

PROJECT SITE

BALLOON

FIESTA

Vicinity Map

C-17

Legal Description

TRACT B-1-A-1 CLIFFORD INDUSTRIAL PARK,
ALBUQUERQUE, BERNALILLO COUNTY, NEW
MEXICO.

UPC Number

1017-064-173-302-302-50

Drainage Narrative

THE SITE IS LOCATED AT 8601 PRESIDENT PLACE N.E. NEAR THE
INTERSECTION OF ALAMEDA BLVD N.E. AND PRESIDENT PLACE, N.E. THE
SITE CURRENTLY IS OCCUPIED BY A PERMANENT OFFICE/WAREHOUSE.
THE ENTIRE SITE HAS PAVEMENT AND CURRENTLY SLOPES FROM EAST TO
WEST.

THIS GRADING PLAN INTENDS TO DIVERT RUN-OFF TO THE SOUTH USING
AN EARTHEN BERM ALONG THE WEST SIDE OF THE PROPERTY TO A
CURB OPENING THAT WILL REDUCE THE AMOUNT OF RUNOFF FROM THE
SITE AT A CONTROLLED RELEASE RATE EQUIVALENT TO 2.3 CFS/ACRE AS
PER THE DRAINAGE MASTER PLAN. THE SITE CURRENTLY ACCEPTS FLOWS
FROM THE ADJACENT PROPERTY TO THE NORTH AT THE SAME RATE. THE
INCREMENTAL FLOW BETWEEN THE GENERATED AND RELEASED WILL BE
TEMPORARILY PONDED ON-SITE WITHIN THE PARKING LOT AREA AS
SHOWN BY THE SHADING ON THIS PLAN. THE FLOWS WILL BE CONTROL
RELEASED INTO THE EXISTING CONCRETE DRAINAGE CHANNEL TO THE
SOUTH BY THE USE OF A WEIR AS SHOWN HEREIN. THE FLOWS ONTO THE
ADJOINING DRAINAGE CHANNEL WILL BE NO MORE THAN 12.49 CFS
WHICH ATTRIBUTES TO THE AMOUNT ALLOWED TO BE RELEASED FORM
THE 5.43 ACRES. THE SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN.

Drainage Calculations

Hydrology Calculations

DPM - Section 22.2

Volume 2, January 1993

Precipitation Zone **2**
100 Year Storm Depth, P (360) **2.35**

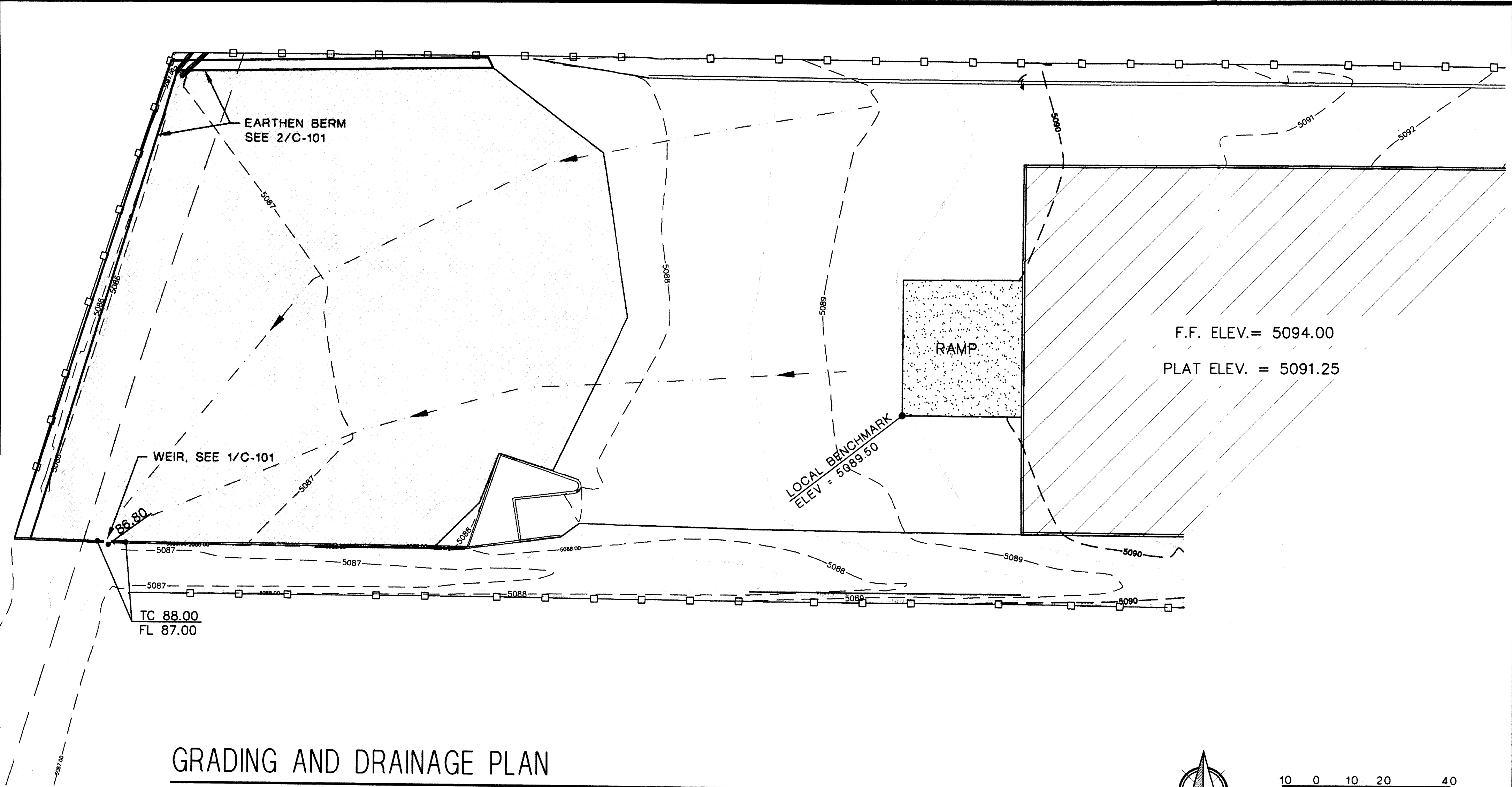
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.53	0.78	1.13	2.12
Peak Discharge Factors	1.56	2.28	3.14	4.70

Land Treatment Area	Acres	Existing	Allowable	Proposed
Type "D" (Roof)		0.38	0.38	1.92
Type "C" (Unpaved Roadway)		0.22	0.45	0.22
Type "B" (Irigated Lawns)		0.12	0.45	0.12
Type "A" (Undeveloped)		1.54	0.97	0.00

Total (Acres) 2.26 2.26 2.26

Excess Precipitation(in) 0.87 0.99 1.95

Volume (100), cf	7129.32	8084.02	16017.74
Volume (10),cf	4776.64	5416.30	10731.88
Q (100), cfs	5.15	5.76	9.99
Q (10), cfs	3.45	3.86	6.69



GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

Weir Calculations

Q=PER MASTER PLAN
ALLOWABLE DISCHARGE = 2.3CFS/AC
5.43x2.3 = 12.49 CFS ALLOWABLE

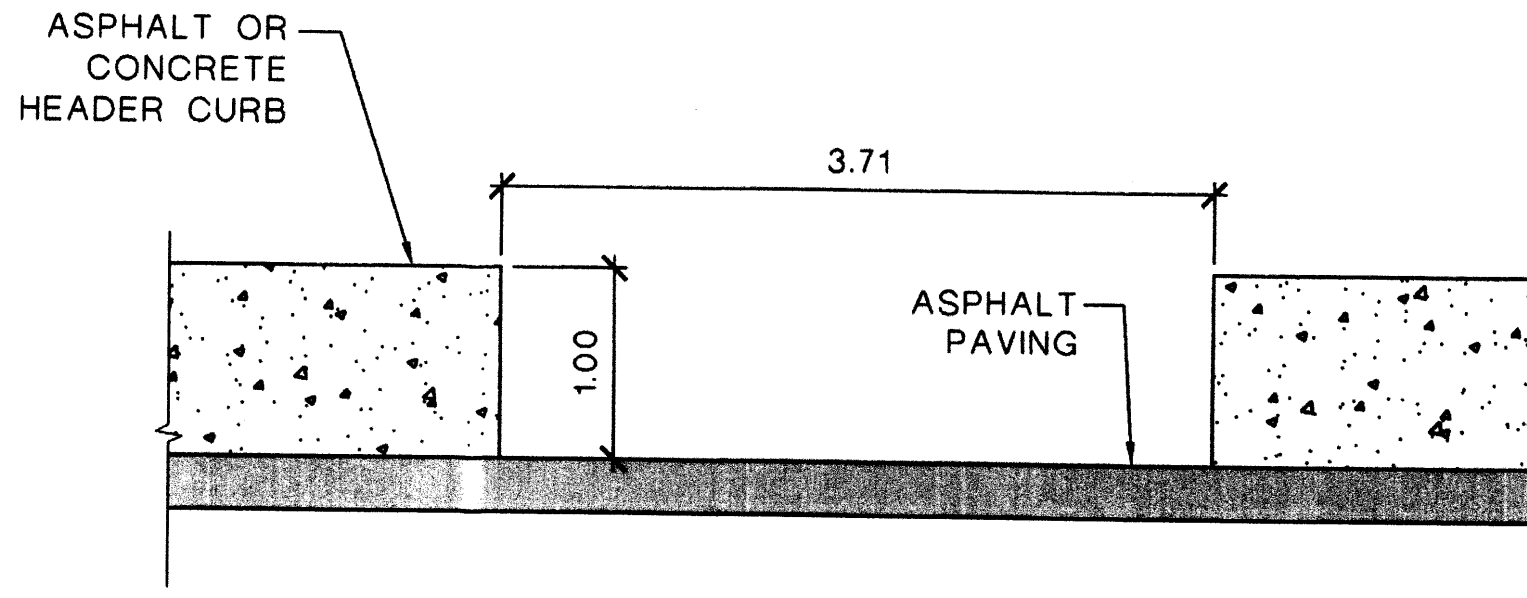
WATER BLOCK - BASIN A

WIDTH = 3.71', HEIGHT = 1'

$$Q_{1.33} = bH^{1.5}$$

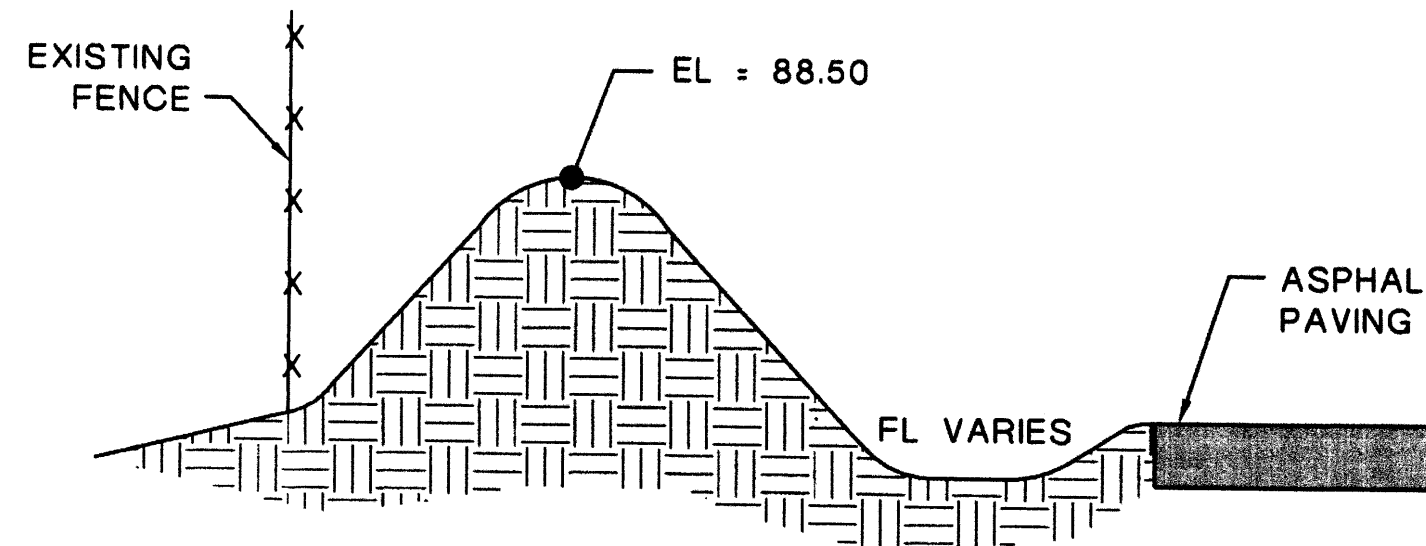
$$Q = 3.71(1)^{1.5} \times 3.37$$

$$Q = 12.49 \text{ cfs}$$



WEIR DETAIL

NO SCALE



EARTHEN BERM DETAIL

NO SCALE

Legend

—□—□—	EXISTING FENCE
—	EXISTING CONCRETE CURB
▨	EXISTING BUILDING
—5089—	EXISTING CONTOUR
▨	EXISTING CONCRETE
—	NEW CONCRETE CURB
▨	LIMITS OF PONDING

Benchmark

PROJECT BENCHMARK

ACS BENCHMARK "10-C17"
LOCATED AT THE NORTHEAST CORNER OF ALAMEDA
BLVD
AND JEFFERSON STREET N.E.
ELEV = 5129.736

LOCAL BENCHMARK

SOUTHWEST CORNER OF EXISTING RAMP
ELEV = 5089.50

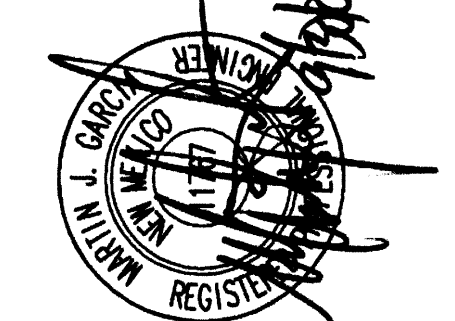
Engineer's Statement

I, THE ENGINEER OF RECORD CERTIFY THAT I HAVE
PERSONALLY VISITED THE SITE AND THE EXISTING GRADES
AND CONTOURS DEPICTED ON THIS PLAN MATCH WHAT
PRESENTLY EXISTS AT THIS LOCATION

MARTIN J. GARCIA, NMPE #11767

ABQ
ENGINEERING, INC.
8739 Academy Rd. NE
Suite 130
Albuquerque, NM 87112
505-255-7802
*Engineers *Planners
*Construction Services

ENGINEERING STAMP



DO NOT SCALE DRAWINGS.
CONTRACTOR TO VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS. NOTIFY
ENGINEER/ARCHITECT OF ANY
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION

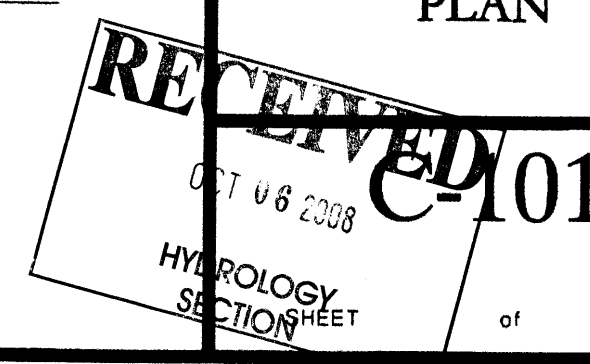
THESE DRAWINGS AS
INSTRUMENTS OF SERVICE
REMAIN THE PROPERTY OF THE
ENGINEER. ANY CHANGES,
PUBLICATION OR UNAUTHORIZED
USE IS PROHIBITED UNLESS
EXPRESSLY APPROVED BY THE
ENGINEER. ©2008

8601 PRESIDENT PLACE
ALBUQUERQUE, NEW MEXICO

REV NO. REV DATE DESCRIPTION

SHEET TITLE

GRADING
AND
DRAINAGE
PLAN



DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. One building is proposed for the subject property, with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 2.26 acre site is undeveloped. The site is bounded on the west by a portion of the Balloon Fiesta Park (Tract E), north, south and east by private tracts of land, and on the northeast corner by a cul-de-sac (President Pl.). The site slopes from the east to the west at approximately 2%. As shown by the FEMA Map Panel No. 136, dated November 19, 2003, the site is not located in a 100-year floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the building is located within the easterly portion of the Lot. On site flows will drain around the structure and flow to the west. All roof drainage will discharge from the roofs to the north and south, then west to the natural drainage path and into the existing drainage channel.

Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 1.99 acres
Treatment B = 0.00 acres
Treatment C = 0.00 acres
Treatment D = 0.27 acres

Proposed Treatment Types:

Treatment A = 0.38 acres
Treatment B = 0.22 acres
Treatment C = 0.12 acres
Treatment D = 1.54 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 4.37 cfs
Proposed 100-year Flow = 8.71 cfs

Existing 100-year Volume = 5906 cu. ft.
Proposed 100-year Volume = 13697 cu. ft.

PROPERTY ADDRESS:

8601 President Place NE

TOPOGRAPHY:

Topographic information provided by Surveys Southwest, Ltd. dated March, 2004.

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
6. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
7. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
8. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
9. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEED WITH NATIVE SEEDING MATERIAL.
10. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY)
11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, O.A.E.

SPOT ELEVATION LEGEND

- = ELEVATION AT GROUND
• = ELEVATION AT TOP OF FINISHED SURFACE
• = ELEVATION AT BACK OF CURB
• = ELEVATION AT FLOWLINE OF CURB
• = ELEVATION AT RIM OF MANHOLE

SYMBOLS LEGEND

- = SEWER MANHOLE
• = WATER METER
• = SEWER CLEANOUT
• = TELEPHONE RISER
— = BLOCK WALL
-X- = FENCE

MONUMENT LEGEND

- = FOUND CENTERLINE MONUMENT AS NOTED
• = FOUND MONUMENT AS NOTED
• = COMPUTED CORNER (NOT SET)

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	50.00'	37.82'	43°20'24"	S34°26'13"E	36.93'

TRACT B-1-A-2
CLIFFORD INDUSTRIAL PARK
FILED 8-31-1995 (95C, 331)

Tract B-1-A-1
WAREHOUSE
FF=5091.25

OFFICE
FF=5091.25

TRACT E
LANDS OF SPRINGER CORP.
FILED 7-11-1975 (D6, 163)

TRACT B-2-A-1
CLIFFORD INDUSTRIAL PARK
FILED 8-31-1995 (95C, 331)

LOT 1
WASHINGTON BUSINESS PARK
FILED 1-13-1987 (C32, 135)

LOT 2A
WASHINGTON BUSINESS PARK
FILED 5-17-1988 (C36, 130)

TRACT B-3-A-1
WASHINGTON BUSINESS PARK
FILED 7-25-1999 (99C, 331)

UTILITY COMPANY INFORMATION
P.N.M. GAS & ELECTRIC SERVICES
848-4944
QWEST COMMUNICATIONS
245-8706
COMCAST CABLE
761-6273

SURVEY NOTES:

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 11-C17, THE PUBLISHED ELEVATION OF WHICH IS 5103.22. BENCHMARK IS LOCATED IN THE SOUTHEAST QUADRANT OF THE INTERSECTION OF ALAMEDA BLVD. NE AND WASHINGTON STREET NE.

UTILITY INFORMATION SHOWN HEREON PER FIELD INSPECTION AND CITY OF ALBUQUERQUE UTILITY RECORDS. ACTUAL LOCATION SHOULD BE FURTHER VERIFIED BEFORE BEGINNING CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE SURVEYOR.

TRACT B-1-A-1
WITHIN
CLIFFORD INDUSTRIAL PARK
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

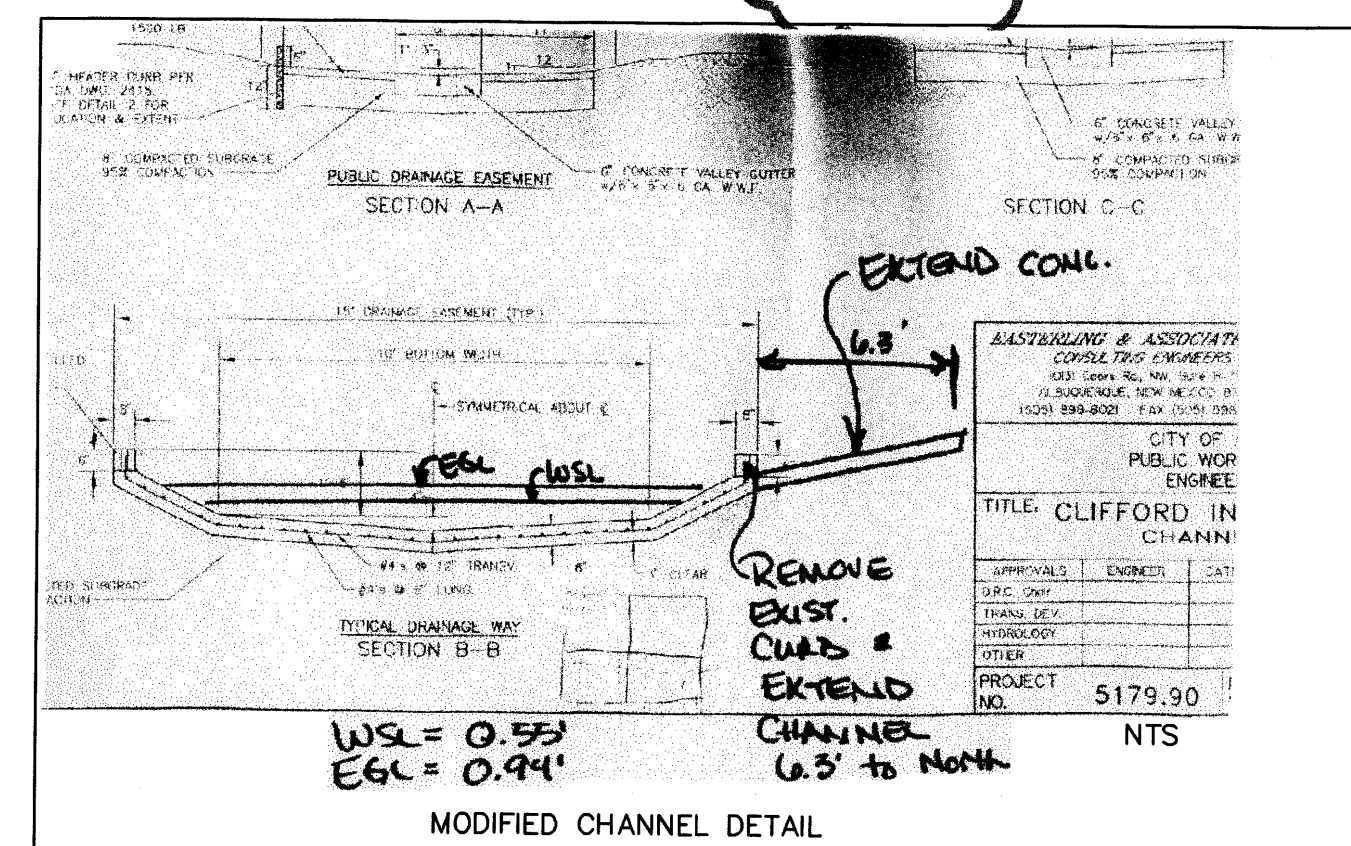
FEMA FLOODWAY MAP (AGIS)

VICINITY MAP

ZONE ATLAS: C-17

LEGEND

- EXISTING PROPOSED
- CONTOUR 5116 5850
- PROPERTY LINE
- ROAD
- SETBACK
- RETAINING WALL
- SPOT ELEVATION
- AS BUILT SPOT ELEVATION



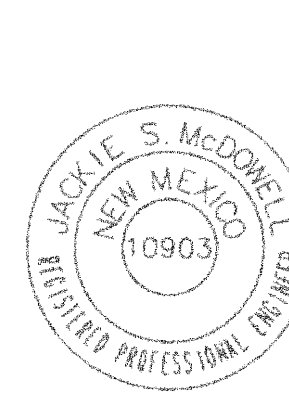
DRAINAGE CERTIFICATION:

I, JACKIE S. MCDOWELL, P.E., OF MCDOWELL ENGINEERING, INC. NMPE #10903 HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE AS-BUILT ELEVATION ADDED.

JACKIE S. MCDOWELL, P.E.

DATE

4-28-05



3-29-04
REV. 10-13-04

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

TRACT B-1-A-1
CLIFFORD INDUSTRIAL PARK

SUNDANCE DEVELOPMENT

McDowell Engineering, Inc.

Telephone: 505-828-2430 Fax: 505-821-4857

Designed JSM Drawn STAFF Checked JSM Sheet 1 of 1
File SUN0104L Date MARCH, 2004

