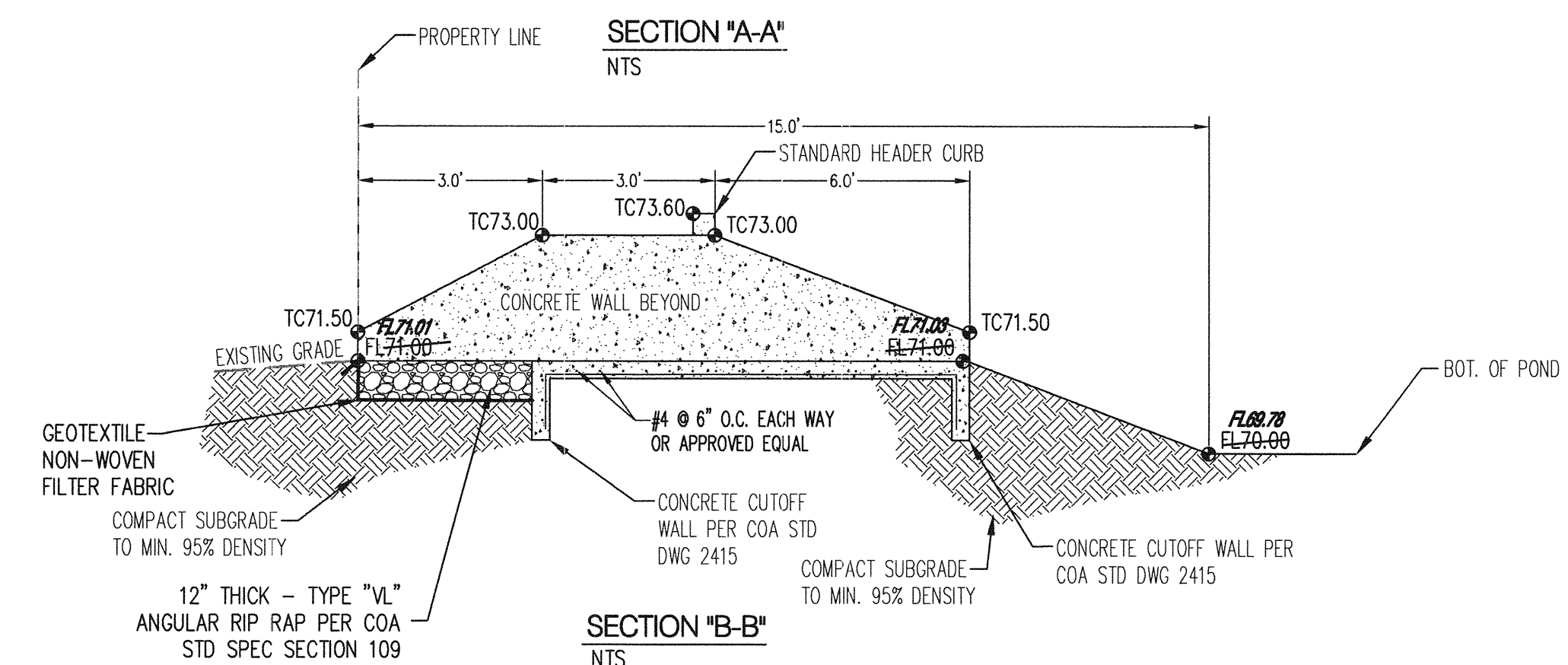
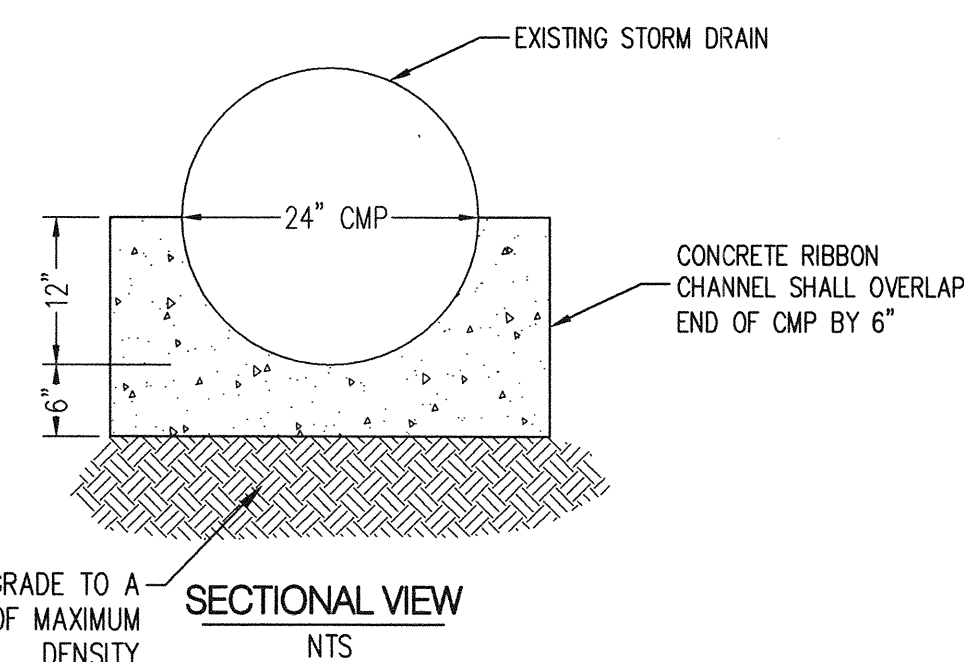
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BRUCE J. STIDWORTHY, NMPE 14523

12/13/2017

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 TOW97.32 TOP OF WALL AS-BUILT GRADE



# SPORTSPLEX

tract A,  
loop industrial park  
Albuquerque, New Mexico

Sla g l e h e r r . c o m

grading and  
drainage plan

revisions

date  
8-31-15  
sheet  
c102

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**Bohannon**  **Huston**  
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