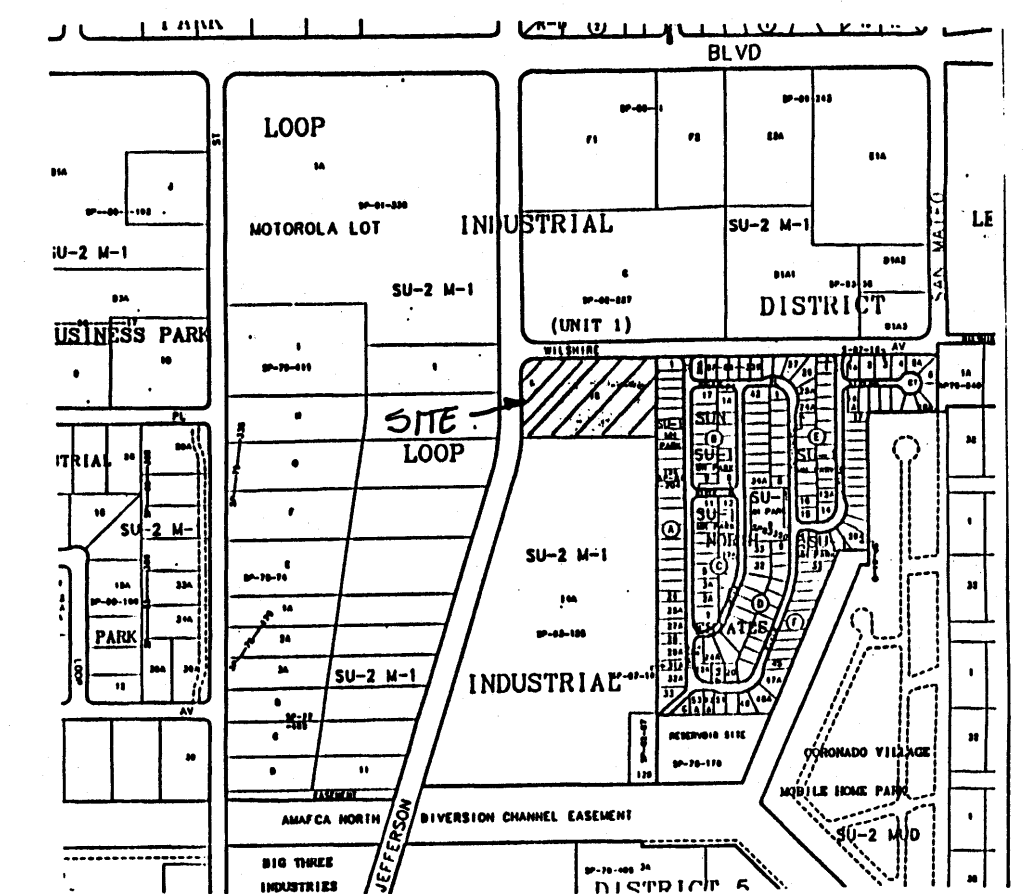
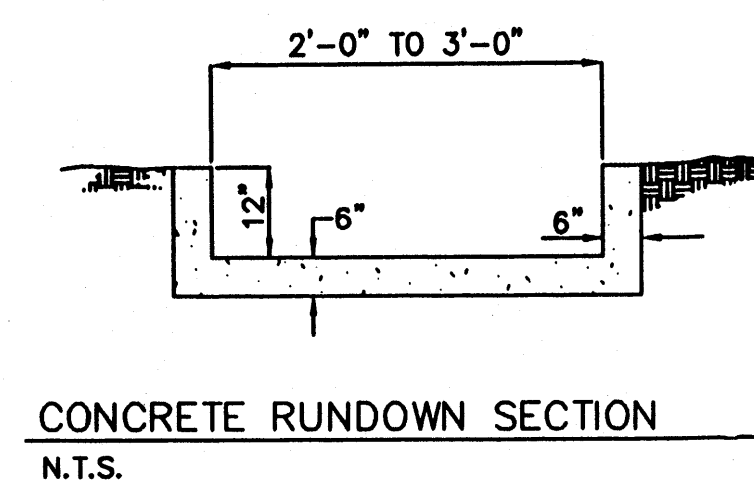
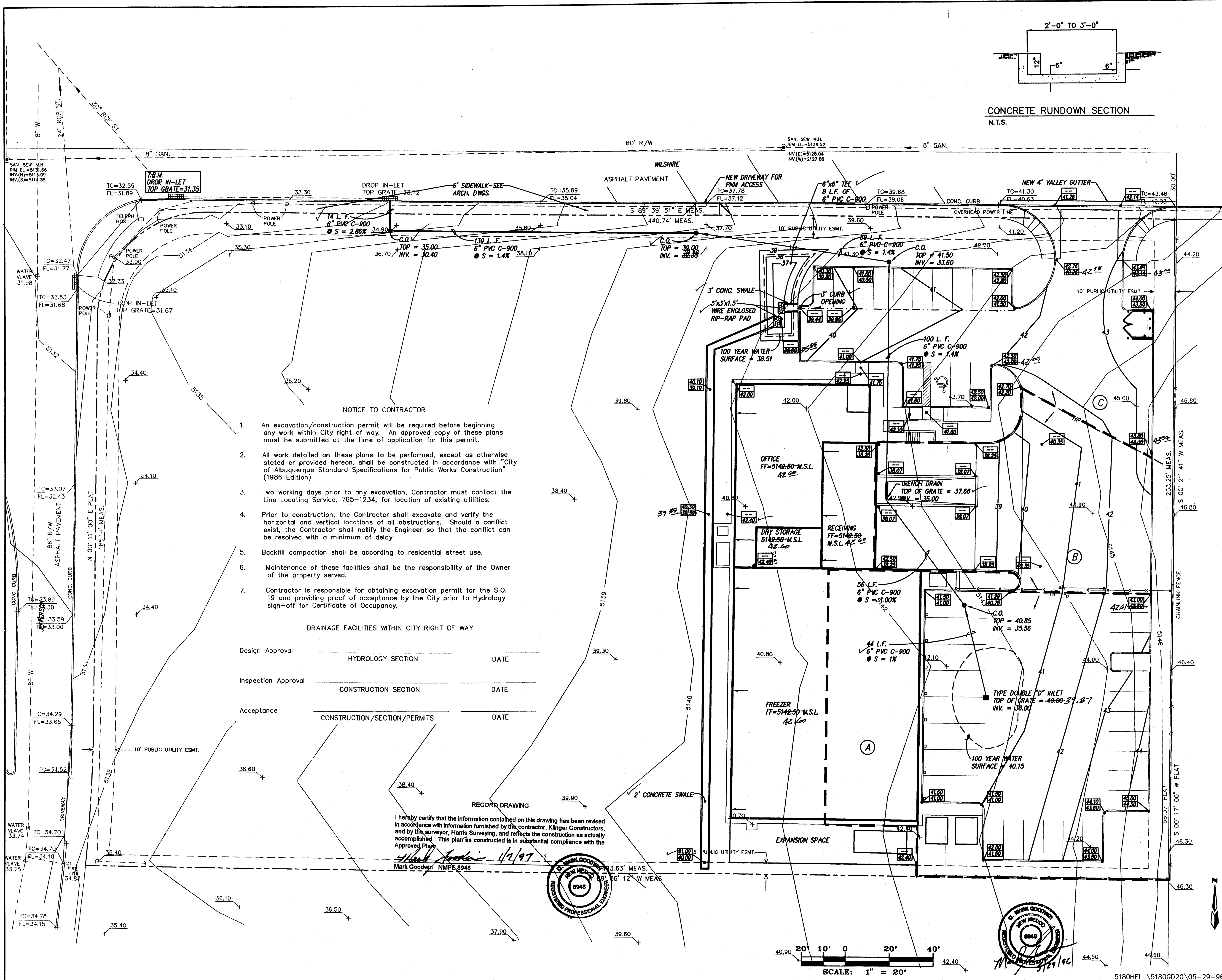




VICINITY MAP ZONE MAP: C-17-Z

TBM (TEMPORARY BENCHMARK)
TOP OF GRADE ON THE NORTHWEST SIDE OF PROPERTY. ELEV. = 31.35

ACS BENCHMARK
STATION IS AMFCA BRASS TABLE STAMPED, "NCD 6-1A", SET ON A CONCRETE POST PROJECTING 0.4 FEET ABOVE GROUND.
TO REACH STATION FROM RICHFIELD ROAD BRIDGE, GO NORTH ALONG THE EAST LEVEE ROAD OF THE NDC FOR 3350 FEET TO CENTERLINE STATION 96+50. THE STATION IS CENTERED IN THREE 8"x8"x4' WOOD POSTS.
X = 395,225.79 Y = 1,525,812.76 Z = 5,052.50

LEGAL DESCRIPTION
TRACT 15, LOOP INDUSTRIAL DIST.

NOTES
1. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
2. CONTRACTOR IS TO CONSTRUCT TEMPORARY 1' HIGH EARTHEN BERM ALONG WEST BOUNDARY TO PREVENT SEDIMENTATION DOWNSTREAM DURING CONSTRUCTION.

LEGEND

- PROPERTY LINE
- 00--- EXISTING CONTOUR
- + 2050 EXISTING SPOT ELEVATION
- FLOW ARROW, (TYP)
- 40.30--- PROPOSED SPOT ELEVATION
- DRAINAGE BASIN BOUNDARY
- (A) DRAINAGE BASIN DESIGNATION

1/9/97
HYDROLOGY DIVISION

HELLER DISTRIBUTING CO.
GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: DMG Drawn: MCG Checked: DMG
Scale: 1" = 20' Date: 10/95 Job: 95180 Sheet C1 of 2

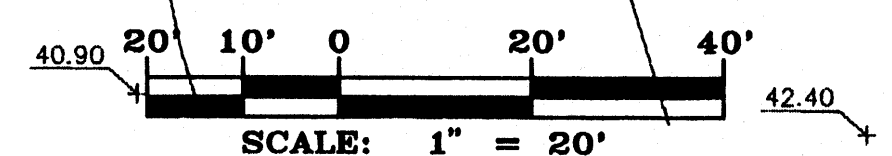
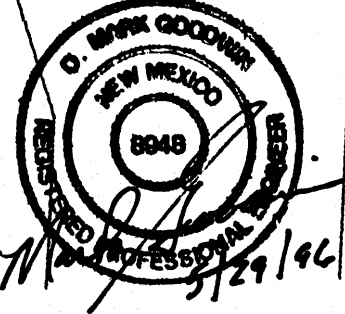
- NOTICE TO CONTRACTOR
- An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
 - All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
 - Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
 - Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
 - Backfill compaction shall be according to residential street use.
 - Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 - Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, Klinger Constructors, and by the surveyor, Harris Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin NMPE 8948 1/9/97



5180HELL\5180GD20\05-29-96

Project Data

ADDRESS: 4920 WILSHIRE AVENUE, NE
ALBUQUERQUE, NEW MEXICO 87113
LEGAL DESCRIPTION: TRACT 15, LOOP INDUSTRIAL DIST.
ZONING: CITY OF ALBUQUERQUE, NEW MEXICO ZONE SU-2 AND M-1
TOTAL ACRES: 3.37 ACRES - 146,797 S.F.
BUILDING AREA: 25,073 S.F. F.A.R.: .17
PROPOSED USE: FROZEN FOODS WAREHOUSE / OFFICE
OFFICES: 4,635 NET LEASABLE S.F./200 = 23
WAREHOUSE: 19,398 NET LEASABLE S.F./2,000 = 10
TOTAL PROVIDED (INCLUDES 2 HC AND 2 VAN HC): 33

General Notes

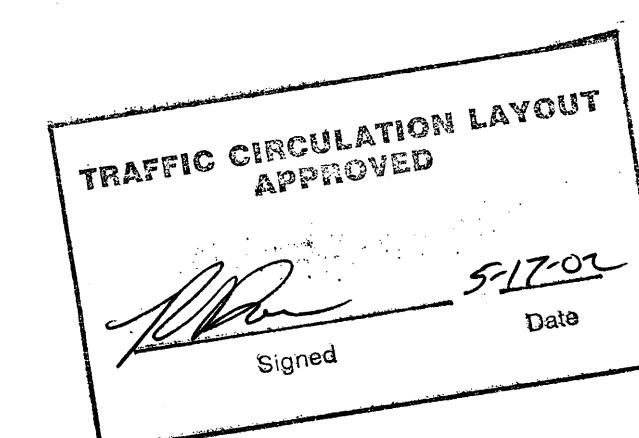
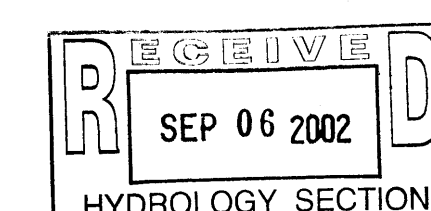
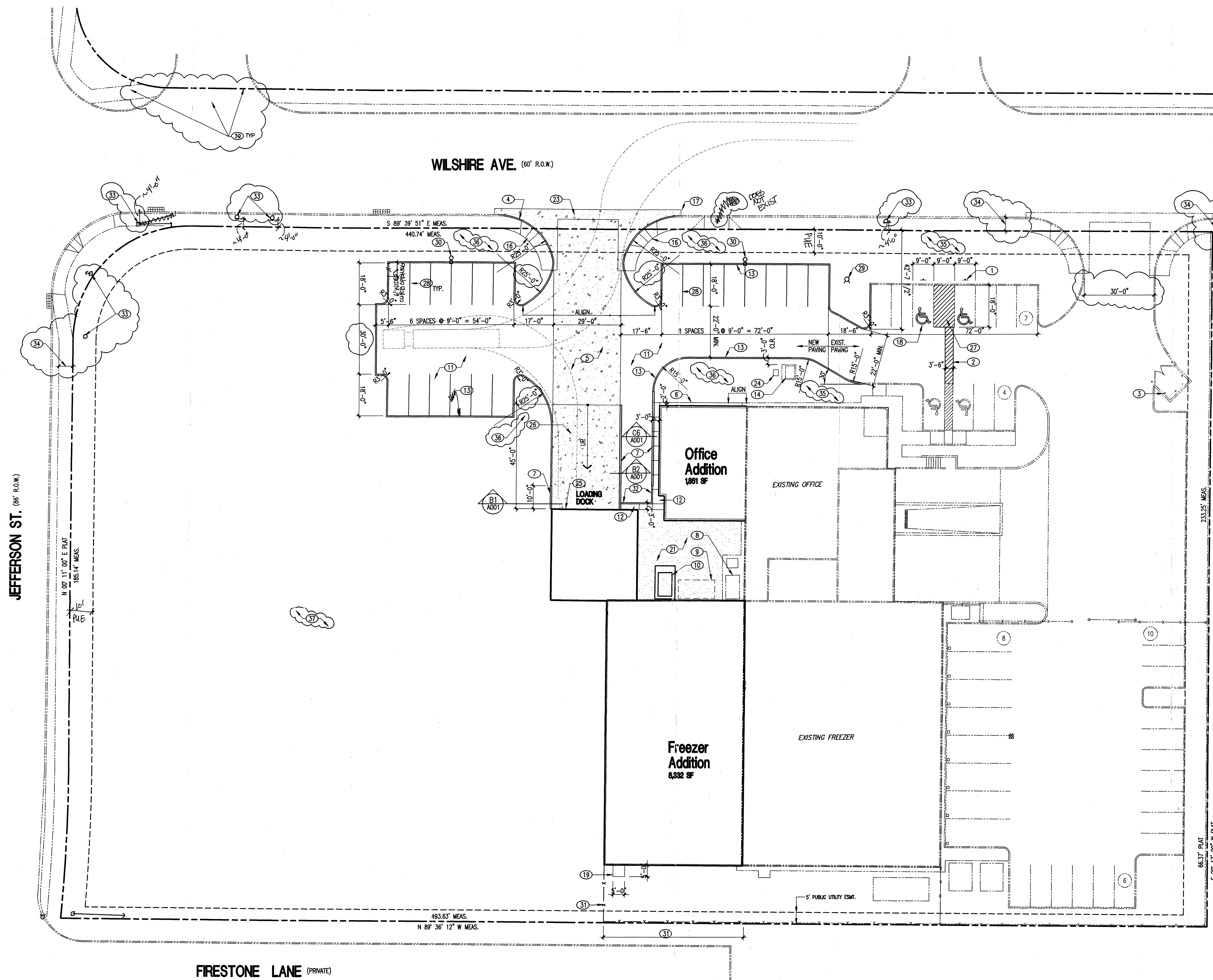
A CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS IN FIELD BEFORE BEGINNING ANY WORK

Keyed Notes

- 1 POLE MOUNTED ADA SIGNAGE, RE. A4/A001
- 2 PAINTED CROSSWALK, AS PER VAN ACCESSIBLE LOADING ZONE
- 3 EXISTING REFUSE ENCLOSURE
- 4 CURB CUT, AS PER CITY OF ALBUQUERQUE STANDARDS
- 5 ALTERNATE 6" CONCRETE PAVING, WITH 6X6 W2.9X2.9 WMM. BASE BID: 3" ASPHALTIC PAVING
- 6 CONCRETE SKIRT, MATCH COLOR AND ALIGN WITH EXISTING ADJACENT, RE. B5/A001
- 7 RETAINING WALL, RE. CIVIL DRAWINGS AND DETAILS THIS SHEET.
- 8 EXISTING COOLING TOWER
- 9 FUTURE LOCATION OF EMERGENCY GENERATOR
- 10 COOLING TOWER
- 11 3" ASPHALTIC PAVING
- 12 CONCRETE SIDEWALK, RE. A3, B4/A001 & C3/A401 SIM.
- 13 6" CONCRETE CURB, ~~AS PER~~
- 14 EXISTING TRANSFORMER AND CONCRETE PAD TO REMAIN. MAINTAIN 3'-0" CLEAR TO DRIVE AISLE.
- 15 NOT USED.
- 16 ACCESSIBLE RAMP, RE. A5/A001
- 17 CONCRETE PAVING AT DRIVE, PER CITY OF ALBUQUERQUE STANDARDS
- 18 ACCESSIBLE PAVEMENT MARKING, RE. A1/A001
- 19 CONCRETE PAD, AT EXIT DOOR, RE. FREEZER MFR. DRAWINGS
- 20 NOT USED.
- 21 CRUSHER FINES, IN THIS AREA
- 22 NOT USED.
- 23 REMOVE PORTION OF EXISTING CONCRETE CURB @ SIDEWALK EXACT LOCATION AND SIZE FOR NEW DRIVE
- 24 NEW DRIVE PER C.O.A. STD. DETAIL DWG. P2426
- 25 EXISTING SWITCH GEAR TO REMAIN
- 26 4'-0" 3/4" HIGH CONCRETE LOADING DOCK W/ DOCK BUMPERS & HYDRAULIC DOCK LEVELER
- 27 6" CONCRETE PAVING AT LOADING DOCK WITH 6X6 W2.9X2.9 WMM.
- 28 TYP. VAN ACCESSIBLE PARKING SPACE W/ LOADING ZONE, PAINT W/4" WIDE WHITE STRIPES @ 45', 18" O.C.
- 29 4" WIDE WHITE PARKING STRIPES, TYP.
- 30 EXISTING FIRE HYDRANT, REFER CIVIL DRAWINGS.
- 31 POLE LIGHT, REFER ELECTRICAL DRAWINGS & D6/A001.
- 32 CHAINLINK FENCE, TO MATCH EXISTING.
- 33 C.O.A. MOUNTABLE CURB, RE. CIVIL DRAWINGS.
- 34 EXISTING POWER POLE TO REMAIN.
- 35 EXISTING 6" WIDE SIDEWALK TO REMAIN.
- 36 EXISTING LANDSCAPING TO REMAIN.
- 37 NEW LANDSCAPING AREA.
- 38 EXISTING NATIVE VEGETATION TO REMAIN, RESEED DISTURBED AREAS.
- 39 APPROXIMATE LOCATION AND SIZE OF EXISTING CURB CUTS AND SIDEWALK, AND PROPERTY LINES

Legend

- EXISTING TO REMAIN
--- NEW CONSTRUCTION



Heller Distributing Co. Inc.
Phase II
4920 Wilshire Avenue, NE
Albuquerque, New Mexico 87113

Revisions

- △
- △
- △
- △
- △
- △

plotted: 04-09-2002 10:52A
S:\02009 HELLER\03 CO\WHSR\BASIC\02009-TEL.DWG
drawn by CP, MF
reviewed by MF
date 03-27-02
project no. 02009
drawing name

Site Plan



FRESTONE LANE (PRIVATE)

WILSHIRE AVE. (60' R.O.W.)

JEFFERSON ST. (66' R.O.W.)

Office Addition
1881 SF

Freezer Addition
6,532 SF

EXISTING OFFICE

EXISTING FREEZER

5' PUBLIC UTILITY EMT.

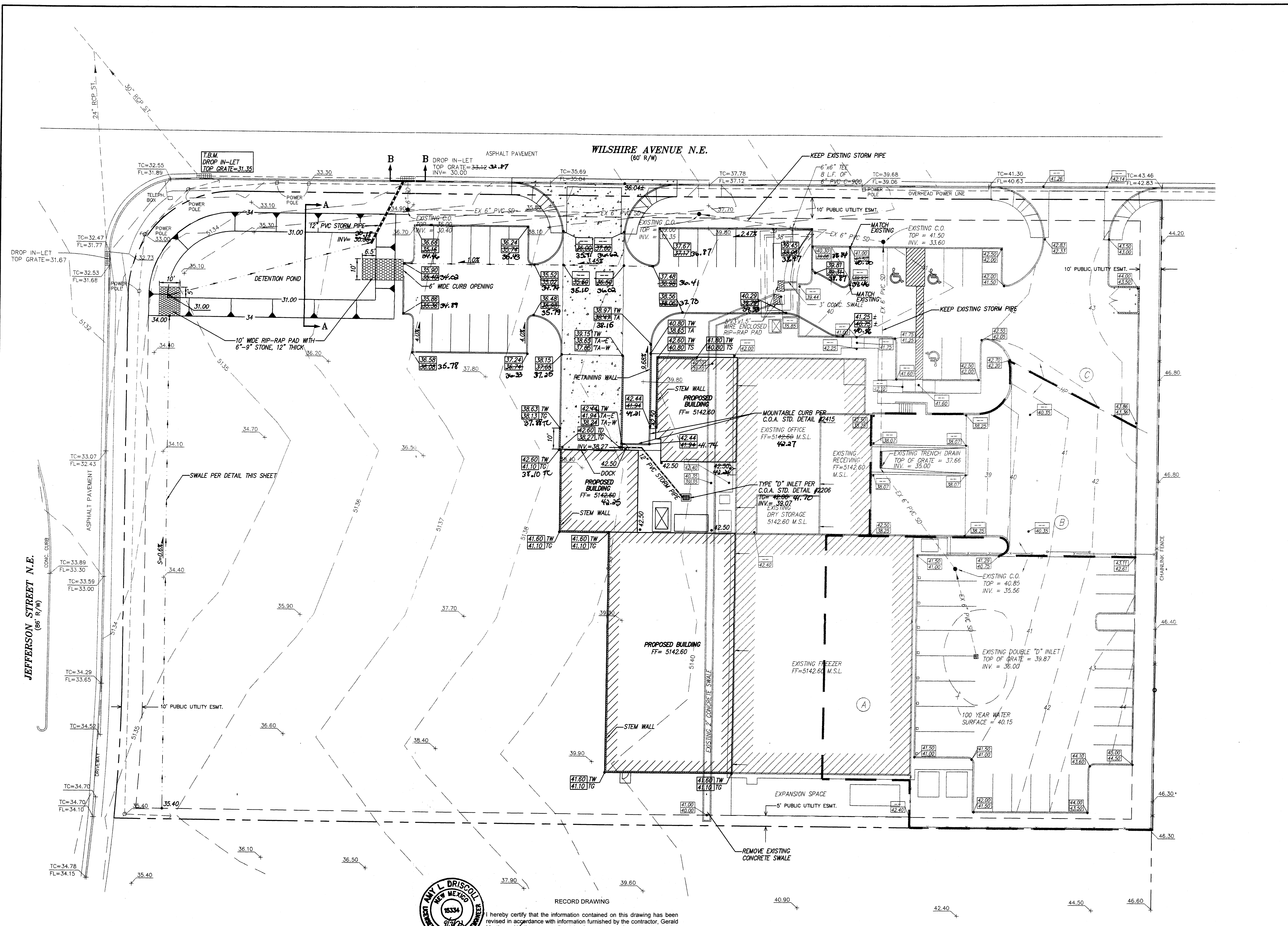
493.63' MEAS.
N 89° 36' 12" W MEAS.

N 00° 17' 00" E PLAT
185.14' MEAS.

S 88° 39' 51" E MEAS.
440.74' MEAS.

S 02° 27' 41" W MEAS.
233.25' MEAS.

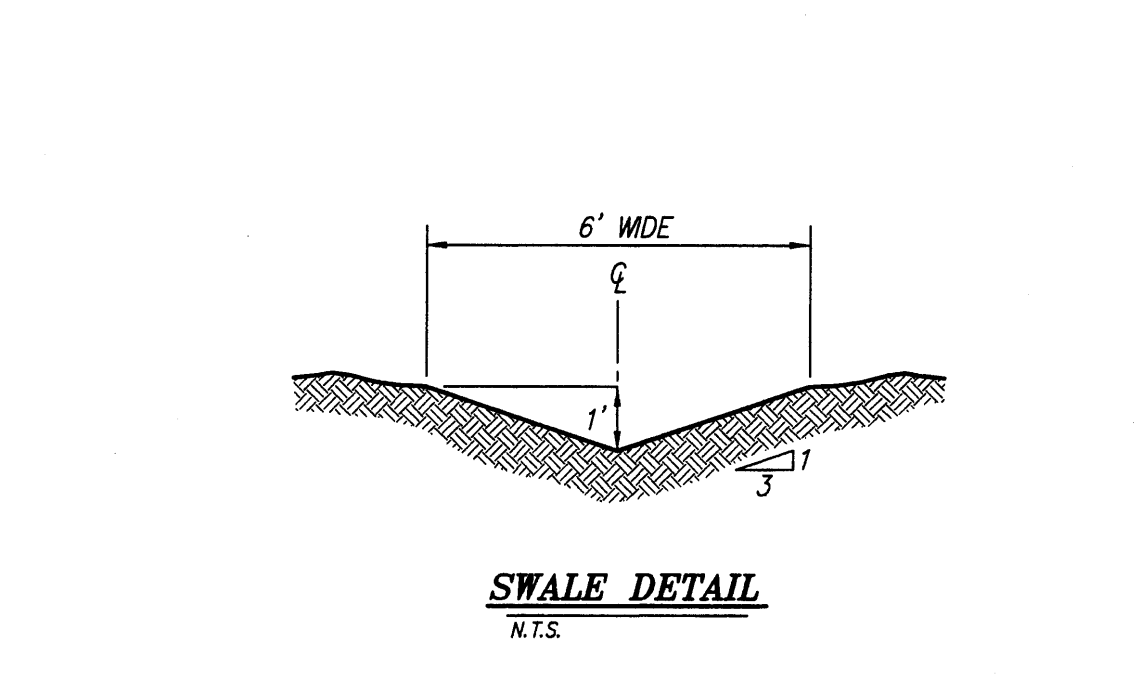
S 02° 17' 00" W PLAT
66.37' PLAT



HYDROLOGY NOTES

THIS SITE IS NOT IN THE 100 YEAR FLOOD PLAIN. THERE ARE NO OFF-SITE FLOWS THAT ENTER THIS SITE. THE FLOW FOR THIS SITE PRIOR TO ANY DEVELOPMENT IS 5.56 cfs. THE FLOW FOR THIS SITE AFTER THIS SECOND PHASE OF DEVELOPMENT IS 12.06 cfs. PLEASE SEE THE HYMO RUN ON THIS SHEET.

THE DETENTION POND IS DESIGNED TO RELEASE LESS THAN THE PRE-DEVELOPMENT RATE (5.56 cfs). THE ACTUAL MAXIMUM RATE OF RELEASE IS 4.64 cfs. THE NECESSARY VOLUME OF THE POND IS 0.1745 ac-ft. THE ACTUAL VOLUME OF THE POND IS 0.2916 ac-ft WITH 1' OF FREEBOARD. THE MAXIMUM WATER SURFACE ELEVATION IS 33.0 ft.



RECORD DRAWING

AMERICAN SOCIETY OF CIVIL ENGINEERS
NEW MEXICO
15334
9/8/23

NOTICE TO CONTRACTOR

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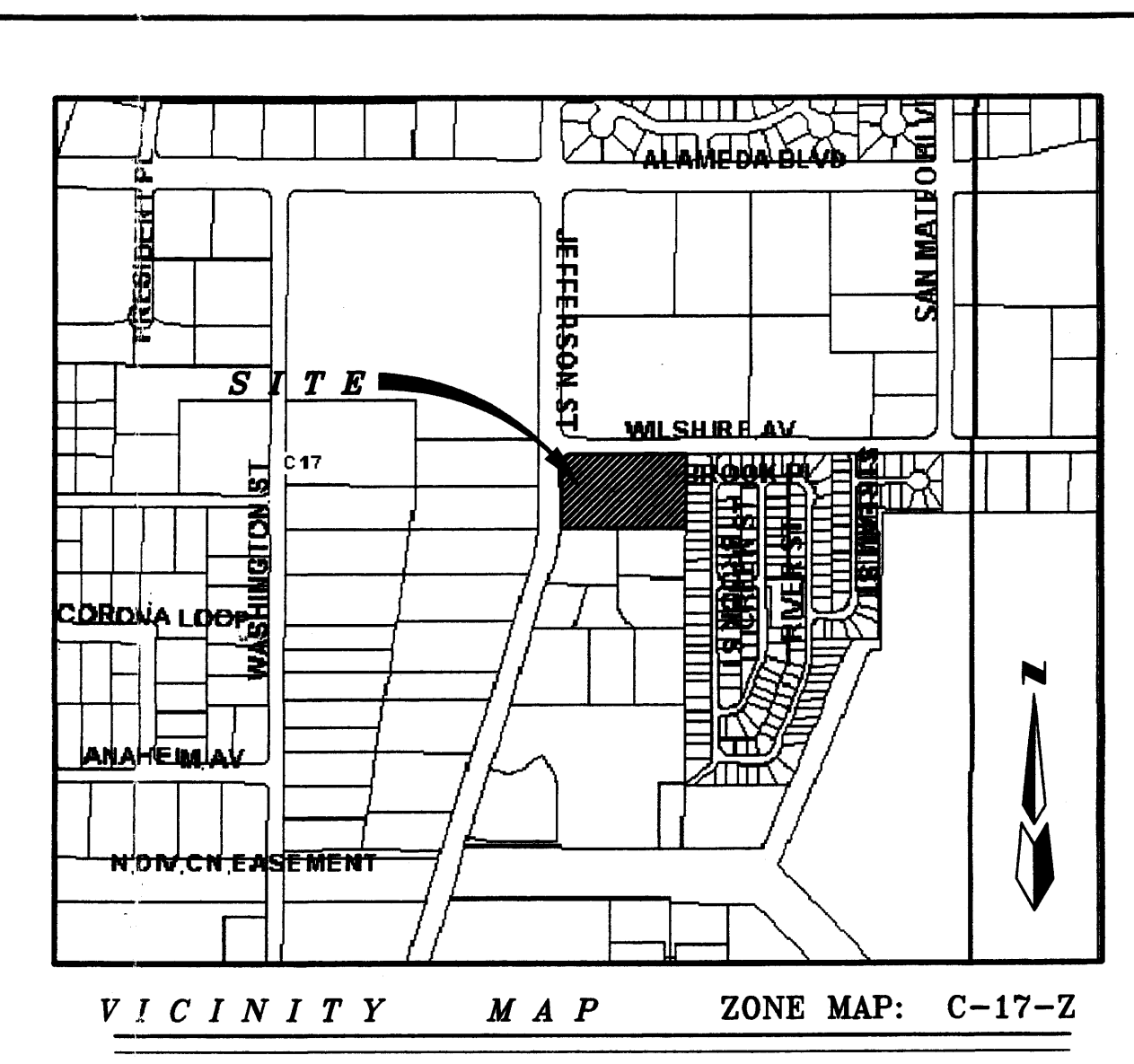
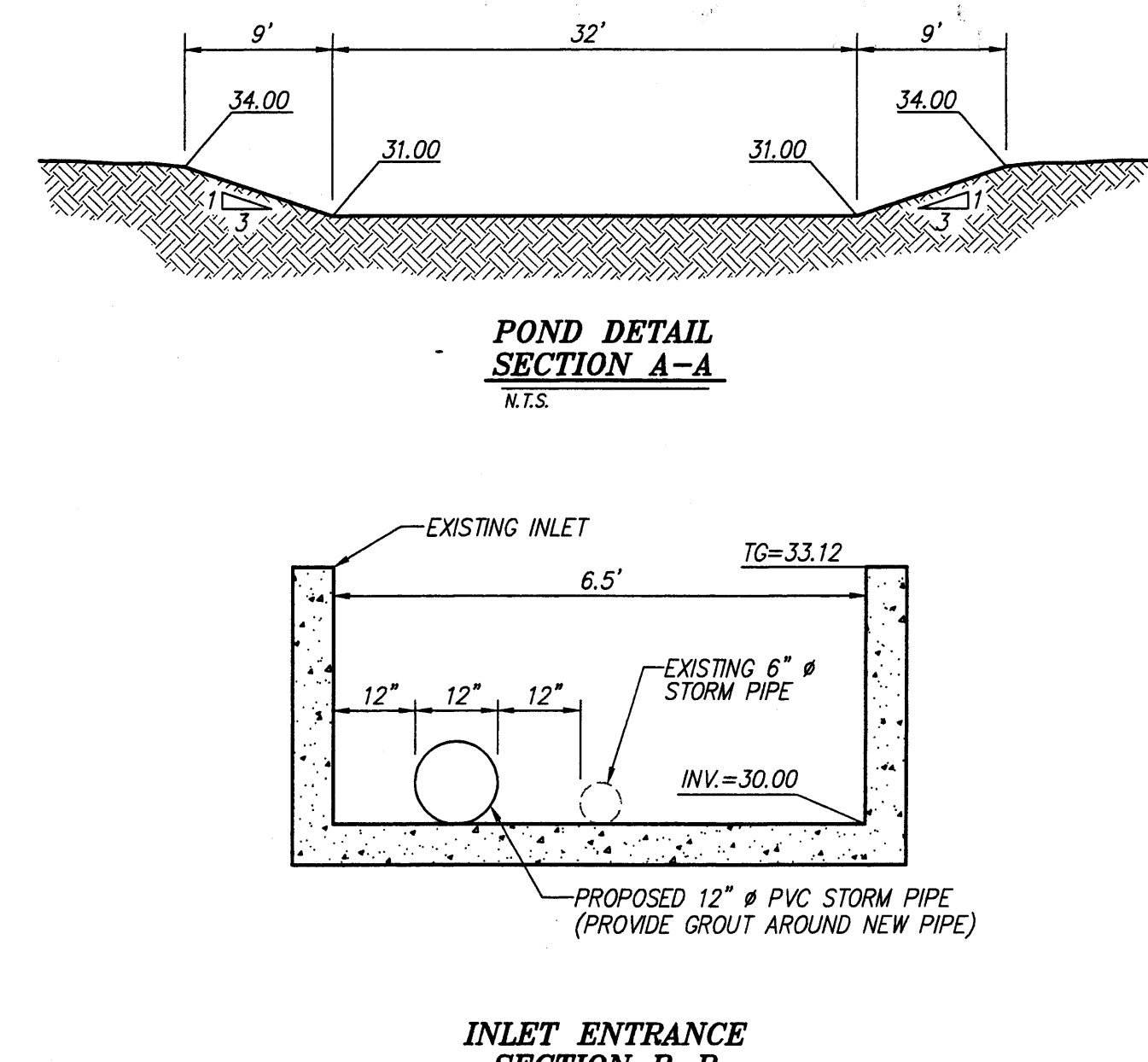
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5. Backfill compaction shall be according to traffic/street use.

6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.

7. Work on arterial streets shall be performed on a 24 hour basis.

APPROVAL	NAME	DATE
INSPECTOR		



LEGAL DESCRIPTION

TRACT 15, LOOP INDUSTRIAL DIST.

TBM (TEMPORARY BENCHMARK)

TOP OF GRADE ON THE NORTHWEST SIDE OF PROPERTY. ELEV. = 31.35

ACS BENCHMARK

STATION IS AMARCA BRASS TABLE STAMPED, "NCD 6-1A" SET ON A CONCRETE POST PROJECTING 0.4 FEET ABOVE GROUND.

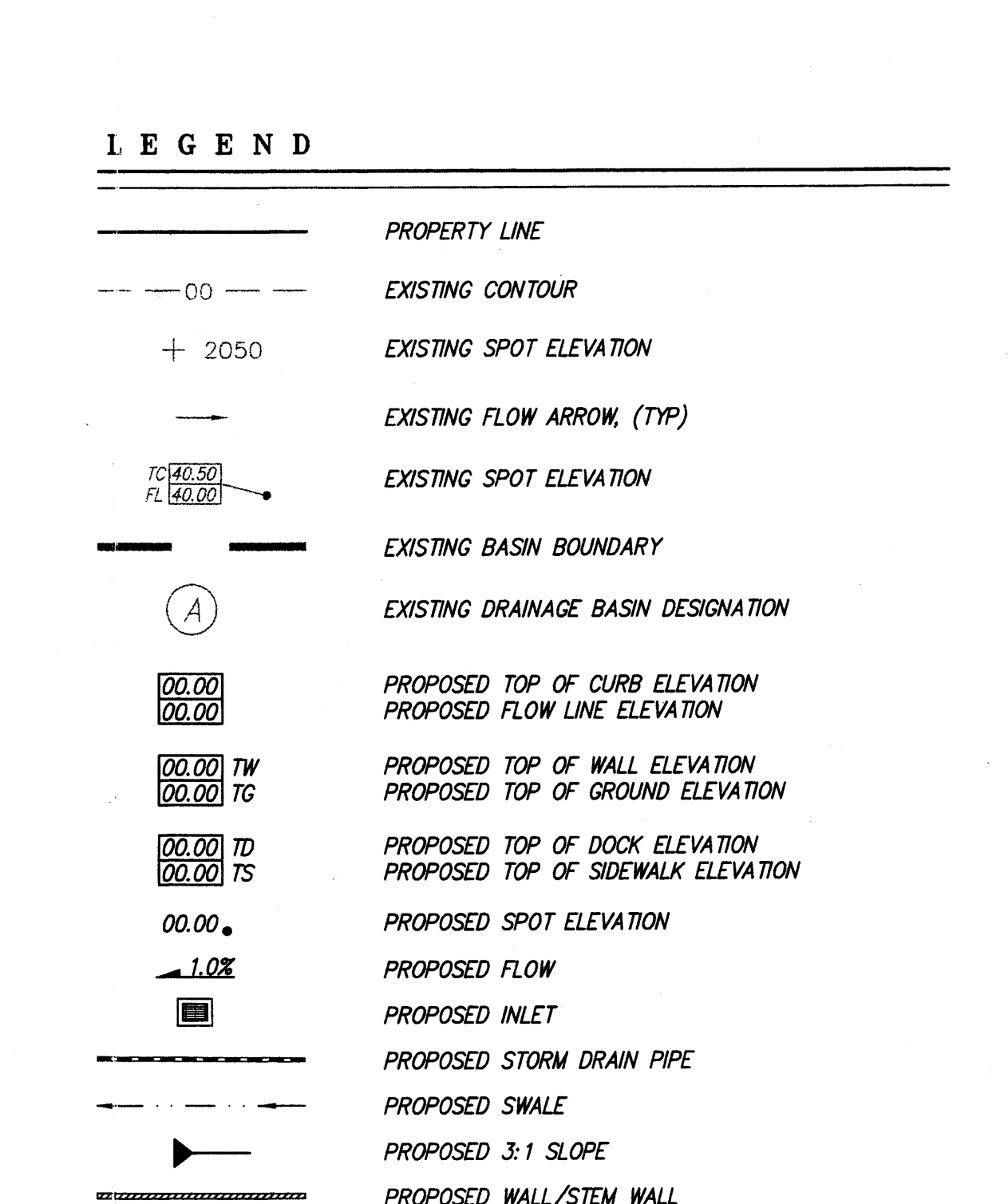
TO REACH STATION FROM RICHFIELD ROAD BRIDGE, GO NORTH ALONG THE EAST LEVEE ROAD OF THE NDC FOR 330 FEET TO CENTERLINE STATION 96+50. THE STATION IS CENTERED IN THREE 6"x8"x4" WOOD POSTS.

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AMERICAN SOCIETY OF CIVIL ENGINEERS
NEW MEXICO
15334
9/8/23

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

drawn by DER
reviewed by ALD
date 03.19.02
project no. 02009
drawing name A2018gd.dwg

revisions

1. 03-19-02
2. 03-19-02
3. 03-19-02

sheet no. C101
1 of 2

architecture
interior
planning
engineering

Dekker Perich Sabatini

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

architect

engineer

project

Heller Distributing Co. Inc.
Phase II
GRADING & DRAINAGE PLAN
Albuquerque, New Mexico

AMERICAN SOCIETY OF CIVIL ENGINEERS
NEW MEXICO
15334
9/8/23

SEP 03 2002
HYDROLOGY SECTION