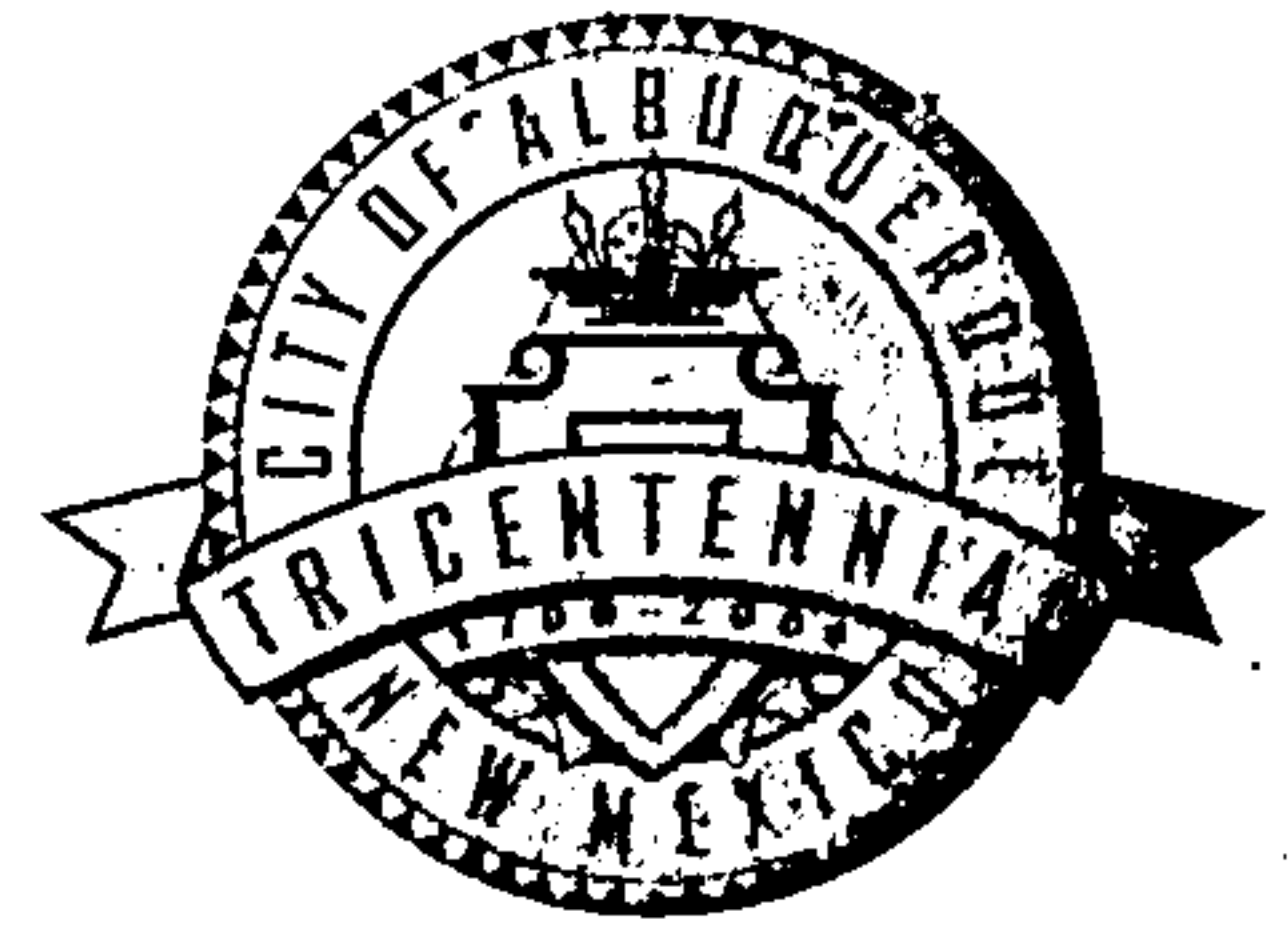


CITY OF ALBUQUERQUE



August 17, 2006

Mr. Ron Bohannon, P.E.
TIERRA WEST, LLC
8509 Jefferson St. NE
Albuquerque, NM 87113

Re: JLM INVESTMENTS
8500 Jefferson Street NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 09/29/2005 (C-17/D13B1)
Certification dated 08/16/2006

P.O. Box 1293

Dear Ron,

Albuquerque

Based upon the information provided in your submittal received 08/17/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

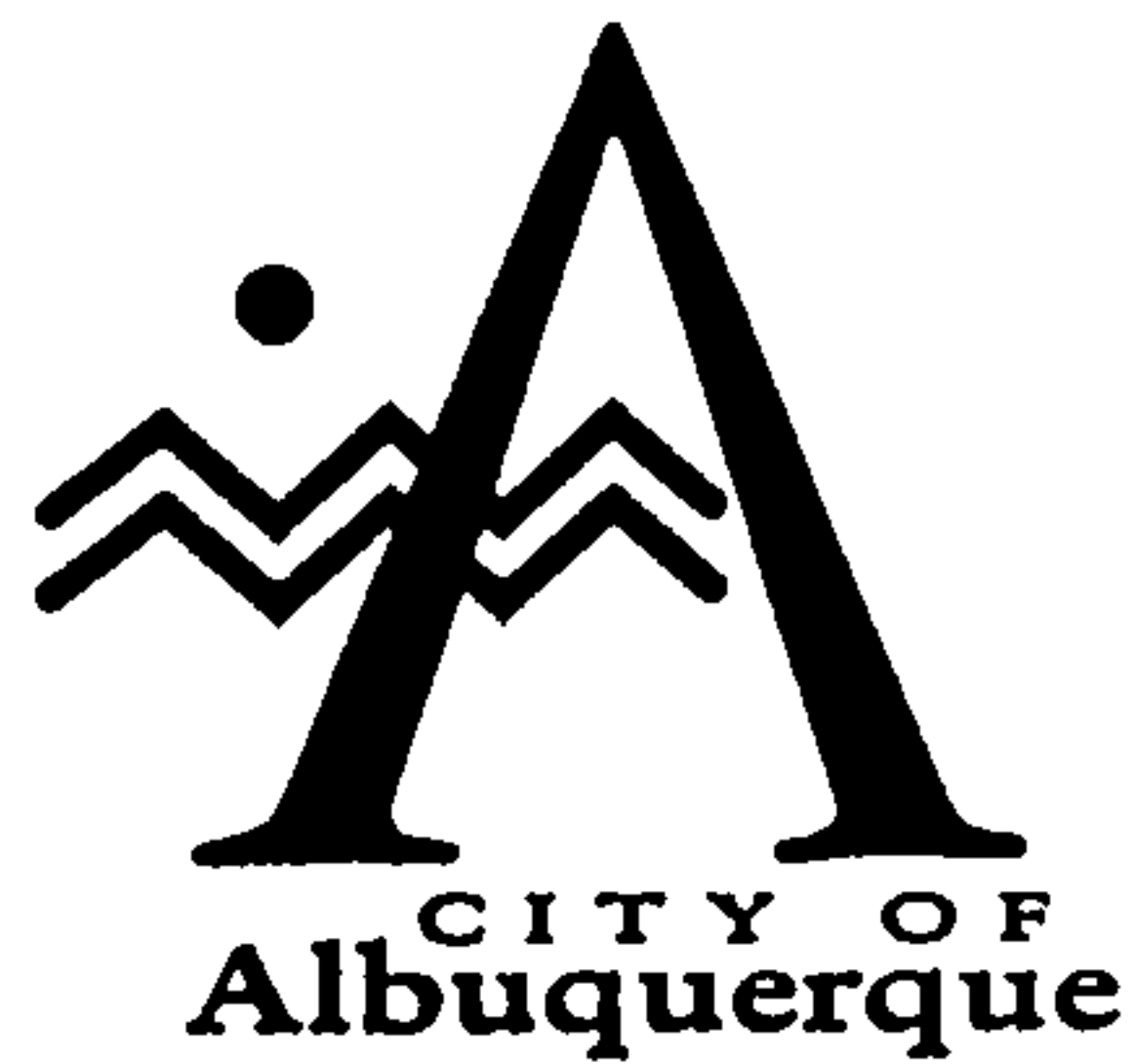
If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Reviewer, Planning Dept.-Hydrology
Development and Building Services

C: C.O. Clerk
File



September 14, 1998

Shahab Biazar
Advanced Engineering & Consulting
10209 Snowflake Ct. NW
Albuquerque, New Mexico 87114

RE: REVISED DRAINAGE PLAN FOR CORDOVA PRINTING (C17-D13B1) REVISION
DATED 9/9/98

Dear Mr. Biazar:

Based on the information provided on your September 10, 1998 resubmittal, the above referenced site is approved for Building Permit.

Please be advised that prior to Certificate Of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

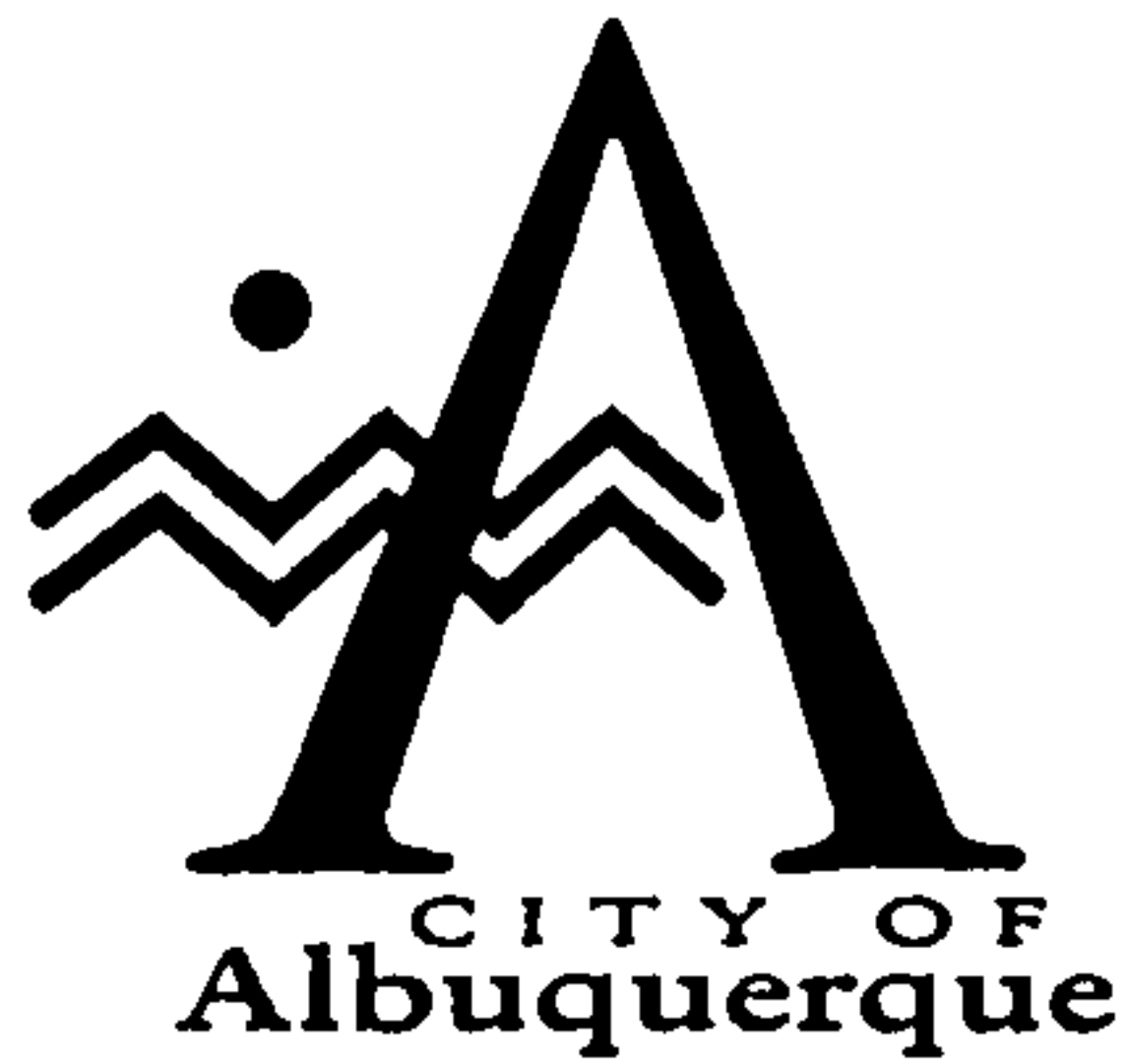
C: Andrew Garcia
{File}

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!





April 18, 1998

R.G. Lee
Lee Engineering
2316 Calle De Rafael NE
Albuquerque, New Mexico 87122

RE: REVISED DRAINAGE PLAN FOR CORDOVA'S PRINTING (C17-D13B1) REVISION
DATED 4/13/98

Dear Mr. Lee:

Based on the information provided on your April 13, 1998 resubmittal, the above referenced site is approved for Building Permit.

Please be advised that a separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction plans prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

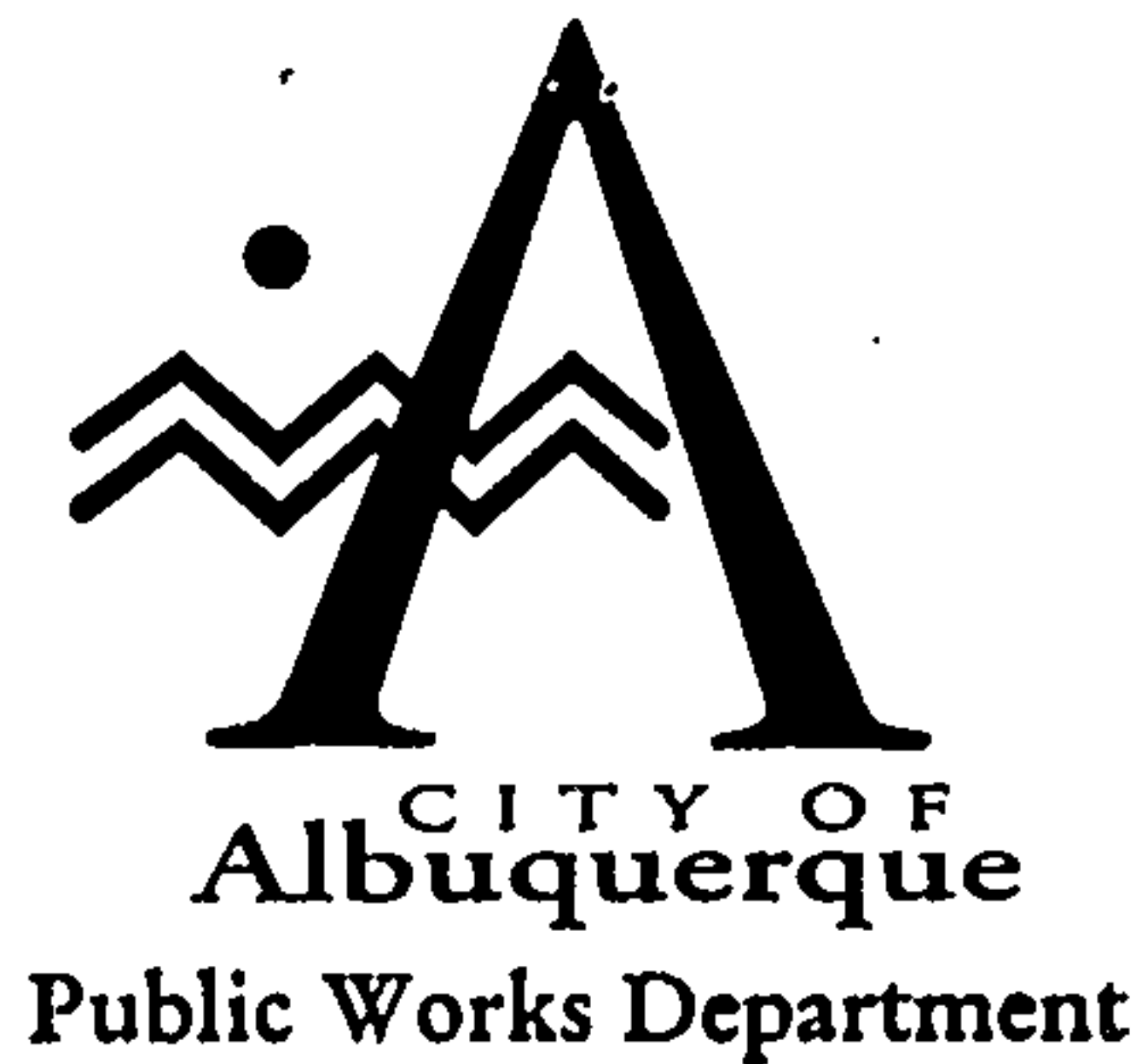
If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
Arlene Portillo
File

Sincerely
Bernie J. Montoya
Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!





Martin J. Chávez, Mayor

Robert E. Gurulé, Director

March 17, 1997

R.G. Lee
Lee Engineering
2316 Calle De Rafael NE
Albuquerque, New Mexico 87122

RE: DRAINAGE PLAN FOR CORDOVA'S PRINTING (C17-D13B) ENGINEER'S
STAMP DATED 3/17/97

Dear Mr. Lee:

Based on the information provided on your March 17, 1997 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, Engineer Certification per the DPM checklist will be required prior to release of the permanent certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely

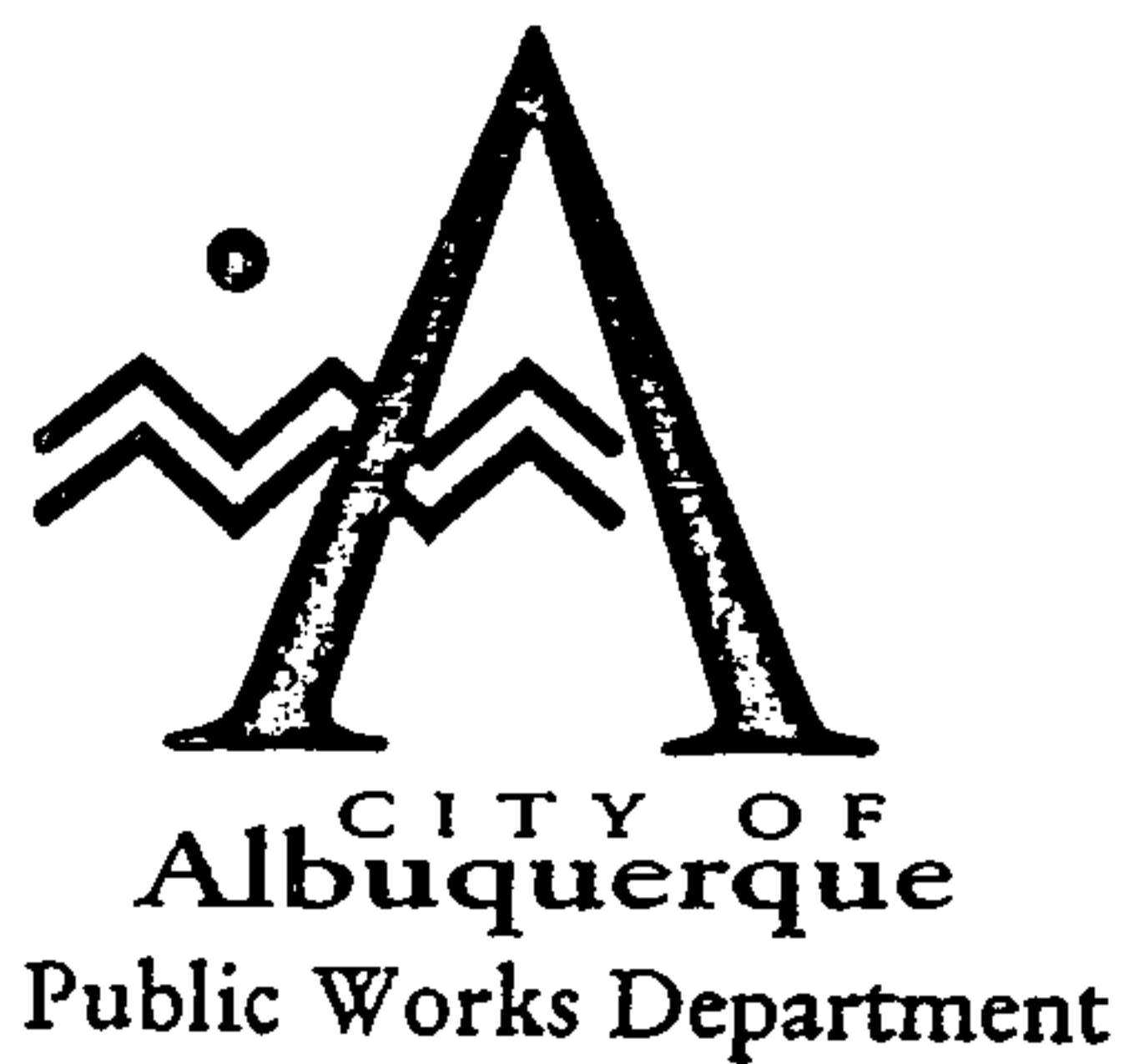
A handwritten signature in cursive script that reads 'Bernie J. Montoya'.

Bernie J. Montoya CE
Engineering Associate

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





June 30, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Carlos Padilla
AVID Engineering, Inc.
6100 Seagull St. NE Suite 102
Albuquerque, NM 87109

**RE: JEFFERSON STREET INDUSTRIAL PARK (C17-D13B). ENGINEER'S
CERTIFICATION. ENGINEER'S CERTIFICATION DATED JUNE 17,
1997.**

Dear Mr. Padilla:

Based on the information provided on your June 17, 1997
submittal, the Engineer's Certification is acceptable for the
above referenced project.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,

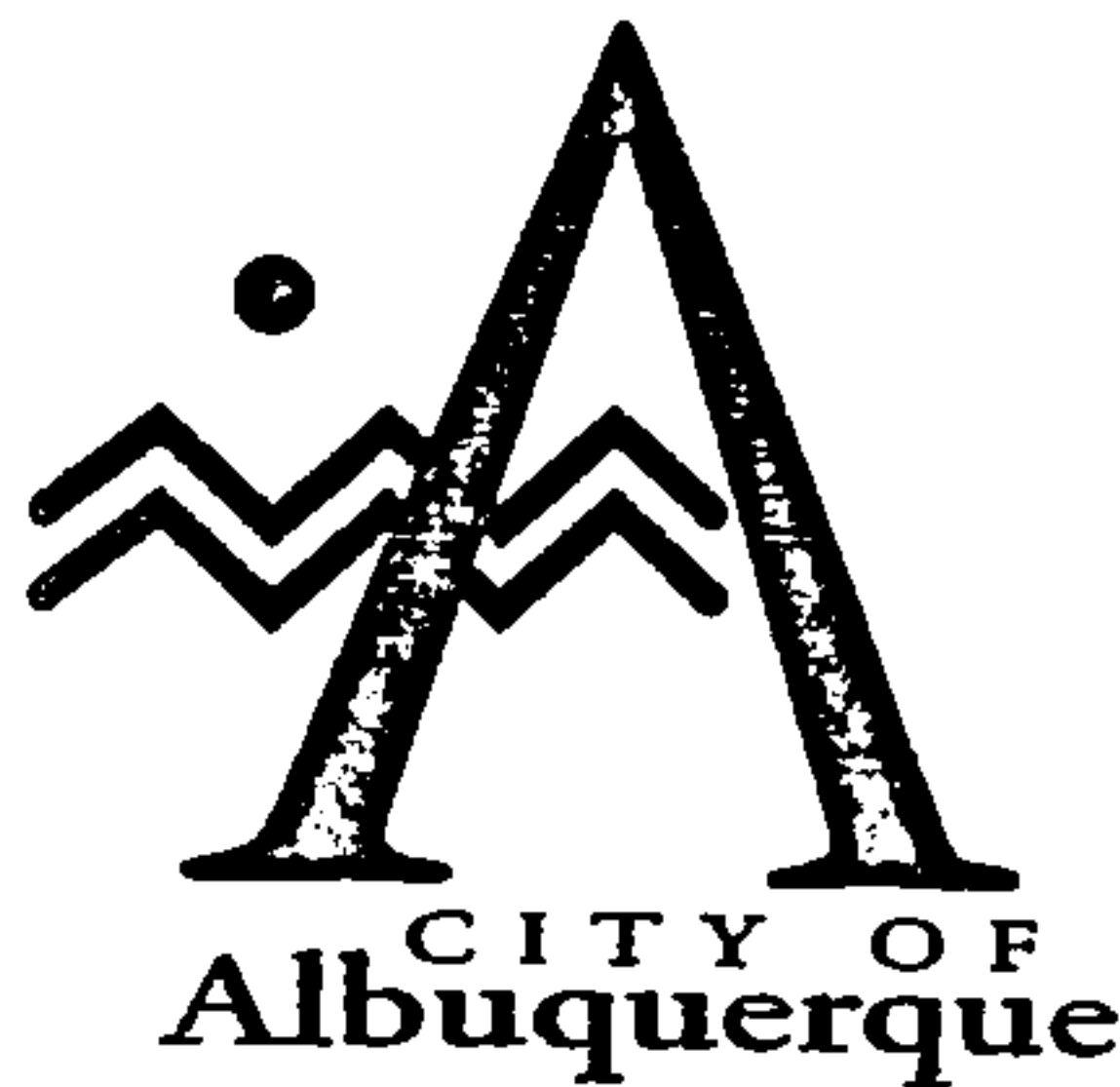
Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You. Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





June 26, 1996

Martin J. Chávez, Mayor

Carlos Padilla
AVID Engineering, Inc.
6100 Seagull St. NE Suite 102
Albuquerque, NM 87109

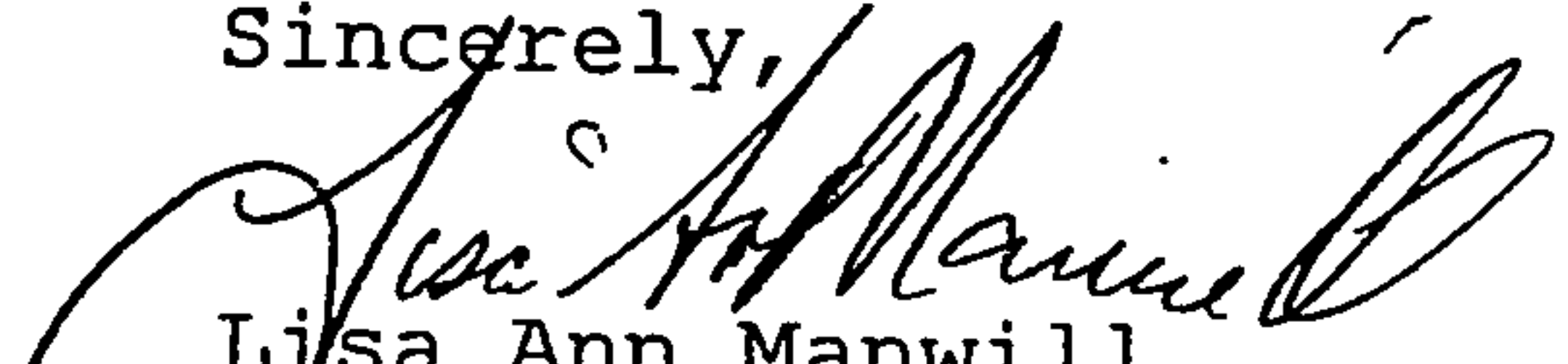
**RE: JEFFERSON STREET INDUSTRIAL PARK (C17-D13B). DRAINAGE PLANS
FOR FINAL PLAT APPROVAL. ENGINEER'S STAMP DATED JUNE 24,
1996.**

Dear Mr. Padilla:

Based on the information provided on your June 25, 1996
submittal, the above referenced project is approved for Final
Plat.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE REPORT

for

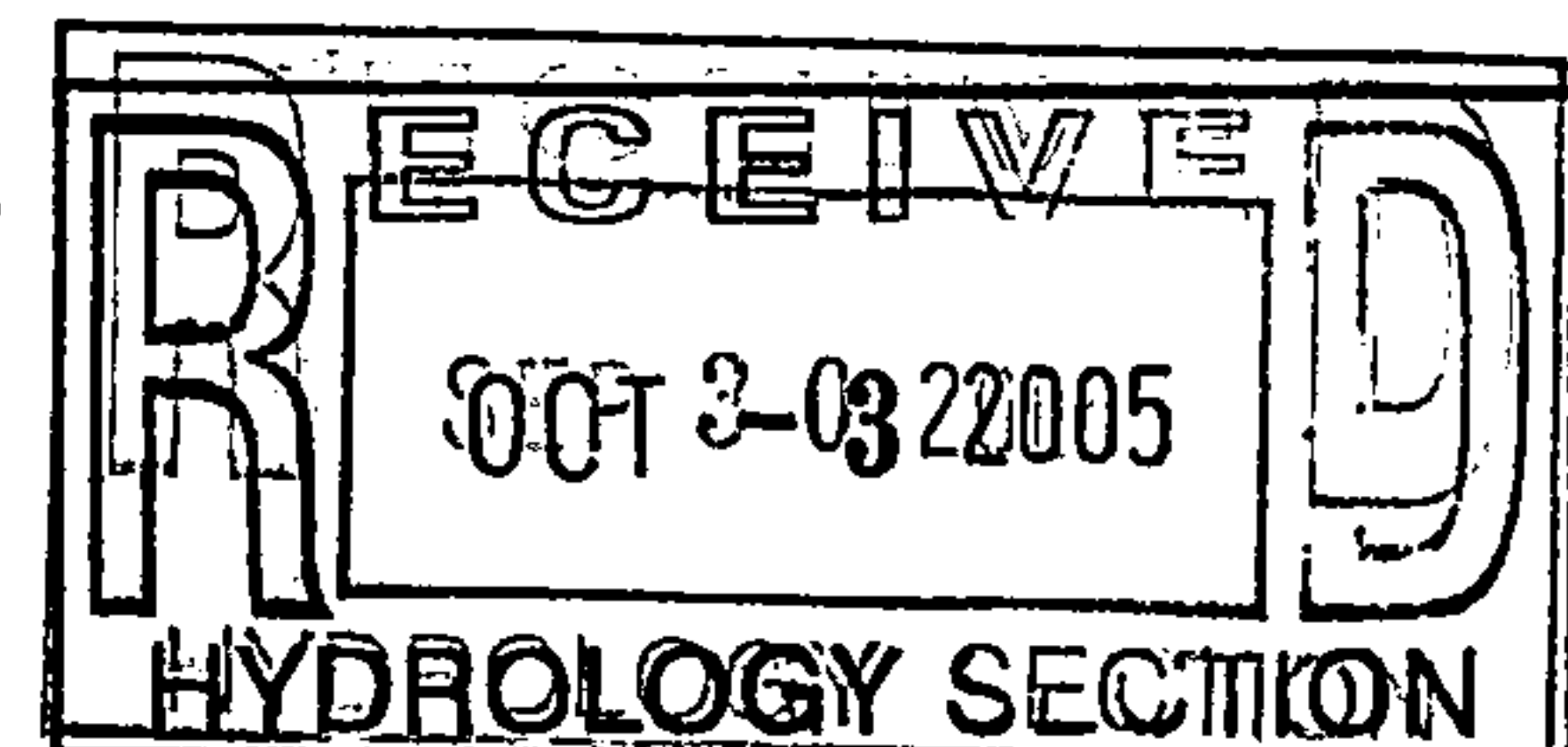
**Lot 14-A-2-A Loop Industrial District Unit 5
8500 Jefferson
Albuquerque, New Mexico**

Prepared by


Tierra West, LLC
8509 Jefferson NE
Albuquerque, New Mexico 87113

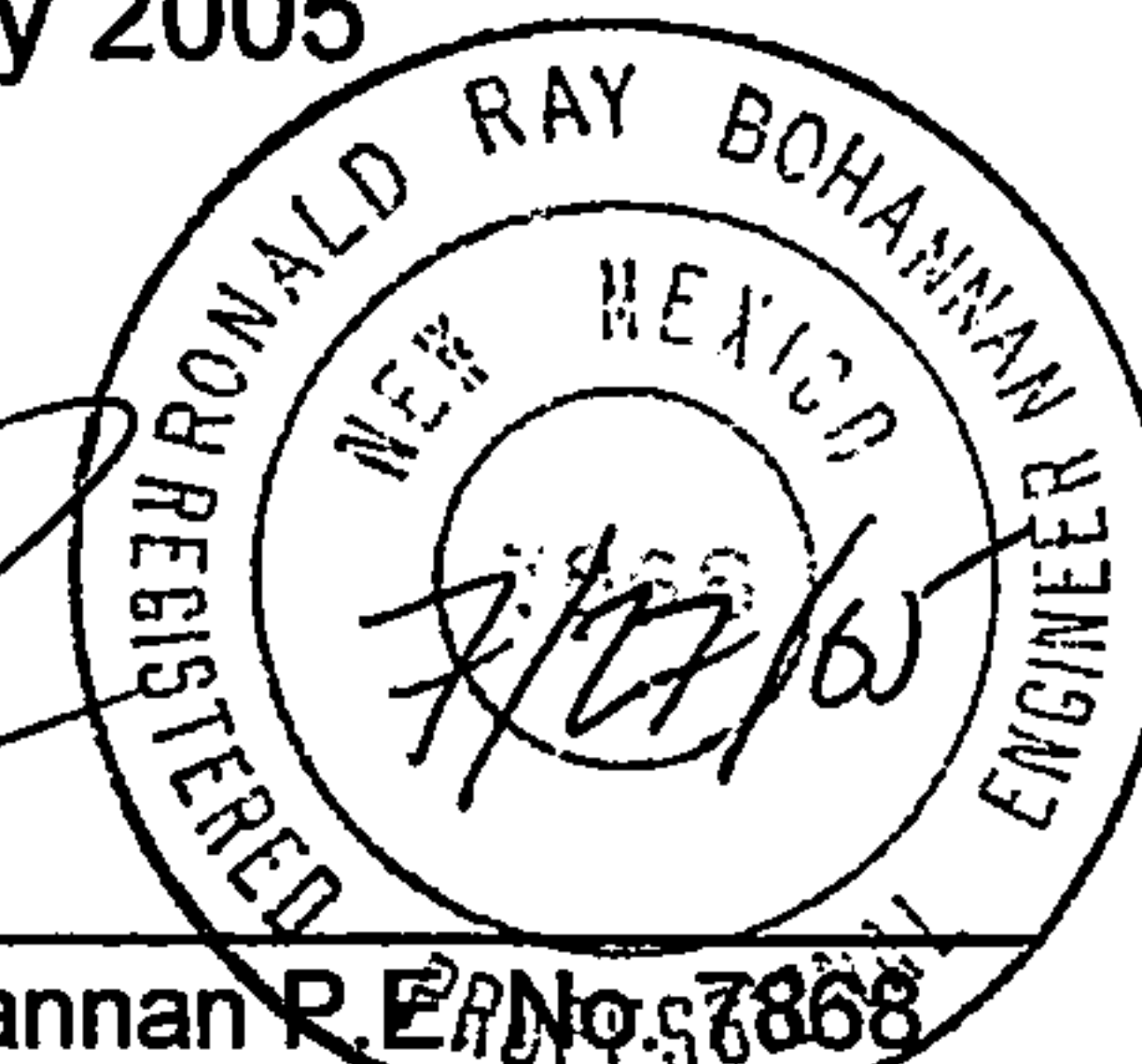
Prepared for

JLM Investments
8500 Jefferson St. NE
Albuquerque, NM 87113



July 2005


Ronald R. Bohannon P.E. No. 7868

A circular professional engineer seal for Ronald R. Bohannon, New Mexico. The seal contains the text "RONALD RAY BOHANNAN", "NEW MEXICO", "REGISTERED", and "ENGINEER". The number "7868" is stamped across the seal. A signature is written over the seal.

Location

The Lot 14-A-2-A, Loop Industrial District Unit 5 site is located on the east side of Jefferson Street between Paseo del Norte and Alameda Boulevard, just south of Wilshire Avenue. The address of the site is 8500 Jefferson Street. The 1.2413 acre site is bordered on the north by a special use site, Lot 15, Loop Industrial District Unit 5 by Jefferson Street to the west, by a special use site, Lot 14-A-2-B, Loop Industrial District Unit 5 to the east, and by a special use site, Lots 14-A-2-C and 14-A-2-D, Loop Industrial District Unit 5 to the south. The purpose of this report is to provide the drainage analysis and management plan for the office and institutional zone site to include the proposed office building for Site Plan for Building Permit.

Zone Atlas Page

The site is located on City of Albuquerque Zone Atlas Map C-17 and is shown on the attached sheet.

Drainage Basin Designations

For the purpose of this report, the existing and developed drainage basins were designated as follows (see attached sheets).

Existing Undeveloped Basins: 1 and 2, where Basin 2 flows directly to Jefferson Street and does not contribute to site flow.

Developed Condition Basins: 1, 2, and 3, where Basin 3 flows directly to Jefferson Street and does not contribute to site flow.

Existing Drainage Conditions

The site is currently an undeveloped infill-project with existing storm drain facilities located in the adjacent Jefferson Street right-of-way. This site is part of the 1996 approved Master Drainage Plan named Jefferson Street Industrial Park Grading and Drainage Plan for Subdivision (see Appendix). According to this plan, this lot may either discharge runoff to the private access road, Firestone Lane, or directly to Jefferson Street. This site currently accepts no off-site flows. All flows of the adjacent properties are conveyed through Firestone Lane or through private drainage easements with concrete rundown facilities and sidewalk culverts. Existing on-site runoff, 3.42 cfs, primarily flows from east to west to Firestone Lane and to Jefferson Street. The flow is then conveyed south on Jefferson Street to the AMAFCA North Diversion Channel.

FIRM Map

The site is located on FIRM Map 35001C0137F as shown on the attached sheet. The map shows that the site does not lie within any 100-year floodplains.

On-Site Drainage Management Plan

The proposed drainage management plan is to keep with the Jefferson Street Industrial Park Grading and Drainage Plan for Subdivision and free discharge the developed flow, 4.83 cfs, to the existing storm drain along Jefferson Street directly or via Firestone Lane. Some off-site flow, approximately 14.25 cfs (see Appendix), which is not actually contributing to Basin 1, but will simply flow through the site via the curb cut along Firestone Lane and exit the site via the curb cut along Jefferson Street. This flow is

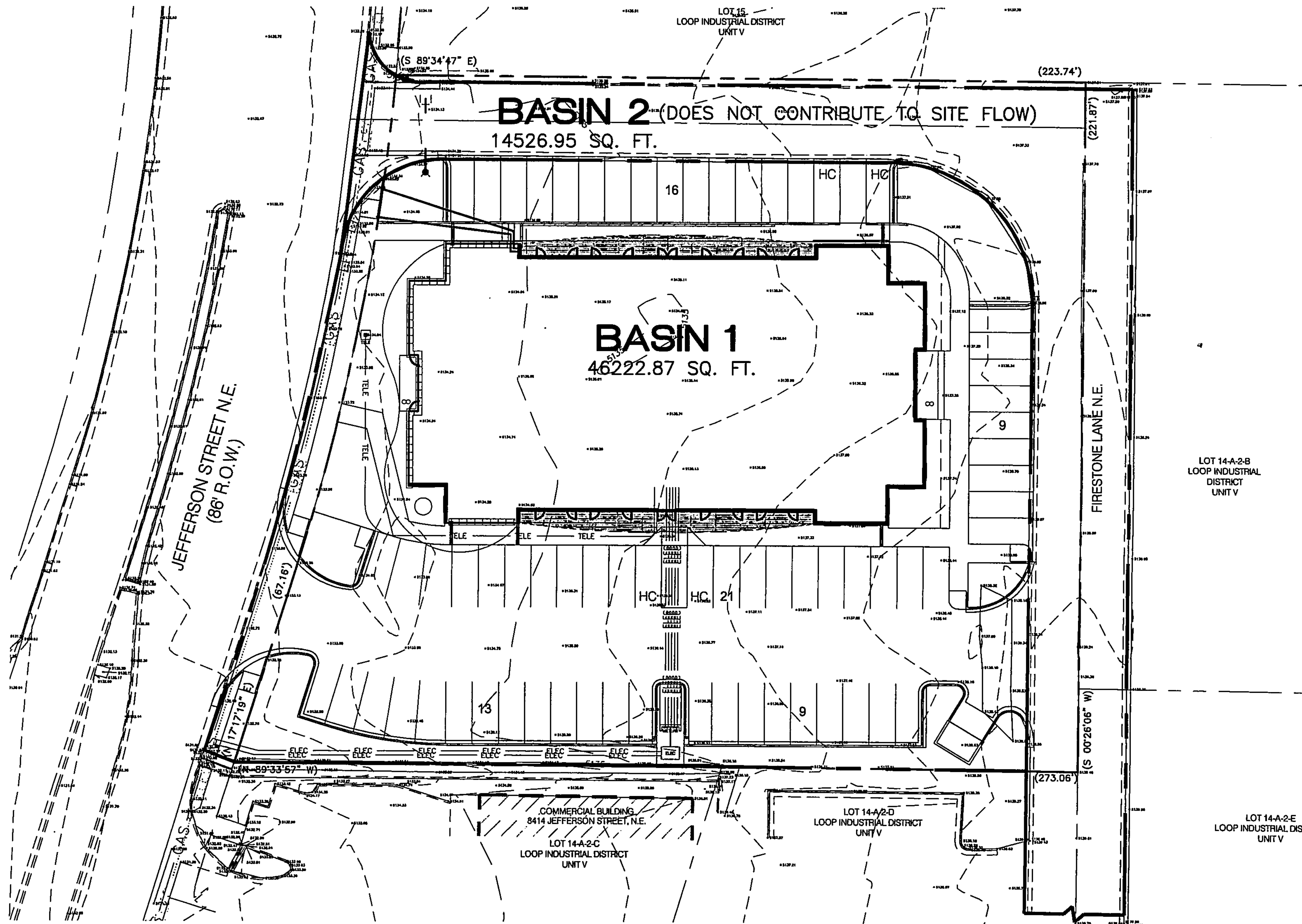
being re-routed from traveling along Firestone Lane to traveling through the parking lot of the site in order to keep the depth in the street along the east and north sides of the site at a minimum. The flow does not affect any building or landscaped areas, just passes through the site. This was a solution worked out with Mr. Bradley Bingham of the City of Albuquerque Hydrology Development Section because along the east and north side of the site the finished floor elevation is lower than the roadway. These off-site and on-site flows are then conveyed through the storm drain along Jefferson Street to the AMAFCA North Diversion Channel.

Calculations

The Weighted E method from the "City of Albuquerque Development Process Manual Volume II – Design Criteria, 1997 Revision" was used to calculate the runoff and volume for the site.

Summary

The proposed site will free discharge a total of 4.83 cfs to the existing storm drain located along Jefferson Street. Therefore, the increase in on-site flow due to developed condition, 1.41 cfs, and a slight increase in the number of basins from one to three, the proposed condition will act in the same way as the existing condition with three basins free discharging to the existing Jefferson Street storm drain facilities directly or via Firestone Lane.



EXISTING BASIN MAP

LOT 15
LOOP INDUSTRIAL DISTRICT
UNIT V

BASIN 3 (DOES NOT CONTRIBUTE TO SITE FLOW)
10,895.73 SQ. FT.

BASIN 2
10,679.15 SQ. FT.
LANDSCAPING=422.45 SQ. FT.
IMPERVIOUS=10,256.70 SQ. FT.

BASIN 1
36,813.56 SQ. FT.
LANDSCAPING=5,895.95 SQ. FT.
IMPERVIOUS=30,917.61 SQ. FT.

LOT 14-A-2-B
LOOP INDUSTRIAL
DISTRICT
UNIT V

LOT 14-A-2-E
LOOP INDUSTRIAL
DISTRICT
UNIT V

NEW 10' PNM EASEMENT TO BE FILED

LOT 14-A-2-D
LOOP INDUSTRIAL
DISTRICT
UNIT V

COMMERCIAL BUILDING
8414 JEFFERSON STREET, NE
LOT 14-A-2-C
LOOP INDUSTRIAL
DISTRICT
UNIT V

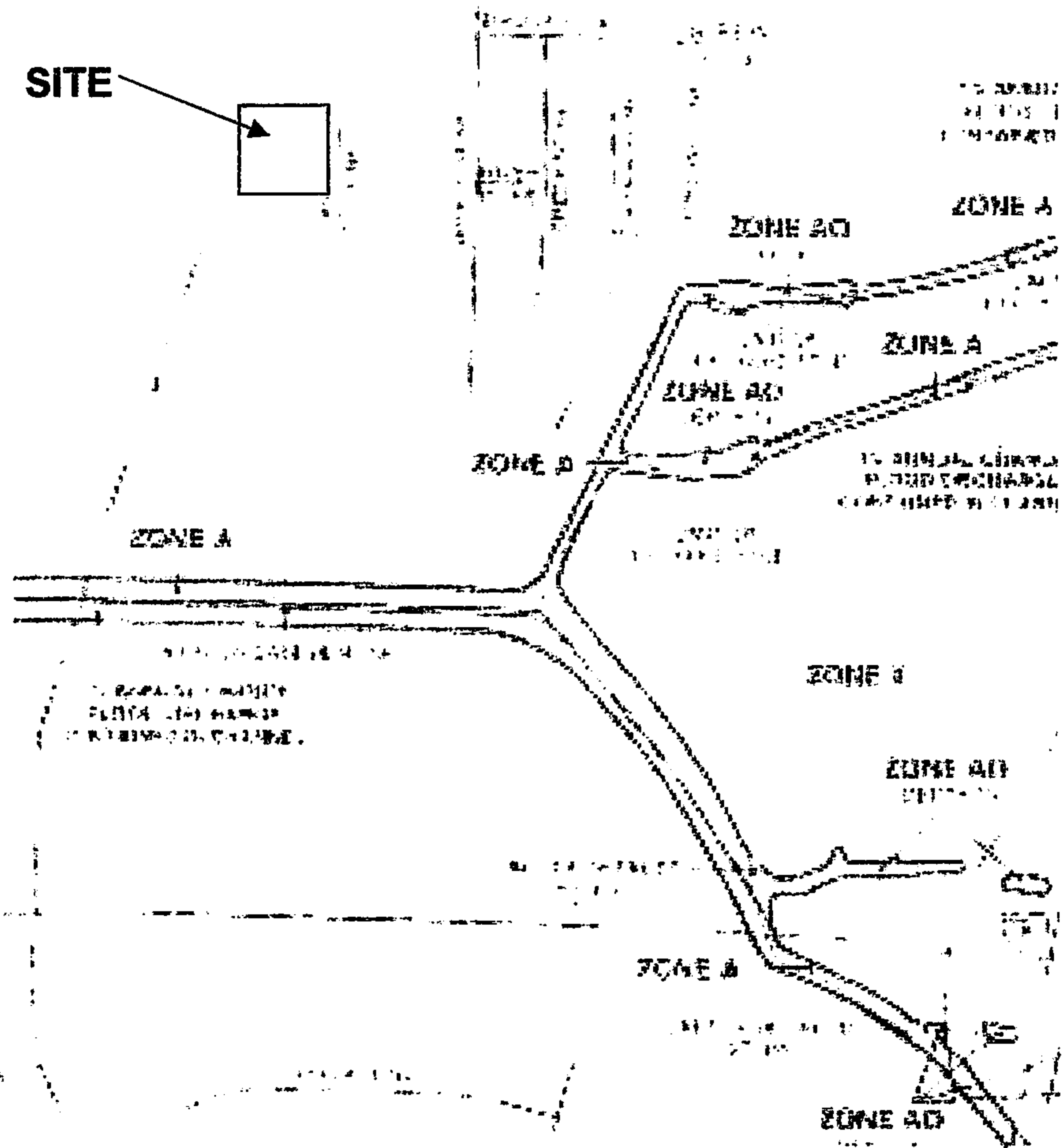
**OFF-SITE
FLOW**

PROPOSED BASIN MAP

City of Albuquerque
3500112

ZONE X

SITE



FIRM Map 35001C0137F

Weighted E Method

											100-Year			10-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)						
Developed Condition																
1	36,814	0.85	0%	0	0%	0.00	16%	0.14	84%	0.71	1.962	0.138	3.76	1.209	0.085	2.46
2	10,680	0.25	0%	0	0%	0.00	21%	0.05	79%	0.19	1.912	0.039	1.07	1.168	0.024	0.70
Total	47,494	1.09	0%	0.00	0%	0.00	18%	0.19	82%	0.90			4.83			3.16
Undeveloped Condition																
1	47,494	1.09	0%	0.00	0%	0.00	100%	1.09	0%	0.00	1.130	0.103	3.42	0.520	0.047	1.86
Total	47,494	1.09	0%	0.00	0%	0.00	100%	1.09	0%	0.00			3.42			1.86

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Excess Precipitation, E (inches)		
Zone 2	100-Year	10 - Year
E _a	0.53 ✓	0.13 ✓
E _b	0.78 ✓	0.28 ✓
E _c	1.13 ✓	0.52 ✓
E _d	2.12 ✓	1.34 ✓

Peak Discharge (cfs/acre)		
Zone 2	100-Year	10 - Year
Q _a	1.56 ✓	0.38 ✓
Q _b	2.28 ✓	0.95 ✓
Q _c	3.14 ✓	1.71 ✓
Q _d	4.7 ✓	3.14 ✓

FLOW THROUGH PARKING LOT

Private Access/Drainage Easement [i.e. Firestone Lane]
 Peak Discharge from Jefferson Street Industrial Park -
 Grading and Drainage Plan for Subdivision (6/17/97)

$$Q_{100} = 28.5 \text{ cfs} \quad (\text{Lot A, B, E, H contributing})$$

Firestone Lane is crowned: only $\frac{1}{2}$ of Q_{100}
 drains to west side (adjacent to site) of Firestone Lane

$$\Rightarrow Q_{100} = \frac{28.5 \text{ cfs}}{2} = 14.25 \text{ cfs}$$

It is conservative to say 14.25 cfs of off-site
 flow will be re-routed through site parking
 lot.

Lot B and part of Mobile Home Park/off-site
 flow does not enter Firestone Lane until
 north/downstream of site parking lot
 entrance.

$$\therefore Q_{100} = 14.25 \text{ cfs re-routed through site parking lot}$$

CURB TOPPING - EAST SIDE OF SITE

Only what falls on west $\frac{1}{2}$ of Firestone from
 the north curb return to the NE corner of
 lot may top curb at East side of building
 + what falls in east parking stalls.

$$\Rightarrow \text{Total Area} = 3420 \text{ sq ft @ 100\% D land treatment}$$

$$\Rightarrow Q = 0.37 \text{ cfs}$$

No curb topping!

CURB TOPPING - NORTH SIDE OF SITE

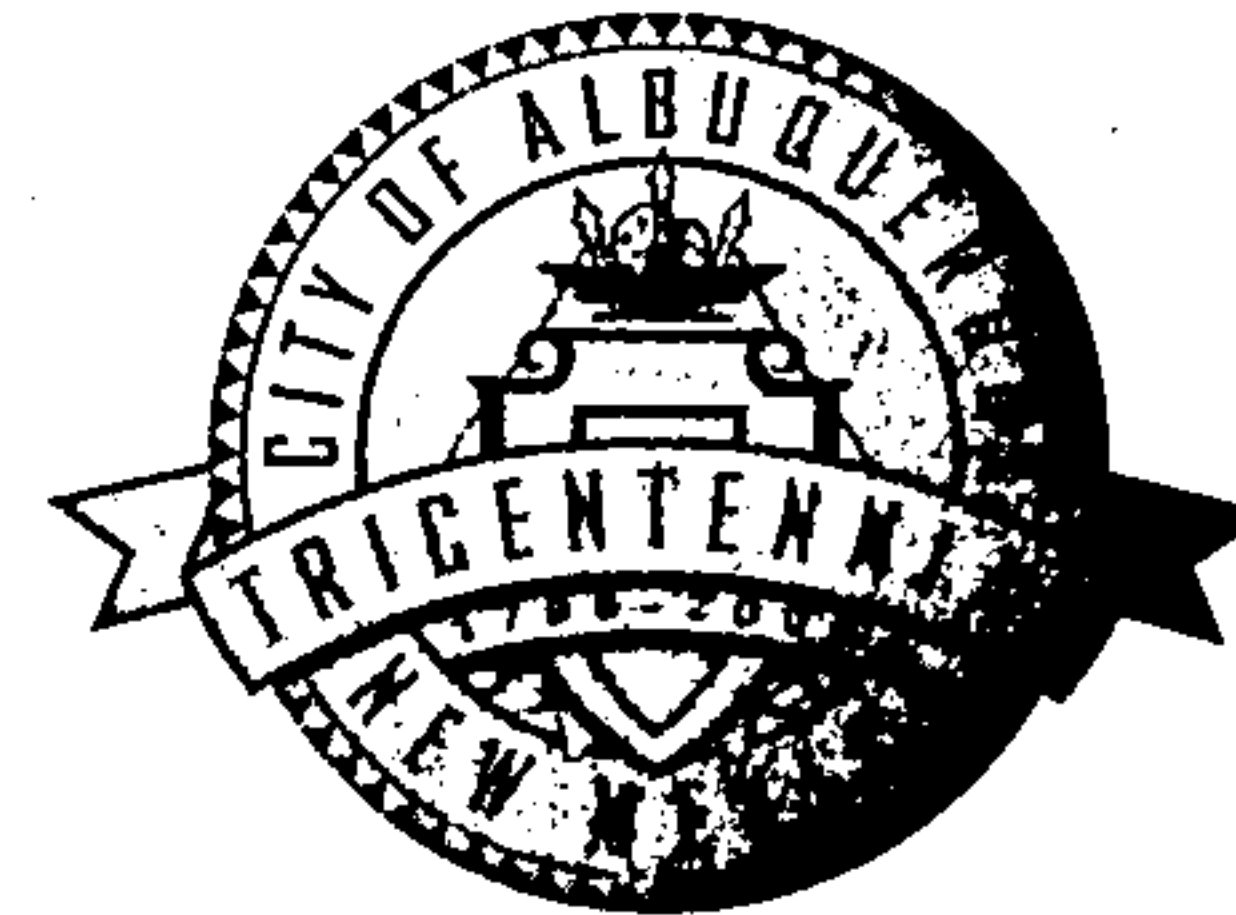
Mountable Curb and Gutter to Remain.
 Only what falls on Firestone Lane (both sides,
 no crown) could top curb from NE corner of lot
 to Jefferson

$$\Rightarrow \text{Total Area} = 5550 \text{ sq ft @ 100\% D land treatment}$$

$$\Rightarrow Q = 0.60 \text{ cfs}$$

No curb topping!

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 11, 2006

Knight Seavey, Registered Architect
57 Rock Point NE
Albuquerque, NM 87122

Re: Certification Submittal for Final Building Certificate of Occupancy for
JLM Investments, [C-17 / D13B1]
8500 Jefferson NE
Architect's Stamp Dated 07/10/06

Dear Mr. Seavey:

The TCL / Letter of Certification submitted on July 10, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Project: 8500 Jefferson St., NE
RE: Traffic Improvement Certification

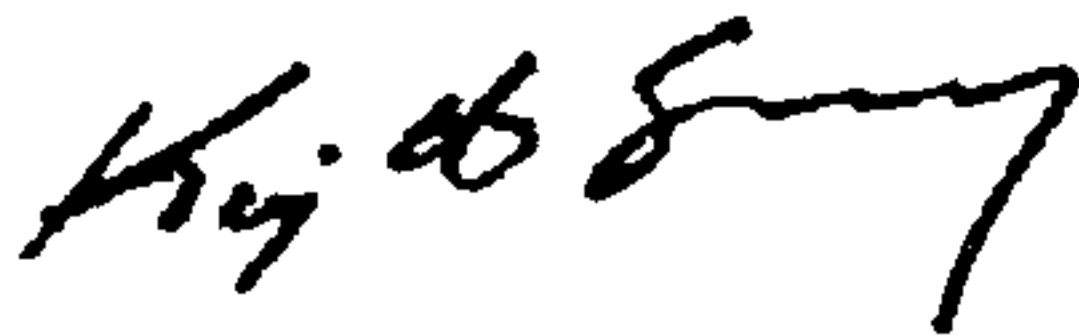
Date: Monday, July 10, 2006
From: Knight Seavey, AIA, AICP
Distribution: Arlene Portillo – Plan Reviewer
City of Albuquerque Public Works Dept.
Transportation Division
600 2nd Street NW
Albuquerque, NM 87102

I, Knight Seavey, NMRA, of the firm Insiteworks, hereby certify that the above referenced project is in substantial compliance with and in accordance with the design intent of the approved Site Development Plan dated July 25, 2005. I further certify that I have personally visited the project site on July 10, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please call Jud Cervenak from my office at (505) 983-3400 if you have any questions.

Respectful Submitted,



Knight Seavey, AIA, AICP

7/10/06

Date

Attachments: DRB approved site development plan, CABQ project information sheet

