

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 22, 2025

Roger W. Lengyel, R.A
Lengyel and Associates
3241 Siringo Rd
Santa Fe, NM 87507

Re: Mick Rich Construction Warehouse
8401 Firestone Lane NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 11-07-23 (C17-D013B3)
Certification dated 05-07-2025
Trans-2025-00124

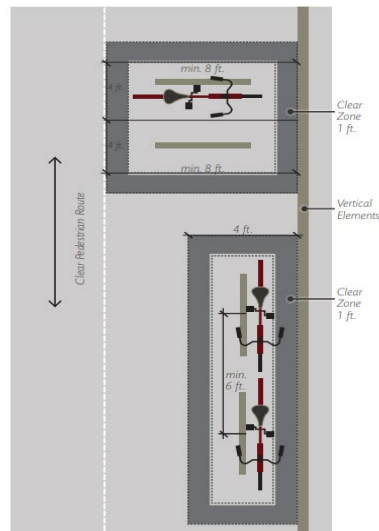
Dear Mr. Lengyel,

Based upon the information provided in your submittal received 05-07-25, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The construction of the site must be completed.
2. Per approved site plan and city requirement, please install the "U" shape Bike rack following the required dimensions. The wave shape bike rack is no more permitted for new sites.

FIGURE 7.4.115 Bicycle Parking Stall Layout Options



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3. Due to the change of the bike rack location, Please redline the approved site to create an as built that reflects the change.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

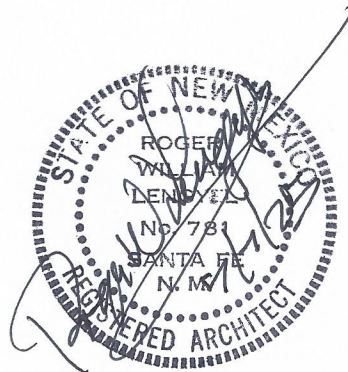
www.cabq.gov



Permit # BP-2023-44616
Traffic Certification

Roger W Lengyel, Architect for this project, hereby certifies that this project is in substantial compliance with and in accordance with the design intent of the Approved Traffic Plans dated 11/03/2023. I further certify that I have reviewed the project site visually and have determined that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certificate is submitted in support of a request for a Certificate of Occupancy.

Roger W. Lengyel
License # 781
05/07/2025



SITE DATA

ZONE:	NR-LM (NON-RESIDENTIAL LIGHT MANUF)		OFF STREET PARKING	OFFICE:	5,100* SQ. FT. = (DIV BY) 3.5 SPACES PER 1000 SF = 18 SPACES (INC 2 HC)
LOT SIZE:	53,953 SQ. FT. (1.23 ACRES)			WAREHOUSE:	10,914* SQ. FT. = (NO PARKING REQUIRE FOR WAREHOUSE)
BUILDING SETBACKS:				MOTOR CYCLES	1.25 SPACES = 1 SPACE
FRONT	5'			BICYCLES	3-BIKES AT 4 BIKE RACK
SIDE	0'			TOTAL PARKING SPACES REQUIRED	= 18
REAR	0'			TOTAL PARKING SPACES PROVIDED	= 37
MAX HEIGHT	65'			BOTH BUILDINGS	
LOT COVERAGE:	NA		LANDSCAPING:		
GROSS LOWER FLOOR AREA:	10,000 SQ. FT.		LANDSCAPE REQUIRED: 15% OF NET LOT AREA	= 53,953 SF - 10,000 SF (BLDG "A") - 4500 SF (BLDG "B") - 17,717 SF (PORTION OF LOT NOT REQUIRED FOR OFF-STREET PARKING) =	21,736 SF X 15% = 3,260 SQ. FT.
BUILDING HEIGHT:			LANDSCAPE REQUIRED:	=	3,260 SF
BUILDING HEIGHT: (ALLOWABLE)	26'		LANDSCAPE PROVIDED:	=	6,252 SF
BUILDING HEIGHT: (ACTUAL)	23'				
OCCUPANT LOAD:					
BY CODE	38 OCCUPANTS				

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arriaga 11/3/2023

Signed Date

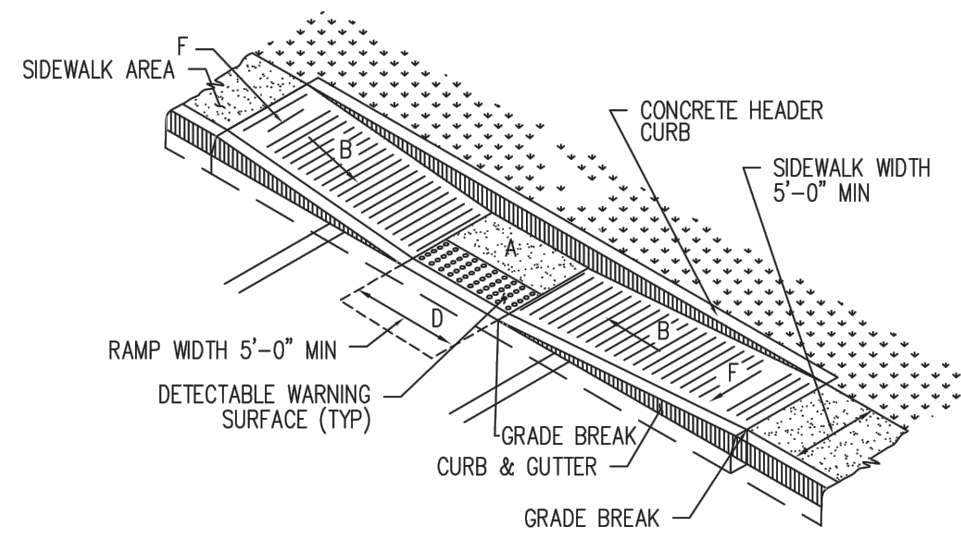


VICINITY MAP

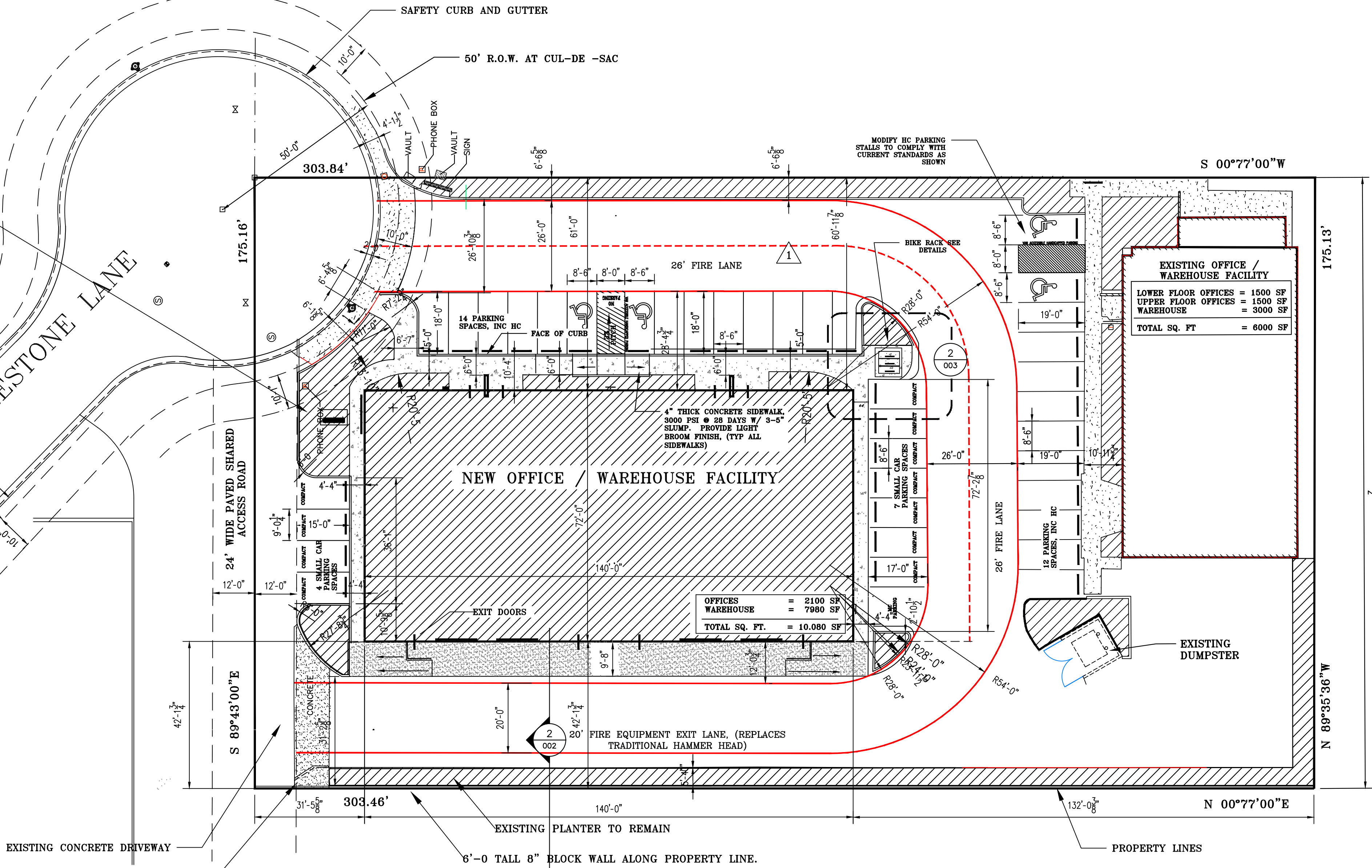
- GENERAL NOTES
1. RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
 2. SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

- CONSTRUCTION NOTES
- A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
 - B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
 - C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
 - D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
 - E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX, MEASURED PARALLEL TO THE BACK OF THE CURB.
 - F. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
 - G. FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

NOTE: HC
GRADING, MIN
1%, MAX 2%



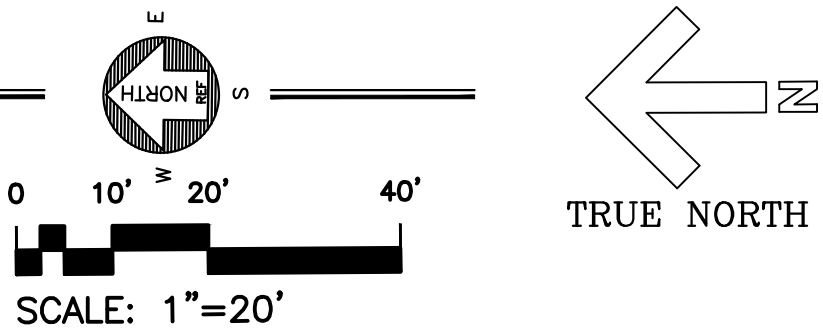
DETAIL A-PARALLEL CURB
RAMP



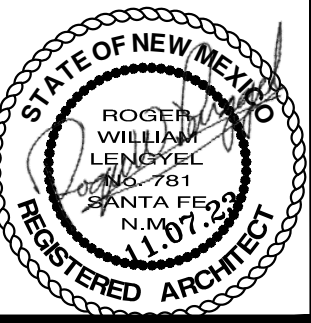
EXTEND CONCRETE DRIVEWAY.
PROVIDE 8" THICK CONC SLAB
W/ #4 REBAR AT 18"O.C.
EACH WAY PROVIDE 8"
SUBGRADE COMPACTED TO
95% MODIFIES PROCTOR
DENSITY. COMPACT
SUBSURFACE TO MAX
DENSITY.

- GENERAL NOTES
1. ALL EXTERIOR CONCRETE SHALL BE 3,000, PSI AT 28 DAYS W/ 3-5" SLUMP (UNLESS NOTED OTHERWISE ON THE STRUCTURAL PLAN)

1 SITE PLAN
002 SCALE 1"=20'



MICK RICH CONTRACTORS 8401 FIRESTONE LANE, ALBUQUERQUE NM, 87198



JOB #
22-14

DATE
11.07.23

A NEW OFFICE / WAREHOUSE FACILITY
FOR MICK RICH CONSTRUCTION
8401 FIRESTONE LANE, N.E.
ALBUQUERQUE 2023 NEW MEXICO

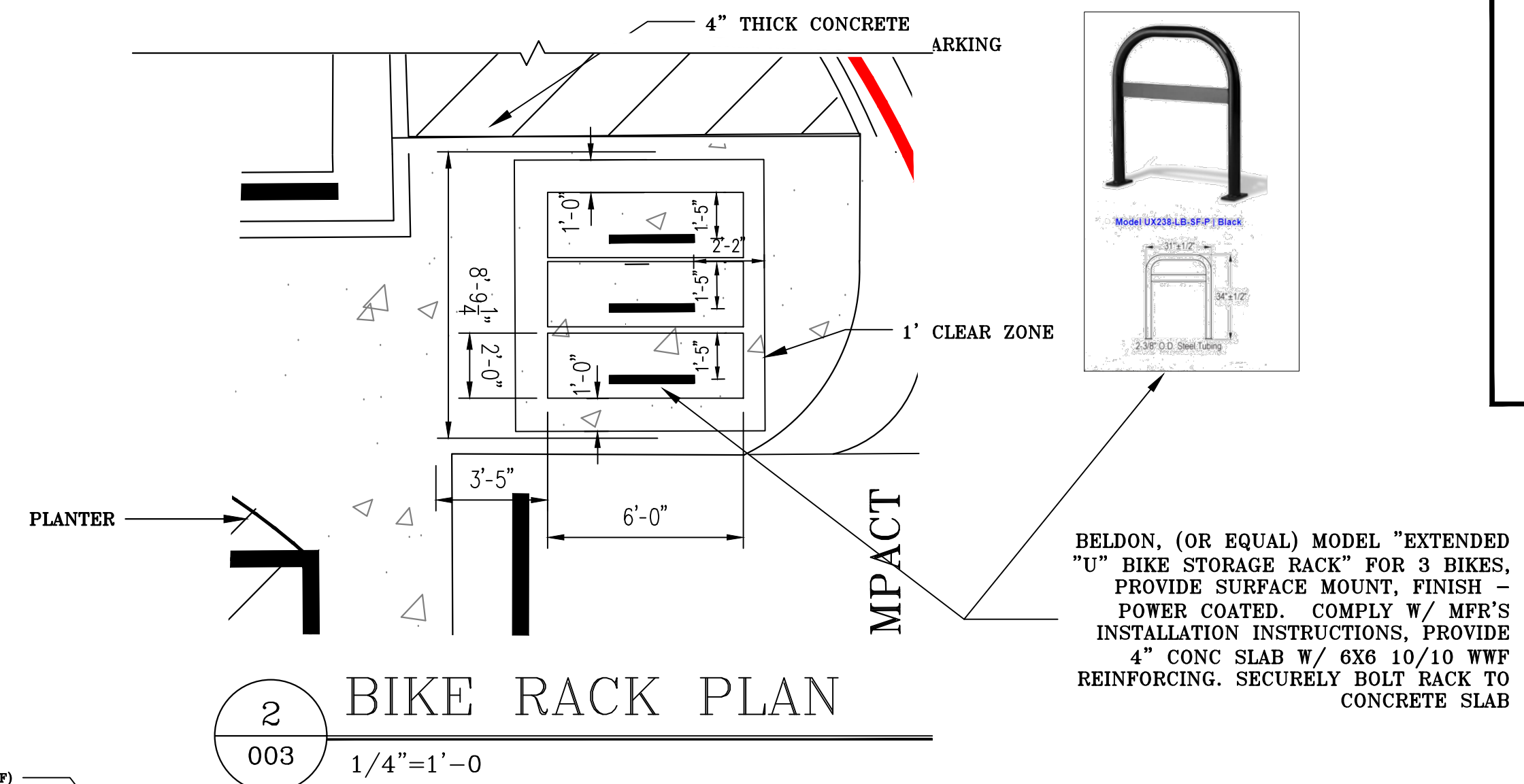
REVISIONS

SHEET NO.
ARCH-002

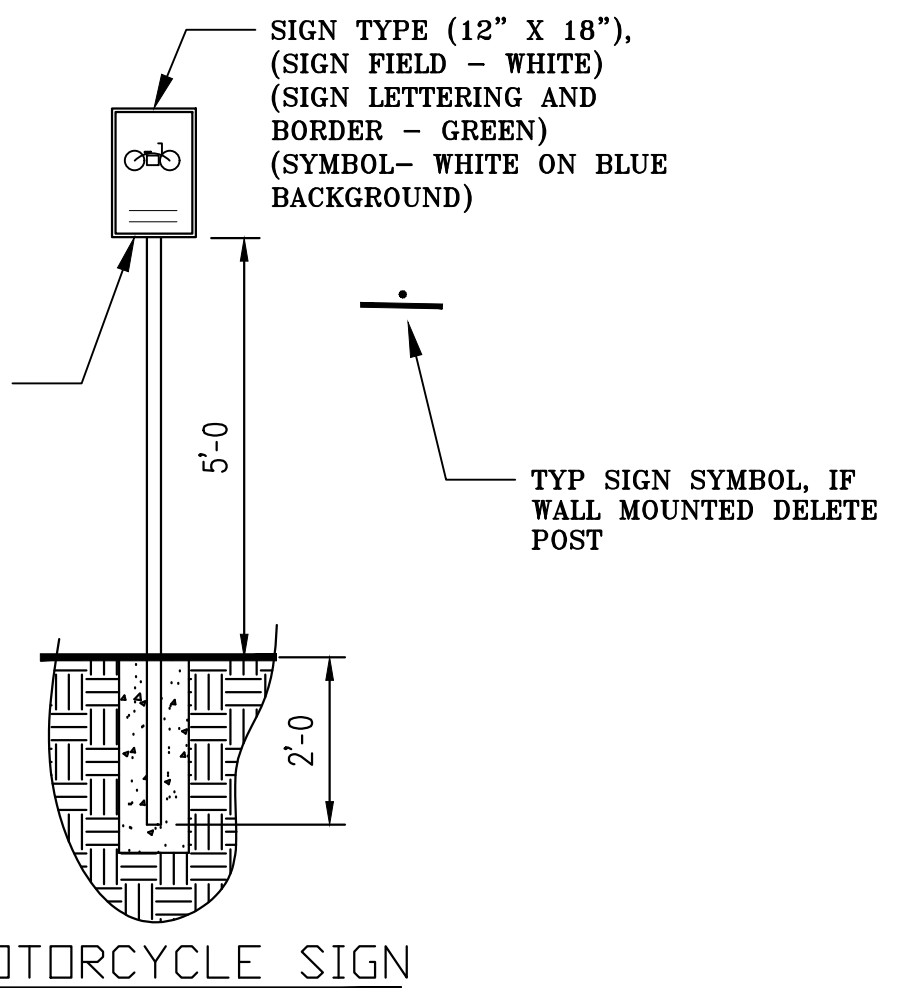
ZONE:	NR-1M (NON-RESIDENTIAL LIGHT MANUF)		OFF STREET PARKING	
LOT SIZE:	(1.2208 AC)	53,178 SQ. FT.	OFFICE:	5,100 SQ. FT. = (DIV BY) 3.5 SPACES PER 1000 SF = 18 SPACES (INC 2 HC)
BUILDING SETBACKS:			WAREHOUSE:	10,080 SQ. FT. = (NO PARKING REQUIRE FOR WAREHOUSE)
FRONT	5'		MOTOR CYCLES	1:25 SPACES = 1 SPACE
SIDE	0'		BICYCLES	3-BIKES AT 4 BIKE RACK
REAR	0'		TOTAL PARKING SPACES REQUIRED	= 18
MAX HEIGHT	65'		TOTAL PARKING SPACES PROVIDED	= 37*
			* BOTH BUILDINGS	
LOT COVERAGE:	NA		LANDSCAPING:	
GROSS FLOOR AREA:	10,080 SQ. FT.		LANDSCAPE REQUIRED: 15% OF NET LOT AREA	= 53,178 SF - (10,080 SF (BLDG "A")) - (4500 SF (BLDG "B")) =
			(17,717 SF (PORTION OF LOT NOT REQUIRED FOR OFF-STREET PARKING)) =	20,649 SF X 15% = 3,098 SQ. FT.
			LANDSCAPE REQUIRED:	= 3,760 SF
BUILDING HEIGHT:			LANDSCAPE PROVIDED:	= 6,232 SF
BUILDING HEIGHT: (ALLOWABLE)	26'			
BUILDING HEIGHT: (ACTUAL)	25'-6" TO TOP OF PARAPET			
OCCUPANT LOAD:	23 OCCUPANTS			

EXISTING PLANTER	#1	=	1141	SF
EXISTING PLANTER	#2	=	389	SF
EXISTING PLANTER	#3	=	276	SF
EXISTING PLANTER	#4	=	40	SF
NEW PLANTER	#5	=	632	SF
NEW PLANTER	#6	=	203	SF
NEW PLANTER	#7	=	104	SF
NEW PLANTER	#8	=	205	SF
NEW PLANTER	#9	=	105	SF
NEW PLANTER	#10	=	984	SF
NEW PLANTER	#11	=	63	SF
EXISTING PLANTER	#12	=	310	SF
EXISTING PLANTER	#13	=	1800	SF
TOTAL PLANTER AREA =				6,252 SF

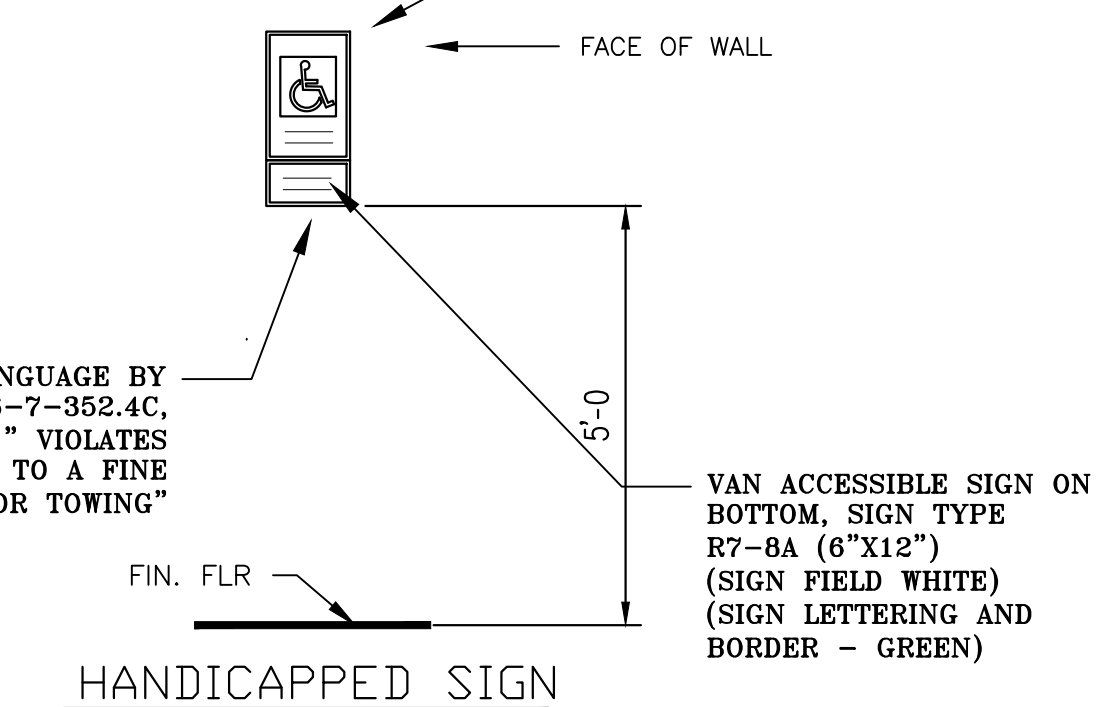
Ernest Armijo 11/3/2023
Signed Date



BELDON, (OR EQUAL) MODEL "EXTENDED
"U" BIKE STORAGE RACK" FOR 3 BIKES,
PROVIDE SURFACE MOUNT, FINISH -
POWER COATED. COMPLY W/ MFR'S
INSTALLATION INSTRUCTIONS, PROVIDE
4" CONC SLAB W/ 6X6 10/10 WWF
REINFORCING. SECURELY BOLT RACK TO
CONCRETE SLAB



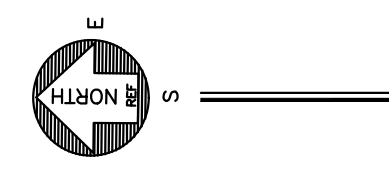
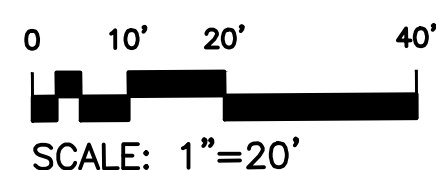
SIGN TYPE R7-8 (12" X 18"),
(SIGN FIELD - WHITE)
(SIGN LETTERING AND BORDER
- GREEN)
(SYMBOL - WHITE ON BLUE
BACKGROUND)



TOTAL OFFICES	=	5100 SF X 3.5 SPACES PER 1000 SF *	=	18 PARKING SPACES
TOTAL WAREHOUSE	=	10960 SF (NO PARKING SPACE REQ'D FOR WAREHOUSE) *	=	0 PARKING SPACES
<hr/>				
TOTAL PARKING SPACES REQUIRED	=	18 (INCLUDES 4 HC PARKING SPACE, TWO FOR EACH BUILDING)		
TOTAL PARKING SPACES PROVIDED	=	37 PARKING SPACES		
MOTOR CYCLE PARKING SPACE	=	1 MC PARKING SPACE		
BICYCLE PARKING	=	3 SPACES		
* BOTH BUILDINGS				

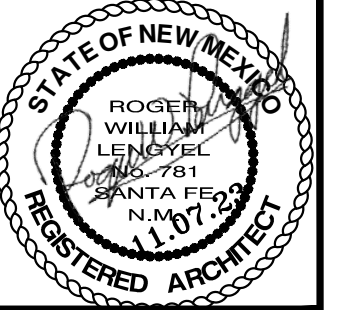
AT PARKING SPACES: PROVIDE THE WORDING "NO PARKING" FOR HC DRIP OFF ZONE AND "MC" FOR MOTORCYCLE PARKING SPACE IN CAPITOL LETTERS EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACE AS SHOWN ON PLAN

SCALE 1"=20'



TRUE NORTH

MICK RICH CONTRACTORS



JOB #
22-14

DATE
11.07.23

A NEW OFFICE / WAREHOUSE FACILITY
FOR MICK RICH CONSTRUCTION
3401 FIRESTONE LANE, N.E.
ALBUQUERQUE 8023 NEW MEXICO

REVISIONS

SHEET NO.
ARCH-003

MR-OFF-WARE.8.6-2023.FULL SET.DWG