

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

April 28, 2021

Treveston R. Elliott, RA  
Treveston Elliott Architect  
811 12<sup>th</sup> St. NW  
Albuquerque, NM 87102

**Re: Boxing Bear Brewery**  
**8420 Firestone Lane NE, 87113**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 4-26-21 (C17D013B4)

Dear Mr. Elliott,

The TCL resubmittal received 4-26-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

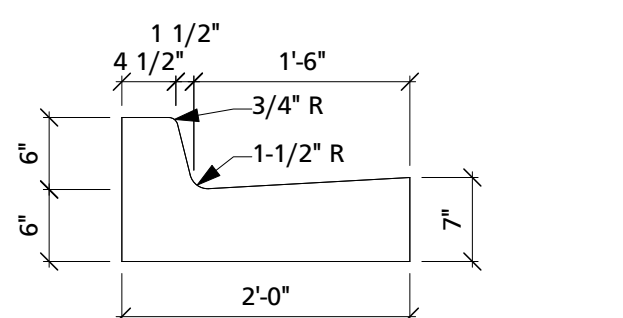
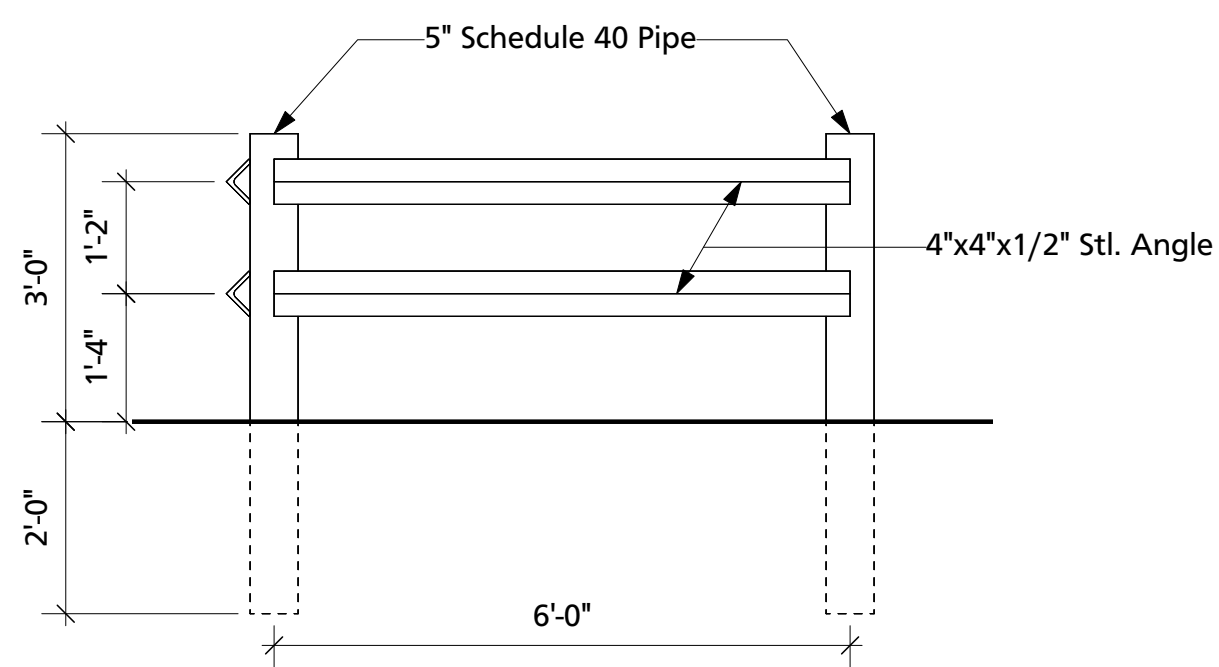
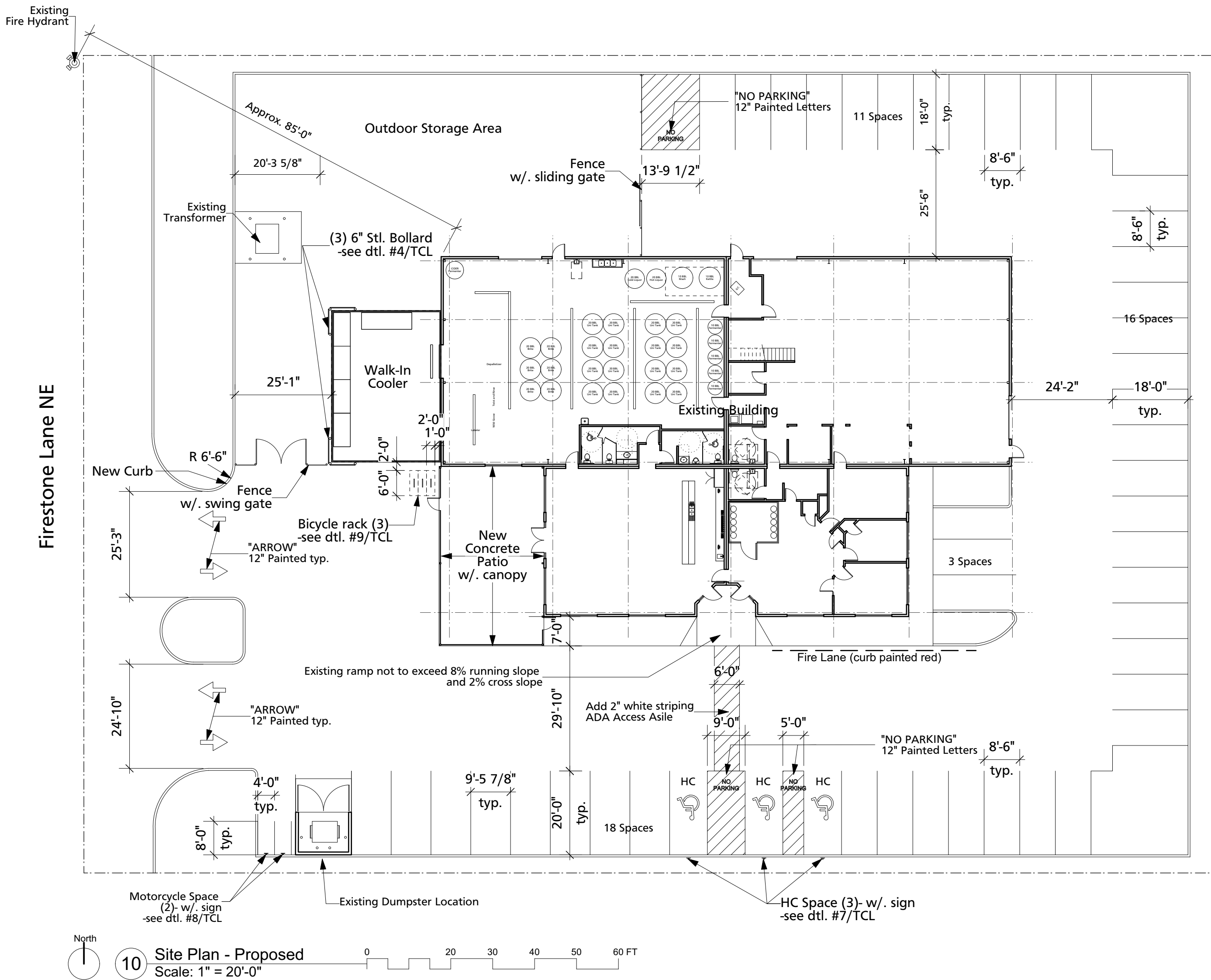
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
CC: CO Clerk, File

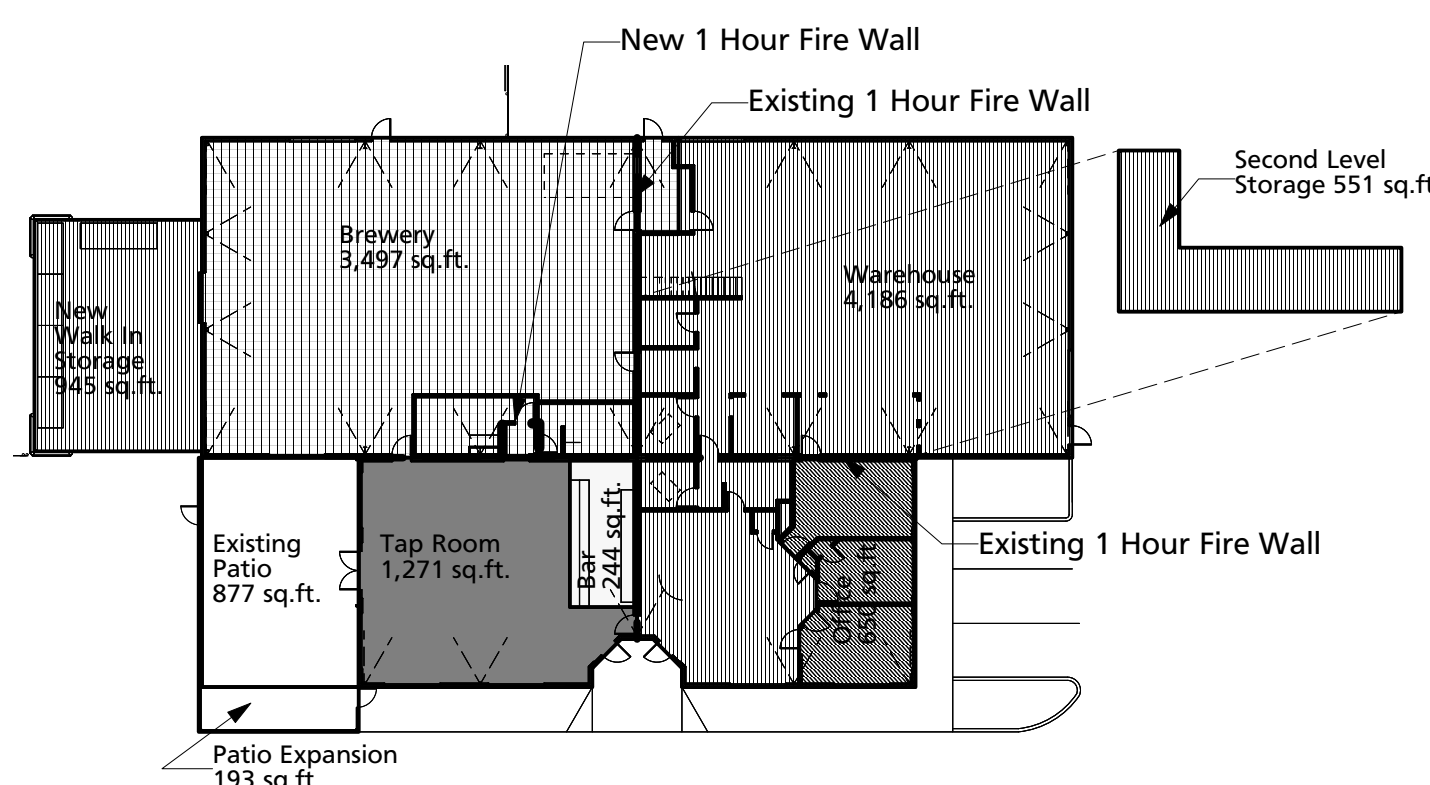
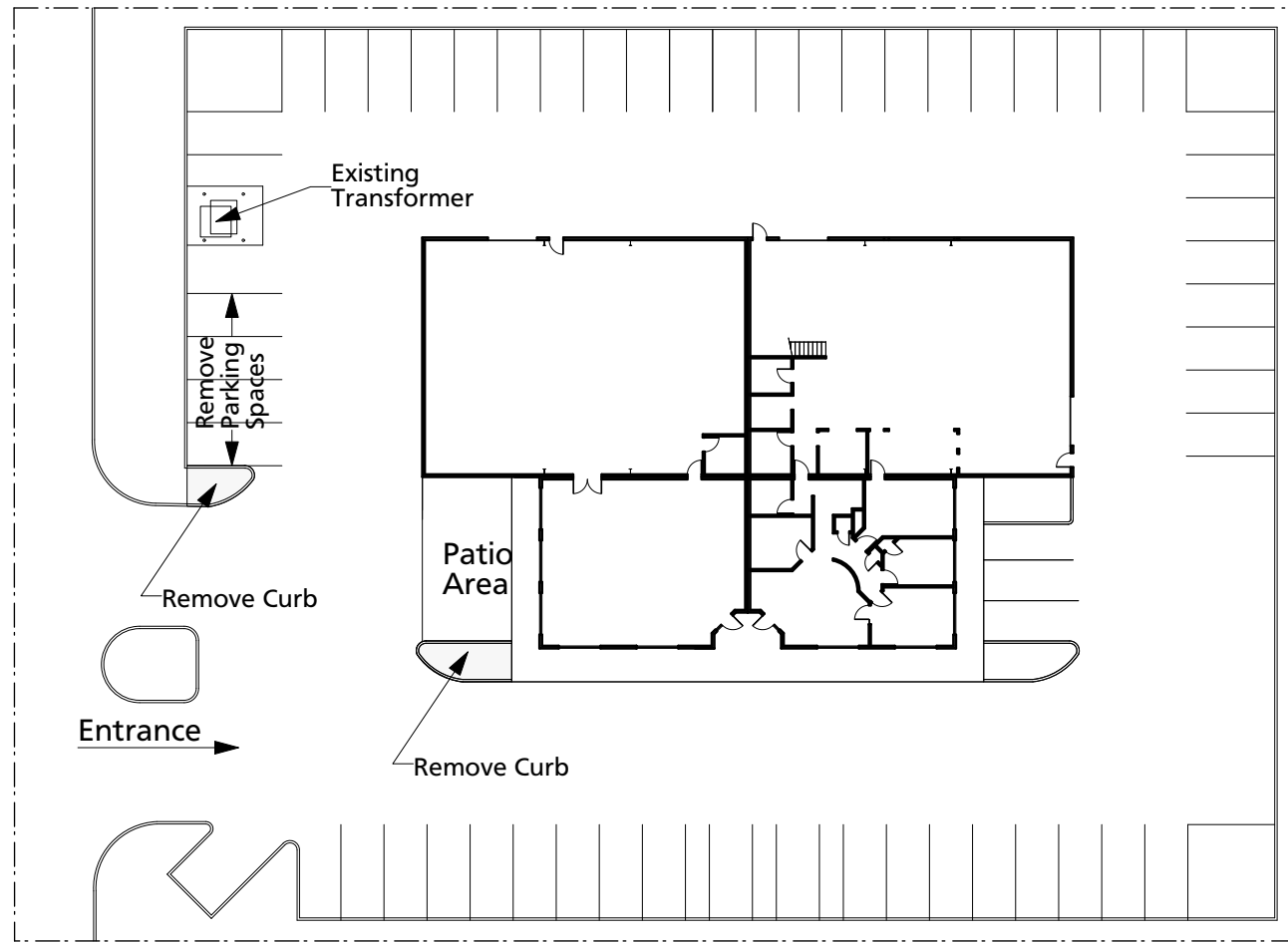
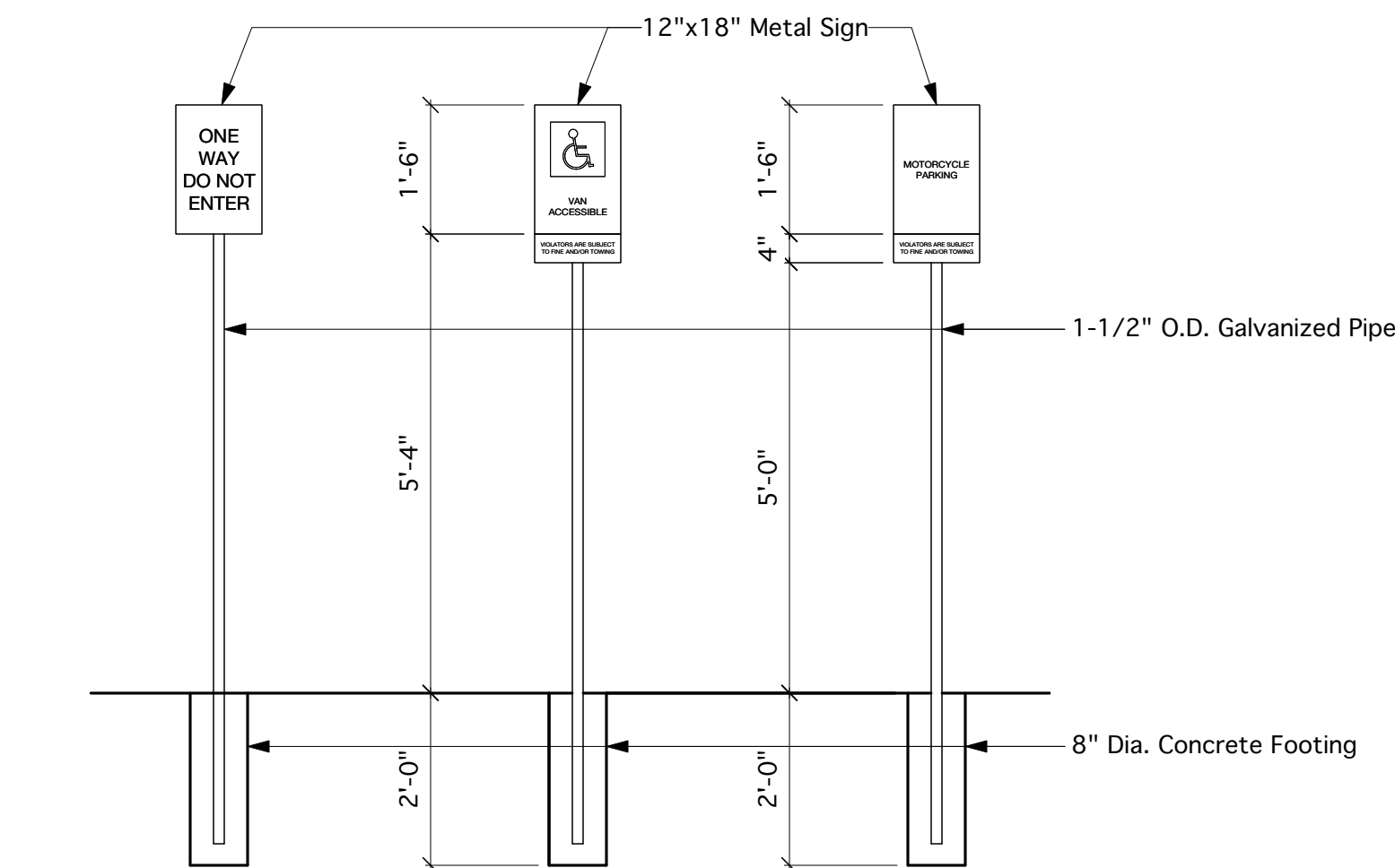


City of Albuquerque DWG 2415A 6" Standard Curb

Provide 1/2" Expansion joints at 36" o.c. at immovable objects and at the beginning and end of curves

Provide contraction joints at 6' o.c.

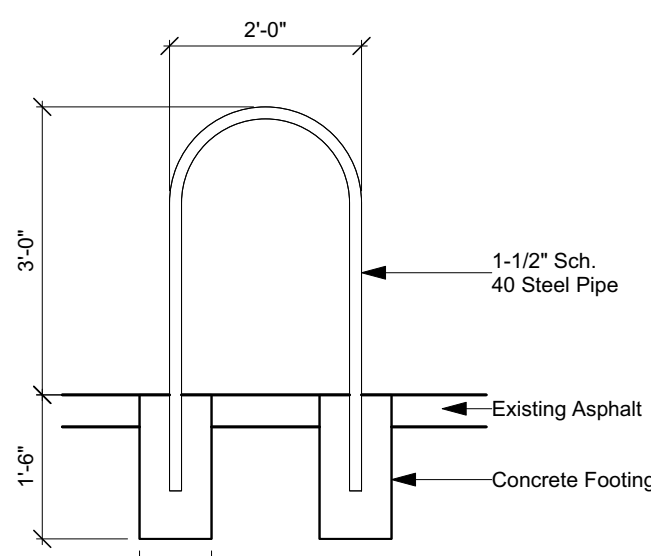
All exposed concrete corners to have 3/4" radius.



#### PROJECT NARRATIVE:

Minor changes to Parking lot- remove two peninsulas areas, add patio expansion with canopy and walk-in cooler. No changes to parking requirements.

No change to Solid Waste.



**CODE DATA**  
2015 International Building Code  
2015 Uniform Plumbing Code  
2015 Uniform Mechanical Code  
2017 National Electrical Code  
2009 International Energy Conservation Code  
2015 International FIRE Code

City of Albuquerque  
Location: 8420 Firestone Lane NE  
Albuquerque, New Mexico 87113

Zoning: NR-LM

Zoning Atlas Page: C-17

Setbacks: NA existing

Height: NA existing

Bld. Area: = 10,418 sq.ft

Parking: 8/1,000 GSF Tap Room @ 1,515 = 12.1  
3.5/1,000 GSF Office @ 650 = 2.2  
3/1,000 GSF Artisan Manufacturing @ 3,497 = 10.4  
5/1,000 GSF Patio @ 1,050 = 5.25  
Warehouse NA

**Total Spaces required**  
**(2 HC) (2 MC) (3 Bicycle)**  
**Total Spaces existing**  
**(3 HC) (2 MC) (3 Bicycle)**

= 30  
= 48

Occupancy: A-2 / F-2 / S-2

Tap Room @ 1,271 sq.ft. / 15 net = 84.7  
Bar @ 244 sq.ft. / 200 gsf = 1.2

Brewery @ 3,497 sq.ft. / 100 gsf = 34.9  
Brewery Warehouse @ 4168sq.ft. / 500 gsf = 8.3  
Office @ 650 sq.ft. / 100 gsf = 6.5  
Second Level Storage@ 551 sq.ft. / 300 gsf = 1.8

Total Interior  
Patio @ 877 / 15 net = 138  
Patio addition @192 / 15 net = 58.4  
Total = 12.8  
= 209

Construction Type: Type vb

Separation: 1 Hour Between F-2 / S-2 and A-2  
(office is incidental use less than 10% of F-2)

Seismic: C

Sprinkler: Non-Sprinkled

#### PLUMBING REQUIREMENTS

Total A-2 = 157 (79 each)

WC male 1/40  
WC female 1/40  
LAV. 1/75  
DF 1/100  
SS 1

2 required 4 provided  
2 required 4 provided  
2 required 2 provided  
NA UPC 410.4 substitution  
1 required 1 provided

F-2 = 52 occ.

WC 1/100  
LAV. 1/100  
DF 1/400  
SS 1

1 required 1 provided  
1 required 1 provided  
NA UPC 410.4 substitution  
1 required 1 provide

#### GENERAL NOTES

A. DO NOT SCALE DRAWINGS

B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.

C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT.

D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

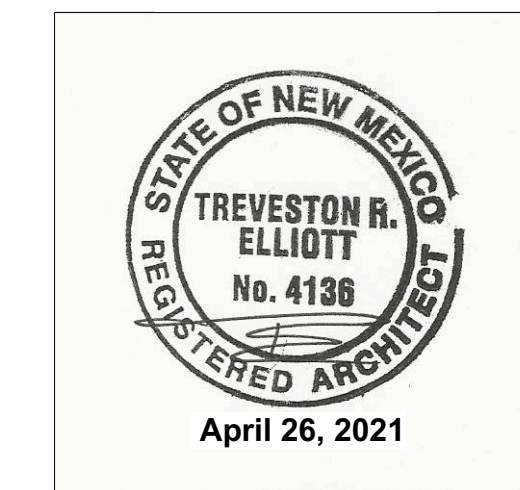
E. \* DIMENSIONS TO FACE OF FINISH

**TREVESTON ELLIOTT**  
ARCHITECT

811 12TH ST. NW  
ALBUQUERQUE, NEW MEXICO  
87102  
C 505.259.4617  
treveston@bearchitect.com  
www.bearchitect.com

**BOXING BEAR**

8420 Firestone Lane NE  
ALBUQUERQUE, NEW MEXICO 87113



Date: April 26, 2021

Sheet: General Info  
TCL

TCL

